

UPPER MORELAND TOWNSHIP

Woodlawn Park Master Plan



WOODLAWN PARK

Master Plan

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Upper Moreland Township, Montgomery County, Pennsylvania

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March 2023

SC#: 21073.10



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Project Background

PURPOSE OF STUDY

Upper Moreland Township, located in Montgomery County, Pennsylvania, commissioned this Master Plan for the redevelopment of Woodlawn Park. This document is the result of a collaboration between the public, the project steering committee, Township staff, project consultants, and Township Board of Commissioners. It outlines the planning process and provides a vision for the future of the Park as a valuable resource to the community. This plan was funded by Upper Moreland Township.

PROJECT GOALS

The Master plan is a guide for the future development and renovation of Woodlawn Park, inclusive of capital and operational costs. The following have been identified as plan goals:

- The Woodlawn Park Master Plan shall be coordinated within the overall parks and recreation system.
- The Master Plan shall identify proposed/new infrastructure at the park including, but not limited to, indoor and outdoor recreational facilities, parking facilities and ancillary facilities.
- The Master Plan shall appeal to a diverse population of varying economic backgrounds
- The Master Plan shall provide recreational experiences for people of all ages and abilities in keeping with ADA requirements.

PROJECT MISSION

The Woodlawn Park Master Plan Mission is to create a green, accessible, oasis that serves the neighborhood while addressing limited township-wide needs. The park master plan should:

- Create family-friendly civic spaces, sports fields and play areas,
- Provide trails and sidewalks for exercise,
- Calm traffic, and
- Respect adjacent neighbors.

MASTER PLANNING PROCESS

This master plan is an initial step towards park improvements, presenting a consensus on desirable new or improved facilities for Woodlawn Park. The master plan provides estimates of probable costs of development, outlines a strategy for phasing improvements, and

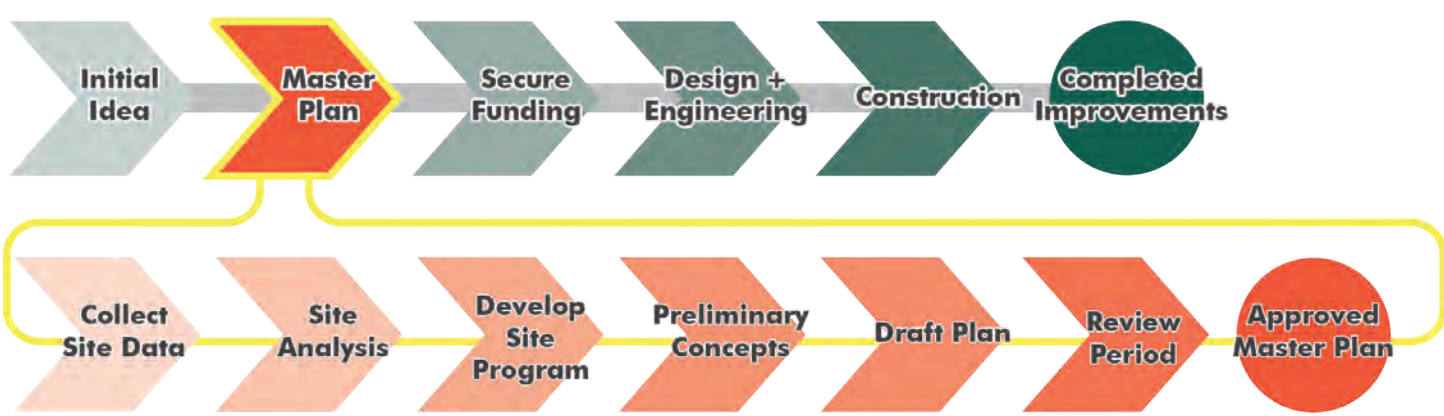


Figure 1.1 Master Planning Process

positions the Township to pursue funding from a variety of potential sources. The master plan is a flexible guidance document; a blueprint that can be adapted to the future needs of the community.

Once a master plan is complete, the next step is to identify and acquire funding for improvements. After funding is obtained, detailed design and engineering can begin. Construction documents will be publicly bid, and a contract awarded for construction. A master plan is typically implemented through a series of phases, dependent upon funding, over a period of years. In the case of Woodlawn Park, 2 to 3 phases spanning 5 years or more is a realistic time frame for the implementation of all park improvements.

PROJECT TEAM

A project team included the Steering Committee, Township Staff, and Consultants who guided the master plan process. The Committee was comprised of Ward 1 residents, youth sport league representatives, Parks and Recreation Advisory Council members, and residents from the larger township. Township Staff, led by Pat Stasio, Director of the Parks and Recreation Department helped to coordinate the process and provided input and comment on the plan. Committee and Township Staff’s insights informed and guided the consultants throughout the process.

Upper Moreland Township retained Simone Collins Landscape Architecture and Seiler + Drury Architecture.

Simone Collins Landscape Architecture (SC) is a planning and design firm based in Norristown, Pennsylvania with expertise in parks, trails, greenways, and recreational facilities. SC served as prime consultant and was responsible for overall facility design, public participation, and coordination with the Committee, Township, and Project Team.

Seiler + Drury Architecture (S+D) served as the team’s architect. S+D is an architectural and planning firm based in the historic district of Norristown, PA. S+D has extensive experience in programming and planning public facilities including community buildings and recreational buildings. S+D served as sub consultant and was responsible for development of the design concept for a neighborhood recreational center for Woodlawn Park.



View from Woodlawn Ave, site of former school building in background.

WOODLAWN PARK MEETINGS	PURPOSE	DATE
Steering Committee Meeting #1	Kick off meeting	Wednesday, April 20, 2022
Steering Committee Meeting #2	Programming	Wednesday, May 18, 2022
Public Meeting #1	Programming	Wednesday, May 25, 2022
Web Based Survey		May 26 to October 1
Steering Committee Meeting #3	Preliminary Concepts	Thursday, June 9, 2022
Focus Group Meeting #1	Community Center	Tuesday, June 21, 2022
Focus Group Meeting #2	Active Sports Groups	Tuesday, June 21, 2022
Focus Group Meeting #3	Teens	Wednesday, June 22, 2022
Focus Group Meeting #4	Adjacent Neighbors	Wednesday, June 22, 2022
Key Person Interviews / Stakeholder Meetings		August - 2022
Steering Committee Meeting #4	Initial Concepts	Wednesday, August 24, 2022
Public Meeting #2	Initial Concepts	Wednesday, September 14, 2022
Steering Committee Meeting #5	Draft Plan	Wednesday, October 5, 2022
Public Meeting #3	Draft Plan	Wednesday, October 26, 2022
Steering Committee Meeting #6	Final Plan Review	Wednesday, November 30, 2022
Public Meeting #4 - Commissioners Mtg	Final Plan	Monday, February 6, 2023

Figure 1.2 Project Schedule

PUBLIC PARTICIPATION

Public participation is an important part of any master plan and helps to ensure the success of the project. A park renovation such as this can only be realized through the involvement of groups and individuals who know the park and community. Their participation lends credence to the need for this plan and, ultimately, justification for support and implementation of its recommendations.

The consultants worked with the Steering Committee to tailor the public participation process to the project. The 10-month process provided the team with access to citizens’ observations, needs, and ideas for the Park and critical feedback on Park concepts and plans.

The process for this plan included six (6) steering committee meetings, a series of four (4) public meetings, and four (4) focus group meetings. An online public opinion survey was posted and advertised on the Township’s website to gather additional public input. It was important for the project team to learn about citizens’ observations, needs, and visions, and to incorporate what was learned into the master plan.

Meeting Summary

Project meetings were held between spring of 2022 and winter of 2023. All public meetings were held in person and virtually in a hybrid format and were recorded and posted onto the Township website. The above table lists all meeting dates, notes for which can be found in the appendix of this report. A summary of Steering Committee and Public meetings is as follows:

Steering Committee Meeting 1 – April 20, 2022

The project team met with the Steering Committee to introduce the team and the master planning process, the project purpose and scope. The consultant team presented a list of possible user groups to target for Focus Group meetings, as well as a draft of the online public opinion survey; and requested that the Steering Committee provide feedback on each before being formalized.

Steering Committee Meeting 2 – May 18, 2022

The second Steering Committee meeting focused on initial site inventory and analysis, including history, context, traffic patterns, usage, and a photographic tour of the site. The consultant team then led a brainstorming session, during which the team and Committee developed project goals and objectives, generated facts, and explored concepts and project partners. Also discussed were possible participants and organizations to be represented in Key Person Interviews. The consultants requested Committee suggestions for other key staff and community stakeholders to be interviewed.

Public Meeting 1 – May 25, 2022

The first public meeting introduced the project, Steering Committee, and consultant team. The team explained the importance of planning; reviewed the project schedule, public participation process, and the project scope. The consultant team presented initial site inventory and analysis, followed by a brainstorming session, during which members of the public offered information and opinions about the site, organized into four categories: goals, facts, concepts, and partners.

Steering Committee Meeting 3 – June 9, 2022

In the third Steering Committee meeting, the consultant team presented five (5) initial concept studies (A through E), which explored the size and spatial relationships of basic elements. The Committee and consultants discussed pros and cons of each concept, and many important points of conversation revolved around the questions of whether the existing ball field will remain at the park and whether a community or recreation center building is appropriate at the site.

Steering Committee Meeting 4 – Aug 24, 2022

The fourth Steering Committee meeting focused on the presentation of four (4) concept plans (1 through 4), including programmatic elements explored in response to public feedback to date. The concepts identified alternative options for site access, parking, traffic calming measures, and park facilities, including different combinations of the absence or presence of a building and ball field. There was a consensus that, if a building were to be present, a small to medium sized building of a neighborhood scale would be most appropriate. A draft Park Mission Statement was also presented, and Committee members were asked to provide the consultants with feedback.



Public Meeting 1 Participants

Public Meeting 2 – September 14, 2022

The second public meeting focused on the presentation of concept plans 1 through 4 and associated programmatic elements. Attendees were each given two stickers and invited to place them on their preferred concepts, whether placing both on one favorite or dividing them between two different concepts. An open discussion about attendees’ specific likes and dislikes about each concept followed.

Steering Committee Meeting 5 – Oct 5, 2022

At Steering Committee Meeting 5, concept refinements were reviewed with the Committee in the presentation of a Pre-Draft Plan, with a focus on site access, outdoor facilities, and a neighborhood recreation center building. The Committee provided comments and suggestions for plan refinements.

Public Meeting 3 – October 26, 2022

The third public meeting focused on the presentation of draft plan, associated programmatic elements, cost estimates and phasing. Attendees were invited to provide comments and feedback regarding the draft plan presentation. Following the public meeting, the Draft Plan was posted for a 30-day review period.

Steering Committee Meeting 6 – Nov 30, 2022

At Steering Committee Meeting 5, the draft plan public feedback was reviewed. The Committee provided recommendations for the final plan direction.

Public Meeting 4 – February 6, 2023

Public Meeting 4 is scheduled to be held during the February Board of Commissioners Meeting.

Public Opinion Survey

A 27-question online public opinion survey was open to the public from May 26, 2022 until October 1, 2022. The survey received a total of 511 responses. Respondents were kept confidential, and responses were compiled together and analyzed. The complete survey can be found in the appendix of this report.

Key Person Interviews / Stakeholder Meetings

Seven (7) key person / key organization interviews were conducted during the master plan process. The interviews provided input from key persons and organizations in the area, including those who have responsibilities in the operations and safety at the park. These included:

- Pat Stasio, Parks and Recreation Department
- Katie Kollar, Upper Moreland Parks and Recreation Department, Recreation Program Coordinator
- James J. Murphy, Jr., Upper Moreland Parks and Recreation Department, Park Maintenance Foreman
- Nick Scull, Chairperson of the Parks and Recreation Committee of the Board of Commissioners
- Brett Guerin, President Willow Grove Bears Youth football
- Elaine Leibrandt, Upper Moreland Historical Association
- Steven Worthington, Upper Moreland Historical Association

A record of key person interviews can be found in the appendix of this report.

DATA COLLECTION & METHODOLOGY

The consultants performed an initial field reconnaissance in April 2022 to inventory and document existing conditions of the Park. The consultants visited the site again in May and August of 2022 to gather additional data. Site photographs, measurements, and field observations gathered during site visits were valuable throughout the project process. Elements for this plan were compiled using the best available information. This includes Geographic Information System (GIS) mapping from Pennsylvania Spatial Data Access (PASDA), site base map prepared for the building demolition documents, and site reconnaissance notes and images. A site survey was provided by the Township at the end of the planning process.

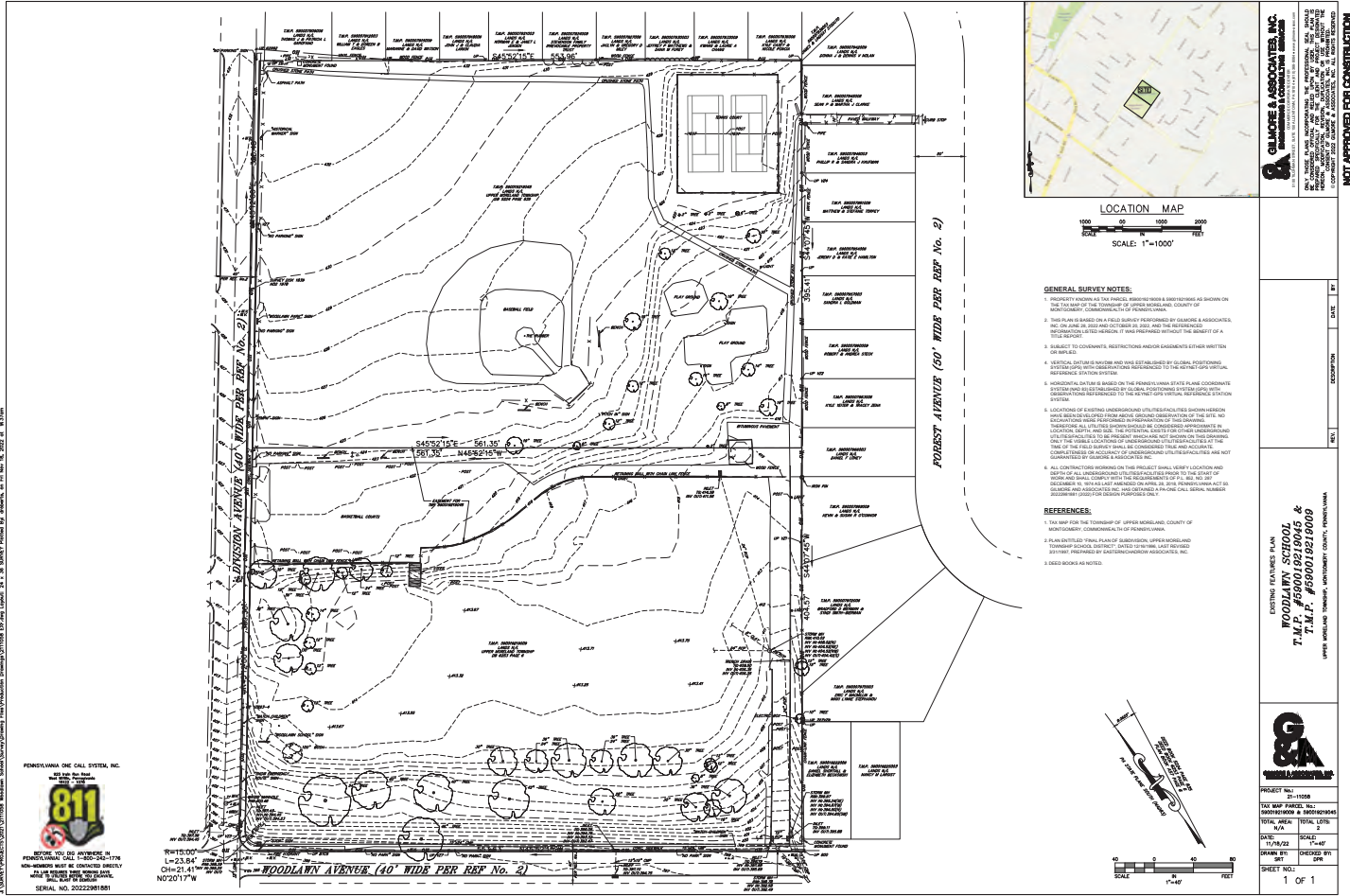


Figure 1.3 Site Survey



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Inventory & Analysis

SITE DESCRIPTION

Woodlawn Park is a 10.3-acre park located in Upper Moreland Township. The site had served as the home of the former Woodlawn Elementary School building. The building and associated parking areas were demolished in spring of 2022 at the start of the master planning process.

The park is comprised of two parcels. The existing park parcel is 5.06 acres in size. The newly added school parcel is 5.25 acres in size. The Park is bounded by residential neighborhoods and a total of 24 homes share a property boundary with the park.

REGIONAL CONTEXT

Upper Moreland Township is a Township of the first-class located in the eastern part of Montgomery County. The Township occupies about 7.5 square miles of land and is located about 12 miles north of Philadelphia. The Park is centrally situated in the township neighborhood of Woodlawn (the park’s namesake). The densely populated neighborhood is bounded by York Rd (S.R. 611) to the west; Moreland Road (S.R. 63) to the southwest; Edgehill Road (S.R. 2044) to the Southeast; Terwood Road (S.R. 2033) to the Northeast; and Davisville Road (S.R. 2042) to the northwest. The neighborhood of Woodlawn is pedestrian-friendly with sidewalks along the majority of roads. The Park is 0.6 miles from the Willow Grove Septa Regional Rail Station.

UPPER MORELAND TOWNSHIP PARKS AND RECREATION SYSTEM

Woodlawn Park is one of 19 parks owned and operated by Upper Moreland Township. The Park system includes approximately 280 acres of parkland and open space. Upper Moreland Township has a total of just over five (5) miles of walking trails at several of its parks, including the walkways at Woodlawn Park. Planned trails for Upper Moreland will link it to “The Circuit”, an extensive, 750-mile trail system throughout the Philadelphia metropolitan area which already includes the existing Pennypack and Power Line Trails on the periphery of Upper Moreland. The facilities offered throughout the Township provide residents with a highly valuable public recreation system supported by the Parks & Recreation Department, as well as school district-owned athletic facilities, open space and trails owned by the Pennypack Ecological Restoration Trust (PERT), private recreation facilities, and a growing trail system.

HISTORY

For a small site, the park and surrounding landscape play some notable roles in the Township’s history. The area was referred to as Frazier’s Hill. William W. Frazier was a local businessman who acquired large areas of land and operated a farm in this area. Both his manor house and tenant farmer house still exist in the area.

The hill was regionally referred to as Horse Heaven. Willow Grove served as the crossroads for many stagecoach routes servicing Philadelphia, Easton, Newtown, and Doylestown. Located 12 miles from Philadelphia, stagecoaches often stopped in Willow Grove to rest their horses; the area of the park was used for this purpose. Due to the rough terrain in this area, many horses succumbed to exhaustion and were buried along the western slope of the hill, leading to the name Horse Heaven.

During the early 1800s, the United States government commissioned the Coastal Survey. Ferdinand Hassel was tasked with creating topographical surveys for the east coast of the United States. The survey was generated though a triangulation of points. Frazier Hill was a key point of triangulation of Mt Holley NJ and Newtown PA.

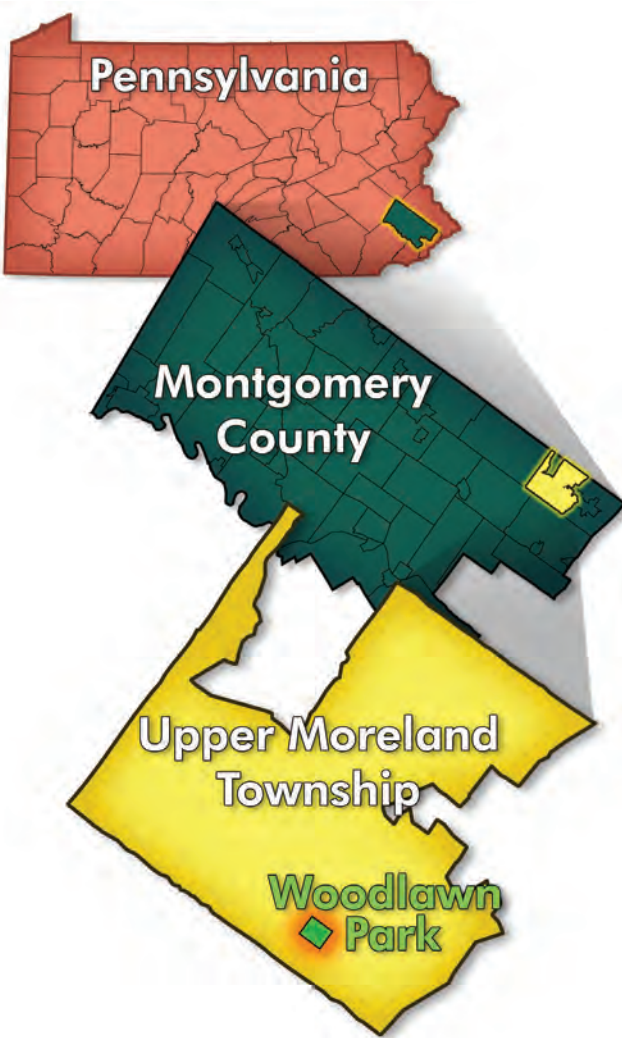


Figure 2.1 Site Location Map

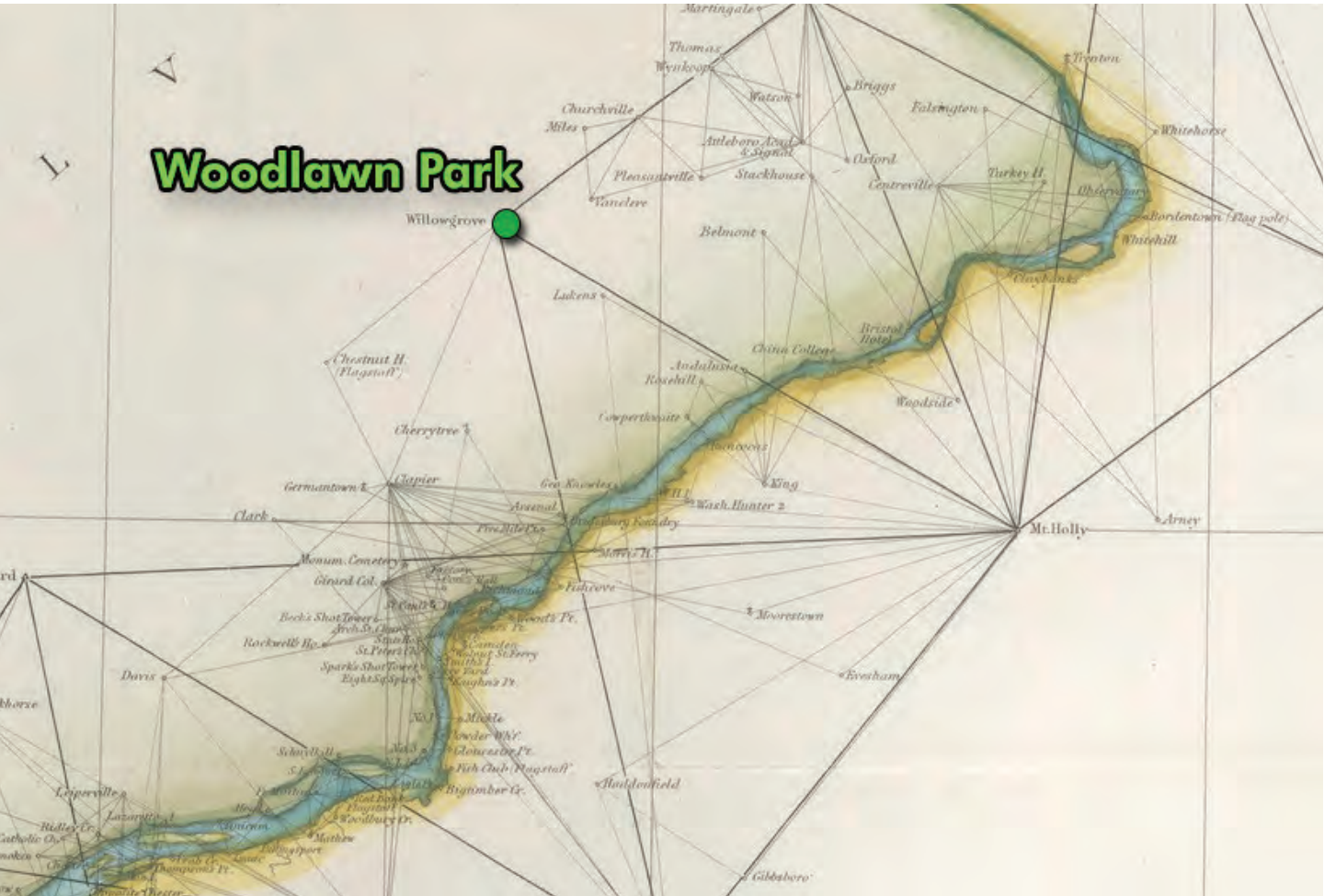
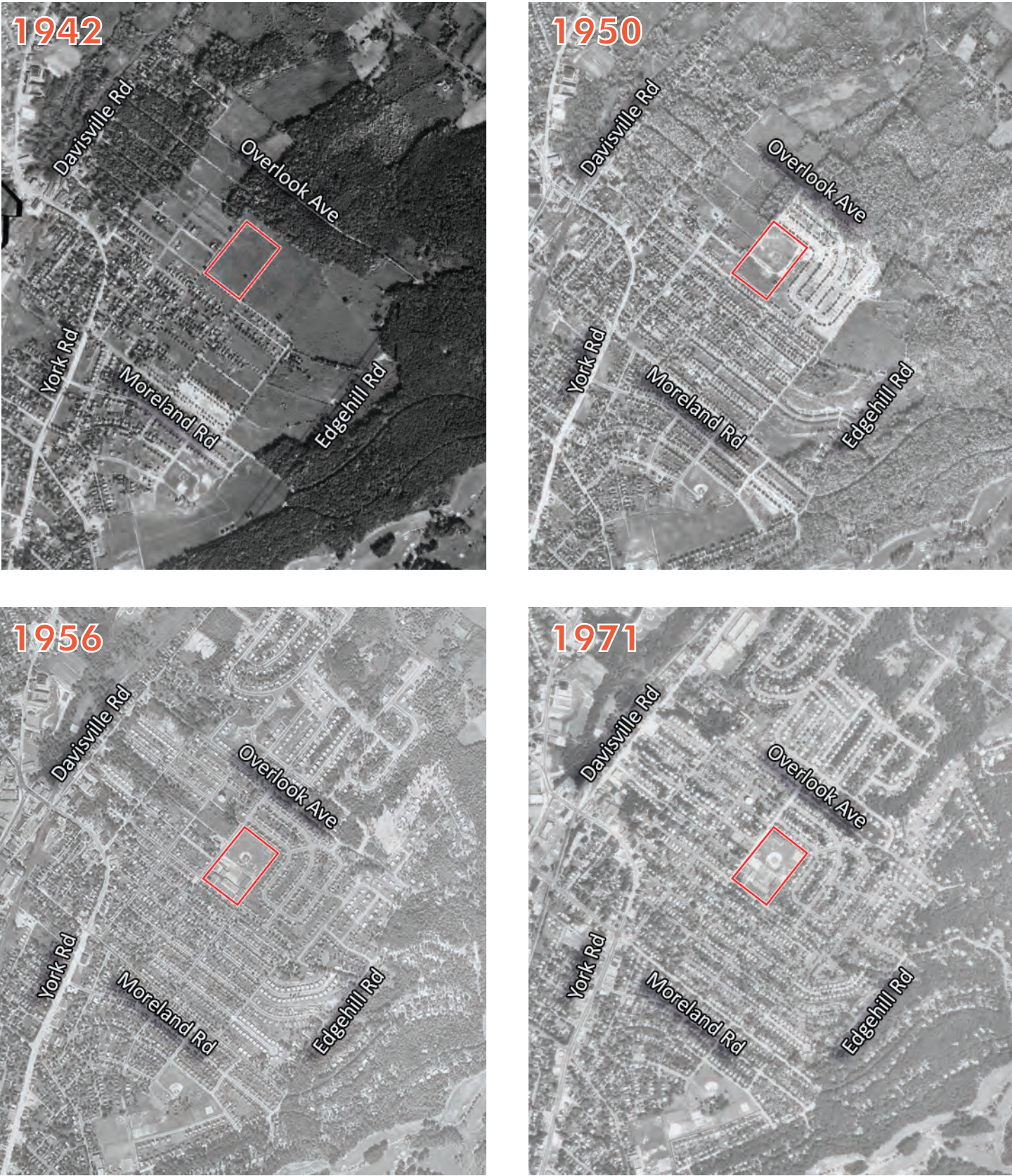


Figure 2.2 U.S. Coast Survey, A.D. Bache Superintendent, Sketch B No. 3 Showing the Triangulation & Geographic Positions in Section No. II from New York to Cape Henlopen, 1851



Historic Aerials of the Woodlawn Neighborhood

DEMOGRAPHICS

Upper Moreland Township is a suburban community in eastern Montgomery County, Pennsylvania. According to the American Community Survey (ACS), conducted by the U.S. Census Bureau, Upper Moreland Township had a population estimated to be 24,083 residents in 2021. This is a slight population growth since 2010 in keeping with surrounding communities. The Delaware Valley Region Planning Commission (DVRPC) projects the township population to increase to 25,749 residents by 2045. This represents a 6.9% increase in population. This is lower than the 13.90% growth projected growth for the entire DVRPC area.

Upper Moreland has continued to grow as a diverse population. From 2000 to 2010, the non-white population grew from 9% to 13%, and from 2010 to 2020 it has increased to 22% of the total population. Township population by Race and Hispanic Origin can be seen in Figure 2.4 below.

The median age in 2021 was 37.9 years old. Woodlawn Park falls within Census Tract 2003.09 which, according to the ACS, had a population of 2,397 in 2020. As seen in Figure 2.3 the Woodlawn neighborhood has a greater percentage of children under the age of 18 than the Township as a whole.

There were 10,579 households estimated in the Township in 2021 with an average household size of 3.22 persons. The Median Household Income is estimated at \$86,261 lower than Montgomery Counties estimated income of \$102,896

The Master Site Development Plan for Woodlawn Park will develop a plan that is mindful of the Township’s and County’s demographic trends and future projections. The plan needs to appeal to all age groups. This will be accomplished through a mix of passive and active recreational facilities.

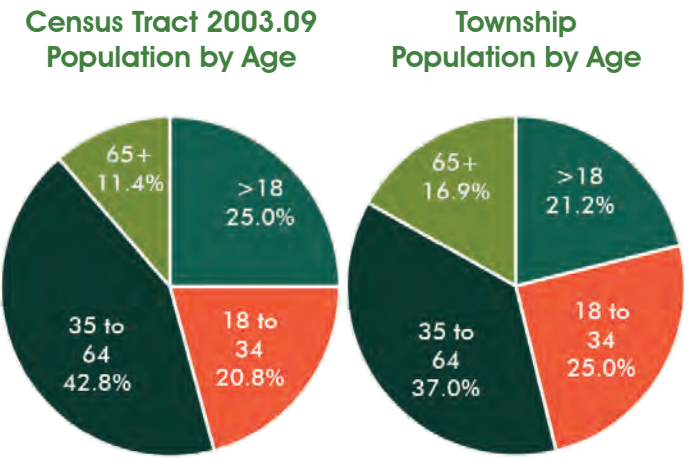


Figure 2.3 Population by Age

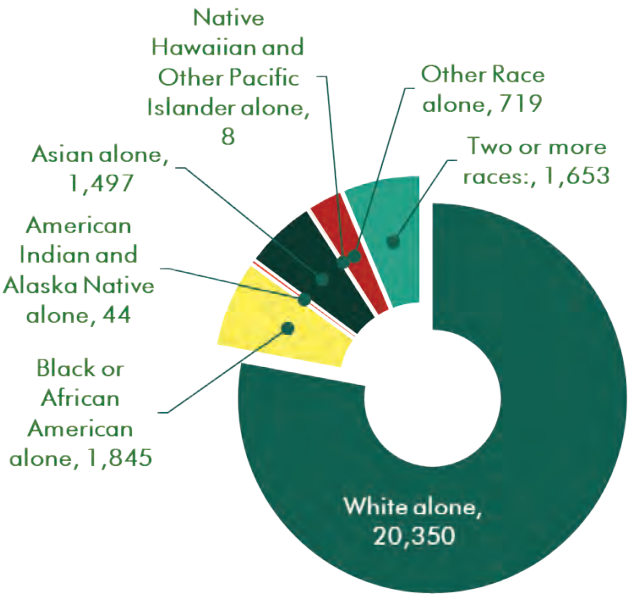


Figure 2.4 Population by Race and Hispanic Origin

SUMMARY OF EXISTING PLANNING DOCUMENTS

MontCo 2040: A Shared Vision, 2021

The most recent revision of MontCo 2040 was adopted in July of 2021 and contains goals, objectives, and recommendations that are relevant to the Woodlawn Park Master Plan. MontCo 2040 is separated into 3 distinct themes, Connected Communities, Sustainable Places, and Vibrant Economy.

Connected Communities

Goal: Expand and connect county trails, local trails, greenways, natural areas, and parks

Implemented by:

- Expanding the county trail system
- Working to connect local trails to the county system
- Increasing county parkland in greenway corridors and advocacy with others to preserve greenways

Sustainable Places

Goal: Provide more opportunities for residents to exercise and have healthy lifestyles

Implemented by:

- Expanding opportunities to exercise in county parks
- Advocacy to make communities more walkable while coordinating recreation planning efforts
- Working with others to increase the supply of fresh local food

Upper Moreland Township Comprehensive Parks and Recreation Plan, 2007

The 2007 plan inventoried and analyzed the Township’s existing park facilities and made recommendations for five-year and ten-year capital improvements. The goals, as stated in the 2007 Upper Moreland Township Parks and Recreation Plan Update, are as follows:

“Provide park and recreation facilities that meet the needs of all residents of Upper Moreland Township for active and passive leisure time activities; manage and maintain park and recreation facilities in a manner that is attractive, clean and safe; provide a basis for the allocation of financial resources necessary to support

the Upper Moreland Township Park and Recreation Program; create new partnerships and enhance existing ones to enrich park and recreation facilities in Upper Moreland Township; and, establish an ongoing program of communication with Township residents regarding parks in order to gather and disseminate information on facilities available in the parks.”

Three major uses and desired facilities revealed through the public survey, regarding overall Township parks and recreation, were playgrounds, trail-based activities (walking/hiking), and a community center (80% of respondents were somewhat interested, 50% were extremely/very interested). Other important responses included a synthetic turf field with lights, skate park, and dog parks/allowing dogs on leashes. Two relevant Township-wide recommendations from this plan are: add one multi-purpose lighted synthetic turf field (large enough for soccer, football, and lacrosse); and conduct a Community Center Feasibility Study to seriously consider the development of a Community Center. The Township partnered with the School District to implement the synthetic turf field; the Community Center Feasibility Study has yet to be pursued.

The 2007 plan identified Woodlawn Park as the second most frequently used park, second to Masons Mill Park, placing Woodlawn Park high on the priority list for park improvements. Plan recommendations specific to Woodlawn Park were for improvements to site drainage, providing ADA accessibility to the play equipment, and regrading and paving of the perimeter path.

UPPERMORELAND2040 Comprehensive Plan, 2020

UPPERMORELAND2040 serves as the township’s long-range community vision and establishes the guidelines, policies, and priorities to achieve this desired vision. The comprehensive plan guides land use planning initiatives such as revitalization and redevelopment plans, and parks and trail plans. Each of these documents and codes greatly influences the daily administration of the township, it is crucial that they are supported by a long-range and comprehensive community vision, as established in the comprehensive plan.

The Plan recommends implementation of the township’s Parks & Recreation Plan (see more detail in the section below). This means expanding loop trails at parks, developing new recreation fields (including a multipurpose, lighted turf field), conducting a community center feasibility study, and increasing the Parks & Recreation budget for field maintenance.

Pennsylvania Statewide Comprehensive Outdoor Recreation Plan: Recreation for All, 2020

The goal of Pennsylvania’s 2020-2024 Statewide Comprehensive Outdoor Recreation Plan is to help all Pennsylvanians achieve greater access and enjoyment from experiences in the commonwealth’s abundance of local and state parks, state and national forests, trails, rivers, lakes, game lands, and other recreation spaces.

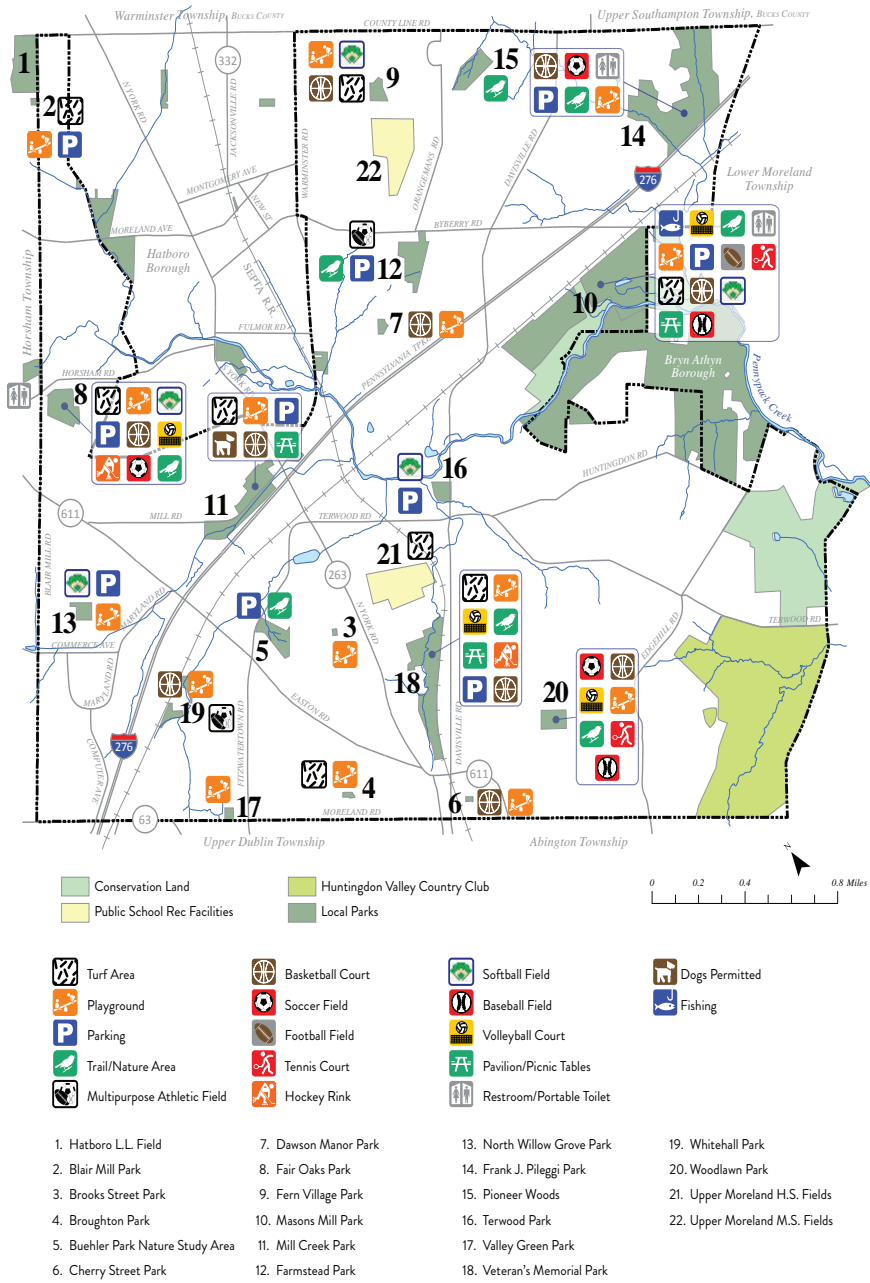


Figure 2.5 Recreational Amenities Map from UPPERMORELAND2040 Comprehensive Plan, 2020

Priorities and Recommendations relevant to this plan are as follows:

Recreation for All: Ensuring Equity in Access to Pennsylvania’s Outdoors

- Provide opportunities for everyone to regularly engage in outdoor recreation.
- Enhance recreational amenities to fit the needs and expectations of underserved people.
- Provide equitable access to outdoor recreation and conservation programs.

Sustainable Systems: Protecting and Adapting Our Resources

- Address infrastructure and maintenance needs in Pennsylvania’s existing outdoor recreation areas.
- Foster stewardship for Pennsylvania’s recreation areas and natural, cultural, and historic resources.

Funding and Economic Development: Elevating Outdoor Recreation

- Protect and expand public and private investments in outdoor recreation.
- Build strategic coalitions to maximize the economic impacts of outdoor recreation in Pennsylvania.
- Demonstrate the benefits and impacts of nature-based solutions to addressing community needs.

Technology: Using New Tools to Improve Engagement

- Increase mobile connectivity in outdoor recreation.
- Enrich the understanding of the natural, cultural, and historic aspects of the outdoors through technology.

LAND USE & ZONING

The park site is zoned as Public Open Space and the former school site as Institutional. The majority of the surrounding land use in single family residential with some areas of institutional and Multi family. The Park is 0.6 miles from one of the Township’s commercial corridors.

The park portion of the site is zoned RC Recreation Conservation Districts. RC Recreation Conservation Districts are designed to provide primarily for the special needs of large streams, valleys, wooded and open areas of the Township and to encourage the preservation of appropriate areas for agriculture, recreation, conservation and other open space purposes.

The former school portion of the site is zoned INST Institutional Districts. The district’s purpose is to encourage the development of institutional uses in accordance with an approved plan of development subject to the requirements of this chapter. The area yard and height regulations for each district are depicted in the Figure 2.6.

District	Minimum Lot Area	Maximum Lot Building Coverage	Front Yard	Building Side yard	Rear Yard	Buffer Yard (between Districts)	Maximum Building Height	Maximum Lot Impervious Coverage	Parking
RC	N/A	15%	100 ft	2 / 40 ft each	40 ft		35’	25%	1/250 sf of building
INST	80,000 SF	20%	100 ft	2 / 25 ft each	50 ft	50 ft		60%	1/100 sf of building*
INST for Municipal Building	80,000 SF	25%	20 ft	2 / 25 ft each	25 ft				

*Reduction of requirements by Zoning Hearing Board, by special exception, reduction up to 25% upon proof

Figure 2.6 Zoning Regulation Chart

GEOLOGY & SOILS

Woodlawn Park soils are comprised of Urban land-Edgemont complex (UrkB and UrkD). Urban land-Edgemont complex is a well-drained soil with low to very low runoff, depending upon field slope. This soil falls within Hydrologic Soil Group A. Soils in this group have low runoff potential when thoroughly wet, and water is transmitted freely through the soil.

None of the soils on site are classified as Hydric Soils. Hydric soils are defined by the National Technical Committee for Hydric Soils (NTCHS) as soils that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part (Federal Register, 1994). Under natural conditions, these soils are either saturated or inundated long enough during the growing season to support the growth and reproduction of hydrophytic vegetation.



TOPOGRAPHY

Woodlawn Park sits at the highest point in the eastern part of Montgomery County. The site is divided roughly into three tiers or plateaus that are mostly level, with slopes generally at 3% or less. The steepest slopes are between 8-15% up to 15-25% slopes and can be found at the southern and southwestern edges of the site, where the grade slopes down to Woodlawn Avenue and Division Ave, as well as in the areas of transition between tiers near the existing basketball courts, tennis courts, and playground.

HYDROLOGY

As a regional high elevation point, the site marks the divide between the Wissahickon and Pennypack Watersheds. The site generally drains from north to south. There are no hydrological features on the site.



USGS marker (pictured right) located in open lawn in the north corner of the park (pictured left)

VEGETATION

The site is typical of a suburban landscape and is limited to shade trees and mown lawn. The area in front of the former school site contains several mature trees. Three mature beeches provide significant coverage along with a row of maples. Some of the trees in this area are in decline and should be assessed and removed or trimmed as warranted. Between the former school site and basketball courts is a row of evergreens.

UTILITIES

Located in a densely populated area, access to both public sewer and water is good. During the demolition of the school the public water and sewer lines were abandoned. Overhead electric lines border all edges of the park site, with service to the site from Division Ave.



View of Division Ave. park frontage looking north.

CIRCULATION & ACCESS

Woodlawn Park is centrally located in the Woodlawn Neighborhood of Upper Moreland and is surrounded by a traditional grid of residential streets. The park has frontage on two roads. To the south is Woodlawn Ave., a 20 to 24-foot-wide cartway with on-street parking permitted along the southern curb. To the west is Division Ave., a 30-foot-wide cartway with on-street parking permitted along the western curb. Both roads serve as local neighborhood roads and school bus routes. Division Ave. serves as a Township Snow Emergency Route. The intersection of Woodlawn and Division is controlled by a four-way stop sign.

To the west, Abbeyview Ave. and Everett Ave. terminate at Division Ave. The intersections are limited to a single stop sign for the side streets and no stop signs along Division Ave. Both roads have a 20-24’ wide cartway with on-street parking permitted along the southern curbs.



View of Forest Ave. access point looking east.

At the northern corner of the park, Forest Ave. intersects with Division Ave. The Forest Ave. and Division Ave. intersection is a two-way stop with southbound traffic on Division Ave. having the right of way. Forest Ave. continues east, wrapping around the park to the north and east, but does not have park frontage. Forest Ave. is a 30’ cartway with on-street parking permitted along both sides.

At the southern corner of the park, Silver Ave. terminates east of the park forming a T-intersection with Woodlawn Ave. The intersections are limited to two stop signs

controlling Woodlawn Ave. and no stop sign for Silver Ave. The road is a 24’ wide cartway with on-street parking permitted along the eastern curb.

The Park has three vehicles access points. An asphalt driveway enters at the southern corner of the site from Woodlawn Ave. and runs along the southeastern park boundary to the remnants of the former school parking area. This driveway is directly adjacent to neighbors. Following the school demolition this driveway was gated. A gated driveway access point along Division Avenue north of Abbeyview Avenue enters the existing basketball



Figure 2.7 Site Analysis Map

court area. A curb cut access point along Division Avenue south of Abbeyview Avenue enters the former school parking area.

The entire neighborhood has sidewalks. These include sidewalks along Woodlawn Ave. and Division Ave. frontages of the park. Sidewalk curb ramps do not conform to modern ADA standards. There are no crosswalks at street intersections in the vicinity of the park.

Pedestrian access to the site is at three points. At the northern corner at the intersection of Division Avenue and Forest Avenue the sidewalk connects to the existing stone dust trail in the park. A pedestrian break in the fence line along Division Ave. at the basketball court area allows access to the open lawn area. From Forest Avenue on the eastern side of the park, an asphalt walkway connects into the park in the area of the tennis courts. The walkway runs along the access easement right-of-way located between two residences adjacent to the park.

Circulation facilities within the park is limited to a 5’ wide stone dust walkway that runs along the northern edge of the park. It turns south and connects to the playground area and then to an asphalt walkway that connects the

Forest Ave. access point. It continues to the former asphalt play yard / parking area of the school.

EXISTING FACILITIES & STRUCTURES

The former school building and associated pedestrian access points were recently demolished. Demolition removed 44,490 square foot building and 51,550 square feet of pavement. The site was stabilized and seeded following the demolition.

The following facilities are located in the existing park:

- 90’ ballfield – no ADA access; not to DCNR regulations/standards for size or solar orientation
- Playground – no ADA access; equipment in need of repairs / updates; low visibility area
- Basketball courts/asphalt parking – cracking of pavement; non-standard safety area
- Tennis courts – cracking pavement; under used



View across baseball field looking west toward Division Ave.

OPPORTUNITIES & CONSTRAINTS

The addition of 2.2 acres of level area to the park where the former school existed provides opportunities for new facilities at Woodlawn Park. The fact that many of the park facilities do not conform to modern safety standards or at the end of their usable lives, create the opportunity to approach the park as a blank slate to explore new layouts and relationships between facilities.

The original park design did little to address stormwater management. A modern design will require that stormwater management facilities be seamlessly incorporated into the design.

The three existing plateaus and associated slopes between them create constraints to how facilities can be laid out and how accessibility can be provided between them. Site grading will comprise a significant portion of the site construction budget and the plan should balance cut and fill to limit grading costs.

The entire park is suitable for public use.

There are no areas within the park that warrant special environmental protection.

There are some aspects of the site that will limit use. The steep slope along Woodlawn Ave. is home to the site’s mature trees. Grading activities should be limited along this slope to limit impacts to these mature trees. The existing beech trees should be preserved.

The park backs up to 24 adjacent residences. Consideration should be given to where facilities are located and the depths of site buffers for adjacent properties.



View of the former Woodlawn Elementary School looking west along Woodlawn Ave.



3

Activities & Facilities Analysis

COMMUNITY NEEDS, USES & PRIORITIES

Public Consensus

The public and steering committee meetings generated a community consensus that included the following themes:

- Maximize Open / Green Space
- Work to maintain existing trees / plant more trees / create areas of shade
- Provide for spaces to gather for teens, impromptu meet ups, family & friends picnic areas and neighborhood events.
- Provide facilities to walk and run for all abilities
- Develop a balance between on-site and on-street parking
- Calm traffic along adjacent roads
- Provide for a range of recreational activities focused on neighborhood recreation
- Respect adjacent neighbors

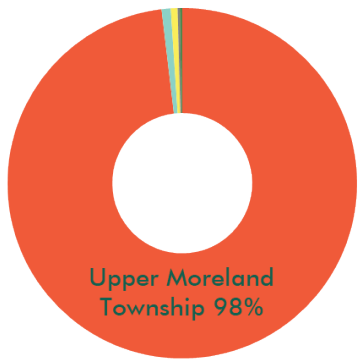
Anticipated Levels of Use

Depending on the season and weather, Woodlawn Park is anticipated to receive moderate use. Primary users of the park facilities will be nearby residents. It is anticipated that the majority of neighborhood users will walk to the park, while some residents will also drive.

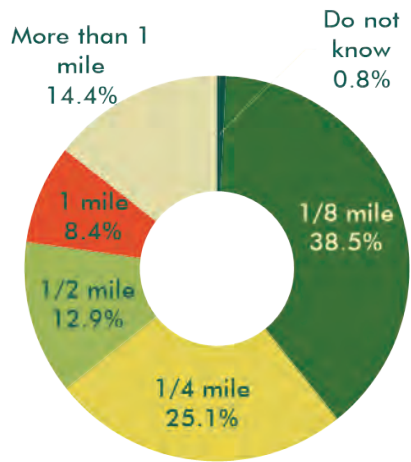
Additionally, the park will continue to serve the greater Upper Moreland community with select recreation facilities. These would include a baseball field and a neighborhood recreation center if they are included in the final plan. The field would serve for both practices and games for youth leagues and would generate moderate use associated with teams and spectators coming to the

park. A neighborhood recreation center would serve as gym and classroom space for Township programming. Programming would be geared towards all age groups: seniors’ classes in the morning, after-school programs in the late afternoon, summer day camps, evening and weekend family and adult classes; and neighborhood scale seasonal events. Gym space would generate a level of use similar to the existing ball field with space geared toward youth league practices and games in the evening and weekends. These community uses will require associated new parking to discourage visitors from parking in the surrounding neighborhood streets.

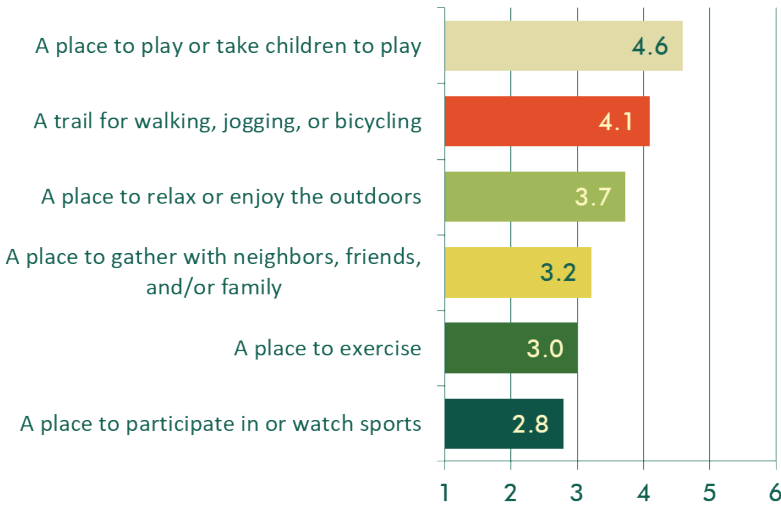
Survey Responses by Municipality



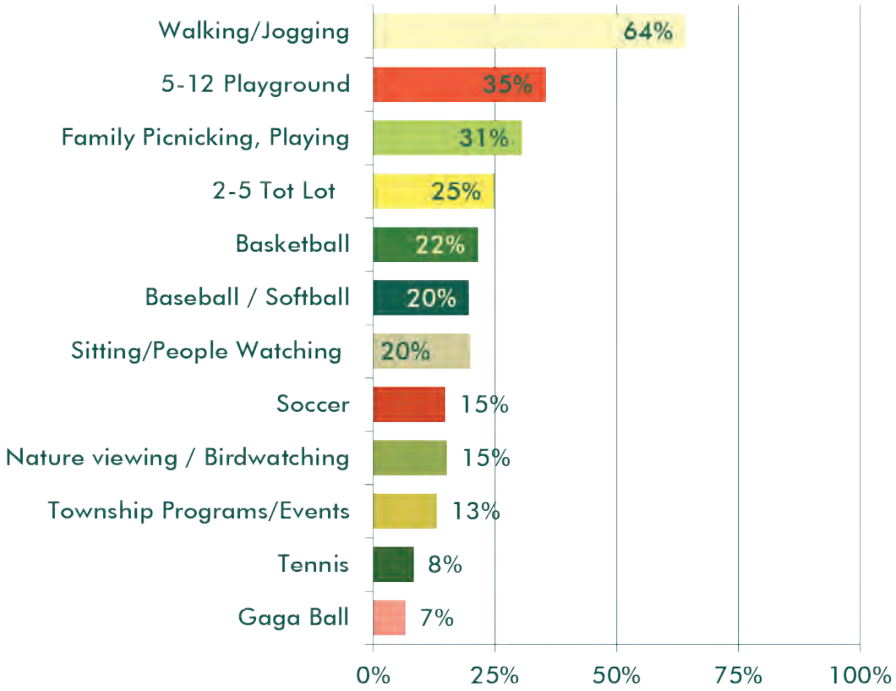
How close responder lives in relation to Woodlawn Park



Respondents’ preference of the type of recreational opportunities they want from Woodlawn Park



Respondents’ favorite activities at Woodlawn Park



New or additional facilities and activities respondents think should be considered at Woodlawn Park

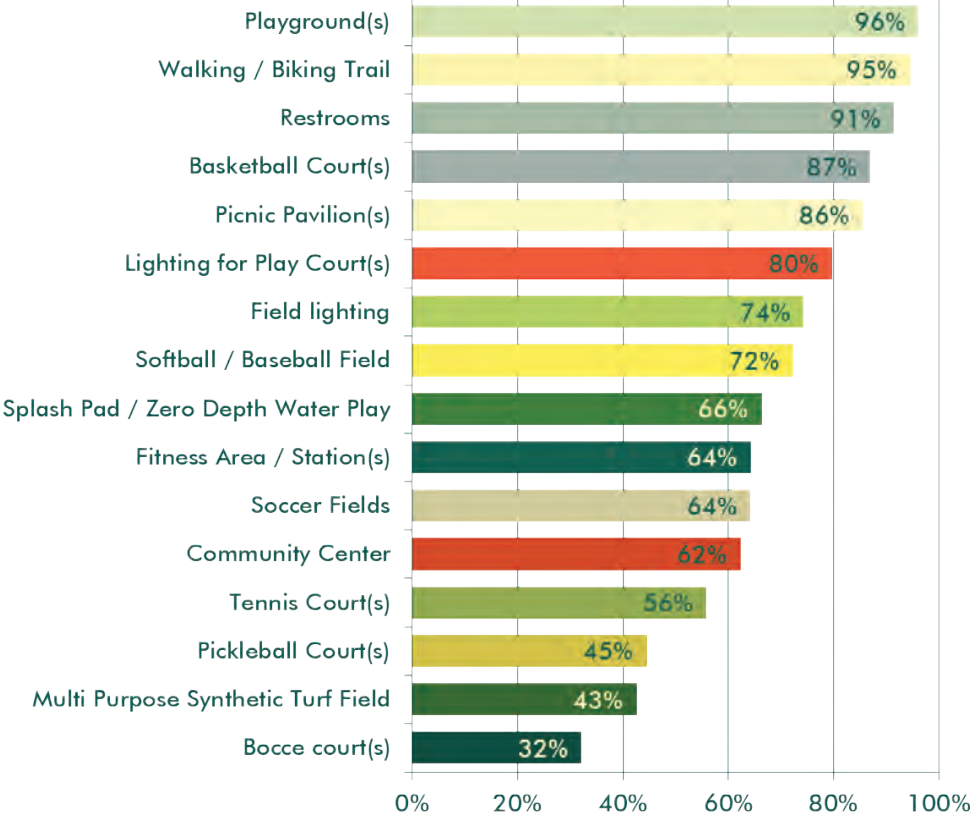


Figure 3.1 Select Public Opinion Survey Results (see appendix for full results)



View of existing gaga pit and park playground.

DESIGN GUIDELINES

Uniform Construction Code

Pennsylvania’s statewide building code is referred to as Uniform Construction Code (UCC). Enforcement of the UCC began in April 2004. Since then, over 90% of Pennsylvania’s 2,562 municipalities utilize this code, Upper Moreland Township has elected to administer and enforce the UCC locally. The UCC includes various industry building standards including the International Building Code (IBC). A listing of the full code can be found at the following link: <https://www.dli.pa.gov/ucc/Pages/default.aspx>

American Society for Testing Materials (ASTM) standards

ASTM International, founded as the American Society for Testing and Materials, is a nonprofit organization that develops and publishes approximately 12,000 technical standards, covering the procedures for testing and classification of materials of every sort. ASTM standards are used for the basis of ensuring good construction

materials and methods are sources and installed properly. Where applicable, the development of Park infrastructure should comply with ASTM standards. Examples of such work include the placement of asphalt and concrete walkways.

Consumer Product Safety Commission (CPSC)

CPSC works to save lives and keep families safe by reducing the unreasonable risk of injuries and deaths associated with consumer products. As such the CPSC sets standards for safety on playgrounds. The development of playgrounds in the park should comply with all relevant CPSC codes.

Summary of Relevant Township Zoning and SALDO Ordinances

The following is a review of existing Upper Moreland Township ordinances as they relate to Woodlawn Park. These ordinances (sections noted) are in place to assure uniform standards for public improvements and development.

Chapter 175 Grading

It is anticipated that there will be significant site grading to develop the new park layout. Chapter 175 of the municipal code outlines the design standards for grading. Key considerations are:

- Implementation of erosion and sediment control. These requirements are layout in Chapter 133 of the municipal code.
- Accommodations for adequate site drainage to eliminate undesirable ponding and assurances that surface runoff is safely conveyed to suitable outlet, such as a curbed street, storm drain, or natural watercourse. These requirements are contained in Chapter 287 of the municipal code.

In regard to excavations and fills, the following could apply to the park site:

- Notice to adjacent property owners before commencing any excavation or fill that could adversely affect their property.
- Cut and fill slopes shall not be steeper than 2:1 unless stabilized by a retaining wall or cribbing.
- Adequate provisions shall be made to prevent surface water from damaging the cut face of excavations or the sloping surfaces of fills.
- Cut and fill shall not endanger adjoining property.
- Fill shall be placed and compacted to minimize sliding or erosion of the soil.
- Grading shall not be done in such a way as to divert water onto the property of another landowner without the expressed written consent of the affected landowner.
- During grading operations, necessary measures for dust control shall be exercised.

Parking Stall (feet)		Aisle Width (feet)		
Angle of Parking (degrees)	Depth	Width	One-Way	Two-Way
90°	18	9	25	25
60°	18	9	18	20
45°	18	9	15	18

Figure 3.1 SALDO Parking Standards

In regard to the destruction of trees due to park development the following could apply to the park site:

- Every existing tree with a trunk eight inches or more in caliper which is destroyed shall be replaced with one new tree with a trunk of not less than three inches in caliper
- Such new trees shall not be placed on the lot as street trees or in place of trees required as screening.

Chapter 300 Subdivision and Land Development (SALDO)

The park should be developed in accordance with the Township SALDO however the Township may choose to forego a formal SALDO submission. If they do pursue a SALDO submission, there may be areas where they request/grant a waiver to accomplish the final park design. The major consideration regulated by the SALDO are landscaping and parking, key considerations include:

- At no time shall angle or perpendicular parking along the curbs of local, public or private access roads or streets be permitted. All parking lots and bays allowing any parking other than parallel shall be physically separated from the cartway by a minimum of seven feet and confined by barrier curbing. (Since the plan suggests angled / perpendicular parking, a waiver will be needed. The waiver should note that the perpendicular parking is a traffic calming measure.)
- No one area for off-street parking of motor vehicles in residential areas shall exceed 36 cars in capacity. Separate parking areas on a parcel shall be physically separated from one another by ten-foot planting strips.



The site is home to mature specimen trees.

- Parking lot dimensions shall be no less than those listed in Figure 3.1.
- Planting requirements. Street trees, softening buffers, screen buffers, parking area landscaping, detention landscaping, individual lot landscaping and other landscaping shall be provided according to the standards listed under § 300-40, General requirements, and the following specific planting requirements. Use of native species is encouraged.
- When parking areas are located within 150 feet from a street right-of-way or adjacent to any residential district, the perimeter of the parking area that is adjacent to the street or residentially zoned property shall be softened by a continuous low hedge composed of evergreen shrubs (24 inches minimum height at installation) around the outside perimeter facing the street or residential property.
- The number of parking spaces between landscaped islands for public and private recreational use is not more than six spaces in a row.
- Steep slope landscaping. Sodded lawn. Sodded lawn is required on slopes of 6.67:1 (15%) or greater, except where ground cover plantings have been provided. Ground cover plantings are required on slopes of three to one (33%) or greater,
- Heritage trees are to be preserved. The condition of all heritage trees is to be assessed by an ISA-certified professional arborist acceptable to the Township. The arborist’s report is to be submitted to the Township Landscape Architect for review. Such report is to include a summary of tree health and any recommendations regarding maintenance of such trees during and after construction. (Heritage trees are defined as: A tree located on public or private property which is considered worthy of preservation by the Township because of species, rarity or historical importance, or having a trunk diameter greater than 36 inches measured above the root flare, approximately 18 inches above grade

- Replace trees destroyed by development at the following rate:

Diameter of Existing Tree to be Removed (inches)	Number of Replacement Trees
8 to 23	1
24 to 36	2

- Every heritage tree which is irreparably damaged, removed or destroyed because of street alignment, building placement, parking area location, grading or other construction activities shall be replaced with new shade trees of a similar variety recommended by the Township Landscape Architect with a trunk diameter of not less than four inches measured at six inches above the ground line. The quantity of replacement trees shall be calculated on a caliper inch basis such that the total caliper inches of replacement trees is equal to or greater than the total caliper inches of existing heritage tree(s) removed.

Accessibility

The Americans with Disabilities Act (ADA) Standards for Accessible Design serve as a base line accommodation standard for building accessibility in the United States. These are standards mandated by Federal statute. Public recreation improvements must be designed following the most recent edition of the ADA Accessibility Guidelines for Buildings and Facilities. The most recent version of the ADA Accessibility Guidelines for Buildings and Facilities can be found at: <http://www.ada.gov>. These standards will play a key role in the design of Woodlawn Park to assure that universal access is achieved, and the facilities function for users of all abilities.

Additional guidelines have been developed to provide guidance for outdoor recreation facilities including trails; these guidelines allow for longer runs between landing areas, for example a slope of 8.3% can extend for 200 linear feet before a resting area is provided. The full guidelines can be found at: <https://www.access-board.gov/aba/guides/chapter-10-outdoor/#trails>.

Universal Design

Universal Design (UD) exceeds ADA standards and is defined as “the design of products and environments to be usable by all people, to the greatest extent possible without the need for adaptation or specialized design” (Center for Universal Design, North Carolina State University). Universal design is meant to be adaptable to various building types, learning environments, and communities. UD is driven by seven core principles:

Equitable Use. The design is useful and marketable to people with diverse abilities. For example, a website that is designed to be accessible to everyone, including people who are blind and use screen reader technology, employs this principle.

Flexibility in Use. The design accommodates a wide range of individual preferences and abilities. An example is a museum that allows visitors to choose to read or listen to the description of the contents of a display case.

Simple and Intuitive. Use of the design is easy to understand, regardless of the user’s experience, knowledge, language skills, or current concentration level. Science lab equipment with clear and intuitive control buttons is an application of this principle.

Perceptible Information. The design communicates necessary information effectively to the user, regardless of ambient conditions or the user’s sensory abilities. An example of this principle is captioned television programming projected in a noisy sports bar.

Tolerance for Error. The design minimizes hazards and the adverse consequences of accidental or unintended actions. An example of a product applying this principle is software applications that provide guidance when the user makes an inappropriate selection.

Low Physical Effort. The design can be used efficiently, comfortably and with minimum fatigue. Doors that open automatically for people with a wide variety of physical characteristics demonstrate the application of this principle.

Size and Space for Approach and Use. Appropriate size and space are provided for approach, reach, manipulation and use regardless of the user’s body size, posture, or mobility. A flexible work area designed for use

by employees who are left- or right-handed and have a variety of other physical characteristics and abilities is an example of applying this principle.

The master plan report includes a map illustrating accessible areas proposed.

Trail Design Standards

Woodlawn Park trails will accommodate walking and children’s biking. As much as possible, and especially in core activities areas, walkways should conform to the ADA Accessibility Guidelines for Buildings and Facilities. It is anticipated that park walkways will function as a shared use trail and should conform to recommendations contained in Pennsylvania Trail Design & Development Principles Guidelines for Sustainable, Non-motorized Trails, Federal Highway Administration (FHWA) standards for trails, and AASHTO (American Association of State Highway and Transportation Officials) guidelines.

Construction Permits

Erosion & Sedimentation Control

As noted in § 300-25 of the Township of Upper Moreland, Erosion and Sedimentation Controls Plans are required by Pennsylvania Department of Environmental Protection (DEP) for projects that create more than 5,000 square feet of earth disturbance. The Montgomery County Conservation District is delegated by the DEP to conduct certain activities for the Erosion and Sediment Pollution Control (ESPC) program and the National Pollutant Discharge Elimination System (NPDES) program for stormwater discharges from construction activities in Montgomery County. Also, DEP Rules and Regulations state that a municipality or county which issues building or other permits shall notify the DEP within 5 days of receipt of an application for a permit involving an earth disturbance activity consisting of 1 acre or more. With the exception of local stormwater approvals and authorizations, a municipality or county may not issue a building or other permit or approval until an NPDES or E&S permit, if necessary, has been obtained from Montgomery County Conservation District.

The National Pollutant Discharge Elimination System (NPDES) Permit

A federal permit that is administered at the state level, the overall goal of the NPDES permit is to improve water quality. Projects that disturb over one (1) acre of land require an NPDES permit for Stormwater Discharges Associated with Construction Activities.

The permit plans are divided into two (2) parts. The Erosion & Sedimentation Pollution Control plans (ESPC) are to be implemented by the contractor throughout construction activities until the site is stabilized by permanent plant growth. The Post Construction Stormwater Control Plans (PCSC) are to be constructed during the project and maintained by the site owner for the life of the project.

Stormwater Best Management Practices (BMPs)

The Pennsylvania Handbook of Best Management Practices for Developing Areas, by the PA DEP, offers numerous solutions for handling on-site stormwater. Where feasible BMPs should focus on vegetated / surface solutions to create opportunities that combine planting improvements with stormwater management and for education. BMPs that might be implemented at the Park include:

- Protect / utilize natural stormwater flow direction.
- Habitat restoration.
- Soil amendments.
- Native tree and shrub planting.
- Rain gardens.
- Bio-swales.

Due to the small size of the park, some stormwater may need to be controlled using subsurface retention / infiltration facilities. Final selection and location of site BMP’s require site-specific soil tests to determine site suitability and the infiltration rates of the existing soils.

Incorporation of these BMPs into park development will have a direct positive impact on preserving and enhancing water quality. The opportunity for education exists through the placement of interpretive signage to educate park visitors about watershed water quality and how BMPs can positively impact this site.

Stormwater Best Management Practices may also help the Township in achieving its mandated township-wide goals in its MS4 (Municipal Separate Storm Sewer System) permit. As improvements are being designed at Woodlawn Park, there should be coordination with the Township Engineer on how park improvements might positively impact the MS4 permit and plan.

Sustainable Site Design & Green Infrastructure

Native Plant Material & Invasive Plant Removal

The use of native plants supports the vision of enhancing the natural ecosystems within the Park. The planting design for the Park should include canopy and understory trees, shrub and herbaceous plant understory. Native plant materials can create an attractive landscape that will help reduce long-term maintenance costs. Native plants are generally resistant to most pests and diseases and once established, require little or no irrigation or fertilizers. In addition to the above benefits, native plants provide food and habitat for indigenous fauna.

Disturbed lands often allow invasive plant materials to establish on a site. A program for monitoring and controlling invasive plant species within the Park should be undertaken. This is a labor-intensive task, ideally suited for volunteers, including school, church, or scout groups.

“Green” Practices

Choices in materials have the potential to affect the health of a site ecosystem as well as the larger environment. Every material has a life cycle cost, including raw materials and natural resources, product manufactured, and delivery for use. Closer consideration of the sustainability of a materials life cycle can have far reaching benefits. Sustainable material practices include (SITES, 2014):

- Re-use of existing site materials.
- Purchase local and sustainably produced plants and materials.
- Consider the full life cycle of materials. Consider the end life of a product. Can it be deconstructed and re-used?
- Work towards zero net waste in demolition, construction, and management.

Additional guidelines on green building standards are included in the SITES and LEEDS programs.

The Sustainable Site Initiative (SITES)

The SITES criteria promote sustainable land development and management practices for sites with and without buildings. SITES standards focus on site development practices and are often overlooked by “green” building standards. The SITES “system” rates projects based on management of site hydrology systems, soils, plants, material selection, and human health and wellbeing. The U.S. Green Building Council (USGBC), a SITES stakeholder, plans to incorporate SITES into future LEED requirements.

Additional information can be found at: <http://www.sustainablesites.org/>

LEED

Also developed by the USGBC, the LEED program is a globally recognized, highly effective green building rating system that strives to “optimize the use of natural resources, promote regenerative and restorative strategies, maximize the positive and minimize the negative environmental and human health impacts of the building industry, and provide high quality indoor environments for building occupants”. More information about the LEED program can be found at: <https://new.usgbc.org/leed>

DESIGN ELEMENTS & FACILITIES
STANDARDS

The primary goal of the plan is to create meaningful recreational experiences for people of all abilities. To accomplish this, the plan recommends many facilities that will serve a wide range of park users.

Walkways

ADA-Compliant Asphalt Walkways

A 10-foot-wide asphalt ADA-compliant walkway will serve as the main park perimeter walkway. The material provides a level and stable walkway while minimizing maintenance due to erosion in areas where slopes exceed 3 percent. Walkway shoulders should be 2-feet in width, level, and maintained as mown lawn. Low level lighting should be included along the main perimeter walkway to allow for neighborhood residents to safely use pathways for walking and exercise in the mornings and evenings during winter months.

Secondary walkways can vary in width from 5 to 8 feet in width. In higher traffic areas such as parking areas



Wider walkways can safely accommodate a variety of user types within the park including family walks, strollers, children biking, and roller-blading.

walkways should be 6 to 8-feet wide. For minor walkways connecting the main walkway to facilities, 5-foot widths are recommended to conform with required ADA passing widths. Along main walkways, benches are recommended at regular intervals to allow users to stop and rest.

Some walkways within the park will not be universally accessible for wheelchairs and will exceed 5-percent slope. However, the inclusion of steps with handrails should be considered in areas where walkway slope exceeds 10-percent.

Sidewalks

Where sidewalks are being replaced, they should be constructed of concrete paving and be a minimum of 4-feet in width. As feasible, a grass verge, 3-feet minimum width should be provided between the road and sidewalk.

Plazas

Meant as spaces for visitors to pause, gather, or meet, plazas can include distinguishing hardscape materials, seating, artistic focal points, interpretive signage, lighting, and plantings.

Synthetic Turf / Community Green

A central open area can offer space for neighborhood events and function like a “community green”. Synthetic turf can provide a level durable surface that can stand up to heavier foot traffic. An elevated plaza / stage area at one end of the green will serve for neighborhood scale events. The stage area should generally be oriented east so performers are not looking into the sun. Taking advantage of the change in topography found on site, the area surrounding the event lawn should be grading to form hillside seating areas creating a natural bowl or amphitheater around the community green.

Additionally, the community green can offer opportunities for pickup sports such as tag, soccer, badminton or volleyball. Removable nets can be stored on site and installed as needed for different events. Volleyball Courts should be 30 feet by 60 feet. Sidelines should be a minimum of 10 feet on all sides. The courts should be oriented so the direction of play is north-south. A 10,000 square foot green at Woodlawn Park could accommodate between 250 to 400 people at an event.



Sledding hills can be a enjoyable winter activity.

Sledding Hill

The change in elevation on the site has potential to offer sledding opportunities. A gentle slope can be constructed and plantings used to help direct the sledders to the preferred sledding location. During the summer months the open lawn slope can serve as a play hill.

Neighborhood Pavilion

A medium-sized neighborhood pavilion can provide a place for people to gather while simultaneously functioning

as a small event space and for rentals. The design of new pavilions should be economical and durable while offering a quality of design that helps to reinforce a cohesive park identity. A pavilion approximately 44-feet long by 24-feet wide can accommodate approximately 50 people seated at picnic tables. Picnic tables should be durable, easily cleaned, and should accommodate wheelchairs access. Utility service to the pavilion should include electrical and water for a drinking fountain and hose bib to facilitate cleaning.

Restrooms

The site should include at a minimum a single-family friendly restroom facility. With baseball games in the park, two family friendly restrooms may be warranted. The restrooms should be automatically locking to deter vandalism. Construction materials should be durable and easily cleaned. The park restrooms should be included as part of the neighborhood recreation center building, with access from the outside of the building when the main building is closed. If no neighborhood recreation center building is constructed, then the restroom building should include park storage as well as a small pavilion area. The design of the restroom pavilion should be in keeping with the scale and design aesthetics of the surrounding neighborhood.



The design of new pavilions should be economical and durable while offering a quality of design that helps to reinforce a cohesive park identity.

Safety/Security

Camera systems should be installed to provide activity monitoring throughout the park. Cameras can be hardwired or set to upload to cloud storage.

Lighting in key areas of the park is recommended. Lights can be set to provide illumination when motion is detected to deter unwanted use when the park is closed. Standard lighting level of parking areas and low-level lighting along major pathways will allow for safe use of the park during evening and early morning hours. Parking area lighting can be programed to dim when the park is closed.

Baseball/Softball Field

The proposed ball field has a 70-foot base path, an outfield of 250-feet, a 35-foot buffer from home plate / foul lines to the field backstop/ fencing; and a 25-foot buffer between area of play and walkways. Seasonal fencing is proposed for the outfield to allow options for other field sports. Field solar orientation is north-northeast, per DCNR standards for solar orientation.

The incorporation of a skinned infield will provide the ability to use the field for both 60’ or 70’ basepaths, accommodating play for multiple age groups. The final design should consider the incorporation of a portable mound to allow for the field to accommodate both softball



A synthetic turf infield can help to extend the play time on a field due to quick recovery times after a rain event.

and baseball should softball field demands increase in the future.

Final design should consider a synthetic turf/dirt infield. This will reduce field maintenance requirements and will extend the usability of the field, particularly in regard to weather-related field “down time”. The use of synthetic turf also presents an opportunity for stormwater management, as this material can be designed to provide a subsurface storage area for stormwater detention and infiltration.

The field should be irrigated to address extreme dry conditions that are experienced due to the site’s higher location and exposure to prevailing winds. Irrigation will also reduce overall maintenance and help to prevent field compaction that often is a contributor to player fall injuries.

Multi-use court area

The multi-court area should accommodate a series of court games. Spectator seating is not anticipated for the court area however benches should be included in the area for participants while waiting to play.

Two (2) basketball courts are proposed for recreational play. The basketball courts should be 50 feet by 84 feet with a minimum 10-foot-wide paved safety zone maintained around the outside edges of the court. Courts should be oriented so the direction of play is north-south. Fencing, ten feet in height, should be considered behind the goal areas but is not required to surround the courts. The inclusion of LED court lighting will extend use into the evening hours year-round and can be set on timers to shut off at a given hour (9:00 or 10:00 PM for example). Basketball goals should be placed to limit vertical obstructions for other play court layouts.

A modified deck hockey court should be considered for neighborhood pickup games. A full-size deck hockey rink is 160-feet by 80-feet. The modified court area of 140-feet by 60-feet with a minimum safety area of 10-feet surround free of vertical obstructions is recommended and will still accommodate 5 vs. 5 play. Walls are not recommended for pick up play level however a raised curb could be considered to contain the puck in the court area. Portable goals or a goal line can represent the goal areas.



The court area can accommodate multiple game opportunities.

A tennis rebounder wall 10-feet tall by 24-feet long will accommodate single player practice allow space for drills that require side-to-side hitting patterns geared at developing both ball control and player footwork. Board material should be selected to accommodate additional sports such as soccer, lacrosse, and basketball. An area free of vertical obstructions should include 20-30 feet in front of the board and 10-feet to either side of the board.

A single pickleball court within the court area should be considered. A portable net would allow pick up neighborhood games. Pickleball is a paddleball sport with elements of tennis, table tennis, and badminton, and is played with two or four players. This game has increased in popularity in recent years, especially with seniors, who are often underserved when it comes to public recreational facilities. Pickleball courts should be 20 feet wide by 44 feet long, inclusive of 2-inch-wide lines. The minimum total playing area of 30-feet wide by 60-feet long is required however a 10-foot surrounding margin is recommended for a court area of 40-feet by

64-feet. Courts should be oriented, so the direction of play is north-south. Fencing, ten feet in height, enclose the courts.

Last, informal court games such as four square should be considered within the multi-court area. The court area should be 16-feet by 16-feet. A safety area is not required but a four-foot area free of vertical obstructions surrounding the court should be considered.



Example tennis practice wall.

Playgrounds

Playgrounds nurture knowledge, discovery, and curiosity through play. A successful playground helps children to build fitness, confidence, imagination, and social skills. It is proposed that the playground incorporates nature-based and inclusive elements to provide a unique play experience.

Because of the site’s residential neighborhood setting, it is proposed that the playground incorporates durable elements to provide play opportunities for children ranging from ages 2-12. The playground features a component playground, which provides climbing, sliding, and other play activities, basket swing, and tot swings. The playground surface is poured-in-place play surface, providing for universal access.

Popular trends in playgrounds today include both inclusive design principles and nature-based play. It is recommended that the playground incorporate natural terrain elements reflective of the site’s dramatic change in elevation. Themes for the playground could reflect the natural and historic significance of the site including the USGS survey marker, geology, or watershed divide.



Harper’s Playground in Portland, OR is a good example of inclusive play incorporating topography.

Splash Play Area

A splash play or zero-depth water play area is a plaza with water play elements that can be both artful and playful. Water does not pool or accumulate on the ground in zero depth water play features. Systems can be designed as water pass-through or recirculating and filtered systems. Pass through systems are less expensive to install and maintain. However, there are higher costs associated with operations due to water costs and sewer disposal costs.

A recirculating system collects water via drain inlets, filters, treats, and recirculates it in a closed system through a series of pumps. This system has higher initial costs and requires regular maintenance. However, the long-term cost of operating the system is much less. In a recirculating system proper water chemistry is maintained to meet the safety standards for public pools. With modern single source manufacturers, the treatment and testing of water is automated.



A neighborhood scale splay pad can offer a way to cool of during hotter weather well also serving as a small plaza when not in use.

Splash Play systems can be user-actuated and programed to conserve electricity and water. The plaza surface can be pavers or colored concrete installed in a range of colors and designs. The area can operate as a seating plaza in cool months. Zero depth water play areas are an economical solution to providing non-fee and safe water play opportunities. The area for the spay play needs to be served by electrical, water and sanitary sewer access.

Outdoor Fitness Area

A plaza area containing outdoor fitness equipment should be located near a park entrance along the multi-use trail. A 1,500-square foot area is proposed to house equipment creating a full body, outdoor gym experience to help people meet their exercise goals. Equipment should be geared towards a range of teen and adult ages and include ADA accessible features. Poured in place rubber safety surface will create an even, stable, low maintenance surface.



Outdoor fitness equipment can appeal to a wide array of user groups from teens to senior citizens.

Buffers

There are areas along park boundaries where plant buffers, earthen berms, and/or fencing may be appropriate to maintain the visual privacy of adjacent property owners. The plan proposes the use of low meadow grasses, shrubs, and a mix of flowing deciduous and evergreen tree plantings to create soft buffer. All plantings along the neighboring properties will need to consider offsets from overhead utility lines. Some locations within the park may require a denser evergreen buffer; Township staff should maintain open communications with residents and respond appropriately, especially in regard to the preferences of neighbors on Forest Avenue whose properties abut the Park's edge. Throughout the master plan process some neighbors expressed the desire for heavier buffers, while others wanted to continue to access the park physically or visually from their rear yards.

Fencing

Along the Forest Avenue residences, the fences have been selectively constructed by neighbors. The plan does not recommend installing new fencing in these areas with the exception of two areas: along the Forest Ave. pedestrian access walkway where the fence is on Township property and along the existing Woodlawn Ave. driveway where the fence is in disrepair. In these areas the new fencing

should be 4-6 feet tall estate style metal picket fence. In the area of the Forest Ave. pedestrian walkway the fence should transition into a pedestrian gateway portal to denote the area as a public park entrance.

Along Division Ave. new, 4-foot-tall estate style metal picket fencing should be used to control foot traffic in and out of the park.

Fencing in the area of the playground should be explored during final design. The existing slope does act to separate the play area from the street; however, fencing may still be desirable inclusive design element to help control access in and out of the play area.

Site Furnishings

Site furnishings provide additional amenities and create a sense of uniformity in the park landscape. These improvements include benches, picnic tables, trash receptacles, signage, bike racks, and drinking fountains. These amenities should be chosen to be durable, cohesive with the design and materials of elements in the park and surrounding neighborhood and meet ADA standards. Along walkways, benches should be placed periodically. Half of all benches and picnic tables in the park should be ADA accessible with direct access from a paved area and an adjacent paved area to accommodate a wheelchair.

Trash receptacles should be strategically placed at park entrances and high use areas such as the court areas, playgrounds, and pavilions.

Park & Wayfinding Signage

New park signs are proposed at key entrance points into the park. Park rules signage should note hours of operations, emergency contact numbers, and other relevant information. Signage should be professionally planned and designed to reinforce a cohesive township and park identity.



A community green can serve for neighborhood gatherings such as movie night.

All weather outdoor game tables like ping pong or fueseball provide activities for all others.



Attractive fencing is important to creating a welcoming park.



A small stage area can provide space to neighborhood scale performances.



4

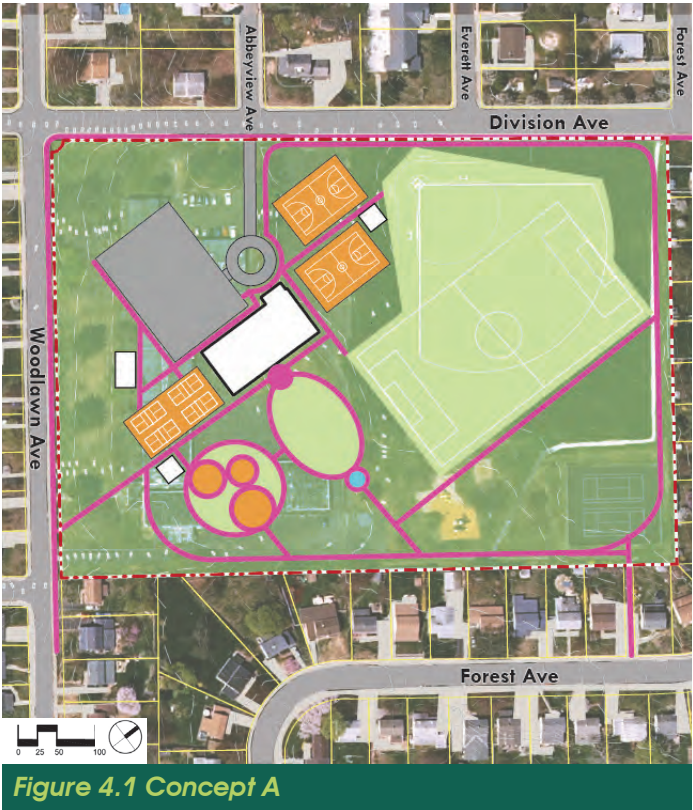
Design Process & Recommendations

INITIAL CONCEPT PLANS

Based upon preliminary site analysis, field reconnaissance, and preferences outlined during the first steering committee meeting, the consultant team created five (5) preliminary concept plans. These concepts were developed to explore potential site facilities and their relationships to one another with the committee. Concept elements were selected based on public, committee, and staff input as well as consideration for current recreational trends.

Common elements through some or all concepts were as follows:

- Accessible walking paths
- Formalized vehicular access
- Pedestrian access from streets
- Parking area
- Crosswalks
- Restrooms
- Pavilions
- Neighborhood recreation building
- Plazas/seating areas
- Ball field
- Soccer field
- Basketball Courts
- Pickleball courts
- Playground area
- Water play area
- Open lawn area



Concept A

Concept A proposes a 13,000 square-foot neighborhood recreation building with an on-site parking lot for 52 spaces and a drop-off loop. An open lawn extends from the rear of the building, with a water play area placed at the opposite end and an adjacent playground area. Outdoor active recreational facilities include: two (2) full-sized basketball courts; four (4) pickleball courts; and a new baseball field with a 70-foot base path and outfield that is shared to accommodate a U-13 soccer field. Three (3) pavilions are proposed near the playground, pickleball courts, and basketball courts.



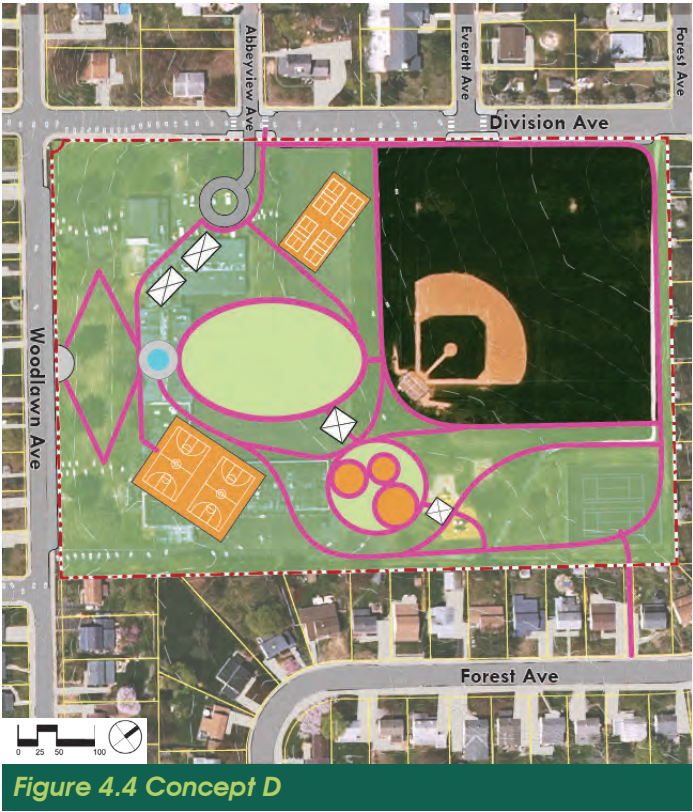
Concept B

Concept B proposes a 5,000 square-foot neighborhood recreation building. On-street parking on Division Avenue (40 spaces) and Woodlawn Avenue (20 spaces) is proposed in conjunction with sidewalk bump-outs and crosswalks along Division Avenue. A water play area, which also serves as a plaza, is placed directly behind the building and near the playground area. Outdoor active recreational facilities include: two (2) full basketball courts; four (4) pickleball courts; and a new baseball field with a 90-foot base path and outfield that is shared to accommodate a U-13 soccer field. Three (3) pavilions are proposed near the playground, pickleball courts/baseball field, and the Woodlawn Avenue frontage.



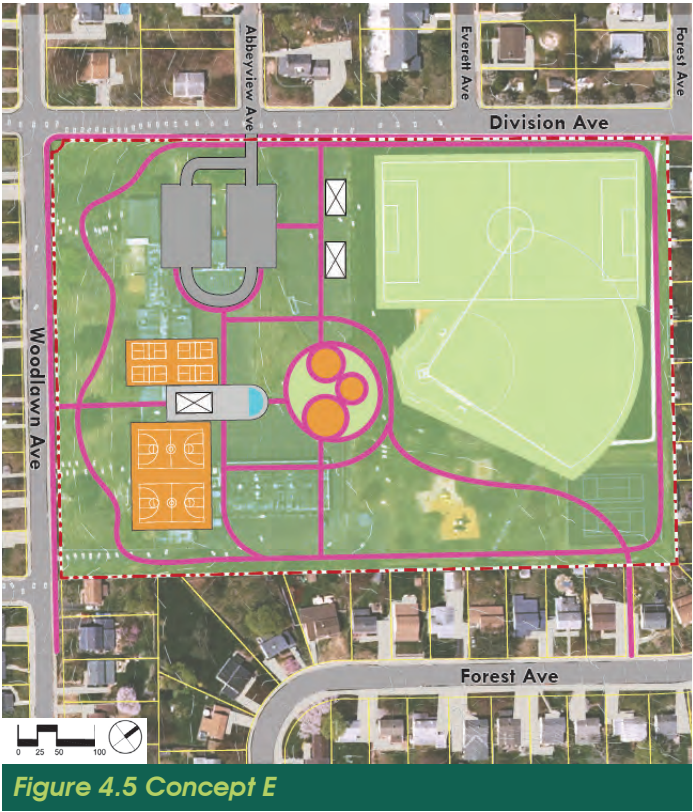
Concept C

Concept C proposes a 40,000 square-foot community building with an on-site parking lot for 160 spaces. A playground area sits adjacent to the building and a pavilion, open lawn area, and water play area are placed at the center of the site. Outdoor active recreational facilities include: two (2) full basketball courts and a U-13 soccer field.



Concept D

Concept D proposes on-street parking on Division Avenue (40 spaces) and Woodlawn Avenue (20 spaces) in conjunction with sidewalk bump-outs and crosswalks on Division Avenue. An on-site drop-off loop is proposed at the intersection of Division Avenue and Abbeyview Avenue. An open lawn area sits at the center of the site, with a water play area which also serves as a plaza placed at the south end, near the Woodlawn Avenue frontage. Outdoor active recreational facilities include: two (2) full basketball courts; four (4) pickleball courts; and maintenance of the existing, northwest-oriented baseball field with a 90-foot base path and outfield that is shared to accommodate the existing U-13 soccer field. Three (3) pavilions are proposed near the playground, central lawn, and drop-off loop, and one (1) restroom pavilion is proposed between the central lawn and playground area.



Concept E

Concept E proposes an on-site parking lot with 40 spaces and a drop-off loop. A plaza with a water play area is proposed near the Woodlawn Avenue frontage. Outdoor active recreational facilities include: two (2) full basketball courts; four (4) pickleball courts; and a new baseball field with a 70-foot base path and outfield that is partially shared to accommodate a U-13 soccer field. Two (2) pavilions are proposed between the parking lot and ball field, and one (1) restroom pavilion is proposed in the plaza.



REFINED CONCEPT ALTERNATIVES

Based upon guidance and feedback from the Steering Committee and staff, the consultant developed four (4) concept refinement alternatives for presentation to the Public. Program elements include:

- ADA Loop Walking Trail
- Restrooms
- Picnic Pavilion
- Playground area
- Small Plaza / Seating Areas
- Open Play Lawn
- Basketball courts
- Multi-use Court
- Outdoor Fitness Area
- Neighborhood Scale Water Splash Pad
- Baseball Field
- Community / Neighborhood Recreation Building
- Preserve Heritage trees
- New Tree Plantings
- Stylized Native Meadow Plantings
- Lighting
- Crosswalks
- Parking



Concept 1 – Baseball Field on Fill

Concept 1 proposes on-street parking (42 spaces, 90-degree head-in parking) in conjunction with sidewalk bump-outs and tabled crosswalks on Division Avenue. A central plaza sits adjacent to the proposed outdoor fitness area, playground area with gaga pit, and a restroom and concessions building. An entry plaza is proposed at the park entrance near Abbeyview Avenue, as well as two (2) full basketball courts. A flagpole plaza is proposed near the existing USGS marker at the northern corner of the site. Outdoor active recreational facilities include: two (2) full basketball courts and a new baseball field with a 90-foot base path. A 0.4-mile loop trail and other walking paths provide access into and around the site and all amenities.



Concept 2 – Neighborhood Recreation Building

Concept 2 proposes on-street parking (40 spaces, 90-degree head-in parking) in conjunction with sidewalk bump-outs and tabled crosswalks on Division Avenue. This concept proposes that Woodlawn Avenue be converted to a one-way street to calm traffic and accommodate on-street parking (45 spaces, angled head-in parking) and associated sidewalk bump-outs along the north side of Woodlawn Avenue. On-site parking (15 spaces) and drop-off loop enter the site from the intersection Division Avenue and Everett Avenue. A neighborhood recreation building sits at the center of the site, off the rear of which extends a plaza, open lawn, and splash pad. A hillside playground is situated near the Division Avenue frontage, and two (2) full basketball courts, a play court, and outdoor fitness area, and small pavilion sit adjacent to the building and parking lot. Two small plazas are placed along the loop trail. Earthen mounds and plantings are proposed along the edges of the site to serve as a buffer where the property boundary is shared with residences on Forest Avenue. A 0.37-mile loop trail and other walking paths provide access into and around the site and all amenities.



Concept 3 – Baseball Field in Cut

Concept 3 proposes on-street parking on Division Avenue (42 spaces, 90-degree head in parking) in conjunction with sidewalk bump-outs and tabled crosswalks on Division Avenue. An entrance from the intersection of Division Avenue and Woodlawn Avenue leads to an overlook plaza, a pavilion with concessions and restrooms, and a playground. At the northern corner of the site is a flagpole plaza, two (2) full basketball courts, multi-purpose courts, and a small pavilion. Set further into the site, a small plaza and an open lawn area sit alongside the loop trail. At the center of the park is a new baseball field. A 0.32-mile loop trail and other walking paths provide access into and around the site and all amenities.



Concept 4 – Passive Park

Concept 4 proposes on-street parking (26 spaces, 90-degree head-in parking and parallel parking) in conjunction with sidewalk bump-outs and tabled crosswalks on Division Avenue. At the southeastern corner of the site are a restroom pavilion and a plaza, which are set between a dual-purpose court area, containing two (2) full basketball courts and a deck hockey court, and a multi-purpose court. Further east is a playground and nearby picnic pavilion. As the grade rises to the north, there is a lawn amphitheater and a series of three open lawn areas. A flagpole plaza is proposed near the existing USGS marker at the northern corner of the site, along with an entry plaza and a small plaza off of Division Avenue. A 0.32-mile loop trail and other walking paths provide access into and around the site and all amenities.

Concept Public Feedback

There were elements of each of the four concept plans that were preferred by the public. Preferences for one concept over the other often were based on very specific locations of key elements such as the playground, court area, neighborhood recreation center and parking. The following is a general consensus:

- The size and characteristic of a neighborhood recreation center should relate to the surrounding residential neighborhood.
- The majority of the parking for the neighborhood recreation center should be included within the park site and not developed as on road parking.
- Internal vehicular parking should be visible from the street and not located near residential backyards.
- The court area should be visible from the street and not located near residential backyards
- A playground area should be separated from the street but visible and not ‘hidden’ in the park.
- A baseball field is an important component of the neighborhood and park however it should not dominate the park.

Following the public feedback, the Township park and the township recreation staff took a closer look at the current inventory of baseball facilities. It was determined that two existing 90-foot baseball fields within the Township could be improved to extend their usability by local youth leagues. They also identified the need for a 70-foot baseball field in the Township. It was determined that the final plan should explore the development of a 70-foot baseball field at Woodlawn Park, along with a concept for a neighborhood recreation building that is approximately 15,000 square feet in size.

MASTER PLAN

Based on public, committee, and staff feedback the following program elements were identified for inclusion in the draft plan:

- Multi-use Walkway
- 70-Foot Baseball Field
- Multi-Purpose Court Area
- Playgrounds
- Splash Pad Area
- Fitness Areas
- Plaza Spaces
- Pavilion
- Neighborhood Recreation Building

The plan is described in four parts: Pedestrian Gateways & Street Traffic Calming, Lower Plateau, Middle Plateau, and Upper Plateau. The following is a list of key improvements in each area.



Figure 4.10 Woodlawn Park Site Development Drawing

Pedestrian Gateways & Street Traffic Calming

Street Traffic Calming

The plan recommends providing crosswalks and improved curb ramps at each of the street crossings near the park to improve pedestrian routes into the park. Along Division Ave. and Woodlawn Ave., where intersections are not controlled in all directions by stop signs, the plan recommends implementing curb extension / bump-outs and raised crosswalks. These would take place at the Division Avenue intersections with Forest Avenue, Everett Avenue, and Abbeyview Avenue, and at the intersection of Woodlawn Avenue and Silver Avenue.

Curb extension / bump-outs are extensions of the curbing across a parking lane that can also be used to narrow a travel lane. The curb extension reduces the crossing distance for pedestrians; improve the line-of-sight for pedestrians; make pedestrians more visible to oncoming traffic; slows traffic by funneling it through a narrower opening; and slows vehicles making a right turn by reducing the curb radius. Additionally, they offer opportunities for water quality stormwater best management practices (BMPs). Curb extensions are identified by PA DOT as offering a moderate effect at reducing vehicular speed and pedestrian / vehicular



Raised Crosswalk with Curb Extensions or "bump-outs"

conflict reduction and have minimal or no effect on volume reduction and emergency response. Design of curb extensions should have provisions for roadway drainage and snow and ice removal.

Along Division Ave. the curb extensions would define the parking areas while maintaining the existing condition of two full 10-foot-wide travel lanes. In final design and engineering narrow lanes of 9 feet should be explored for their potential to have a greater effect on speed reduction.

A raised crosswalk is elevated 6-inches above street grade to be flush with the curb. A raised crosswalk is designed

to function as a speed hump and is 22 feet in length with 6-foot ramps on either end of a 10-foot flat top. The table is designed to allow for car speeds of 25-30 mph. Raised crosswalks improve pedestrian visibility by defining crossings. The design of raised crosswalks should meet all ADA requirements and have provisions for roadway drainage and snow and ice removal. Raised crosswalks are identified by PA DOT as offering a moderate effect at volume reduction and pedestrian / vehicular conflict reduction; and have a significant effect in speed reduction and emergency response. Recommended spacing for speed humps are 250 to 600 feet apart.

Along Division Ave. the spacing of raised crosswalks is between 250 to 275-feet apart, affecting the greatest potential for speed reduction. The height of the raised crosswalk should create a flush condition with adjacent curbs to create level pedestrian transition, it is anticipated that they be 6-inches high.

Parking is proposed on both sides of Division Ave. Along the western portion of the street parallel parking will continue to be permitted with striping to clearly define appropriate parking spots. On street parallel parking helps to reduce vehicle speeds by reducing the effective width of the roadway.

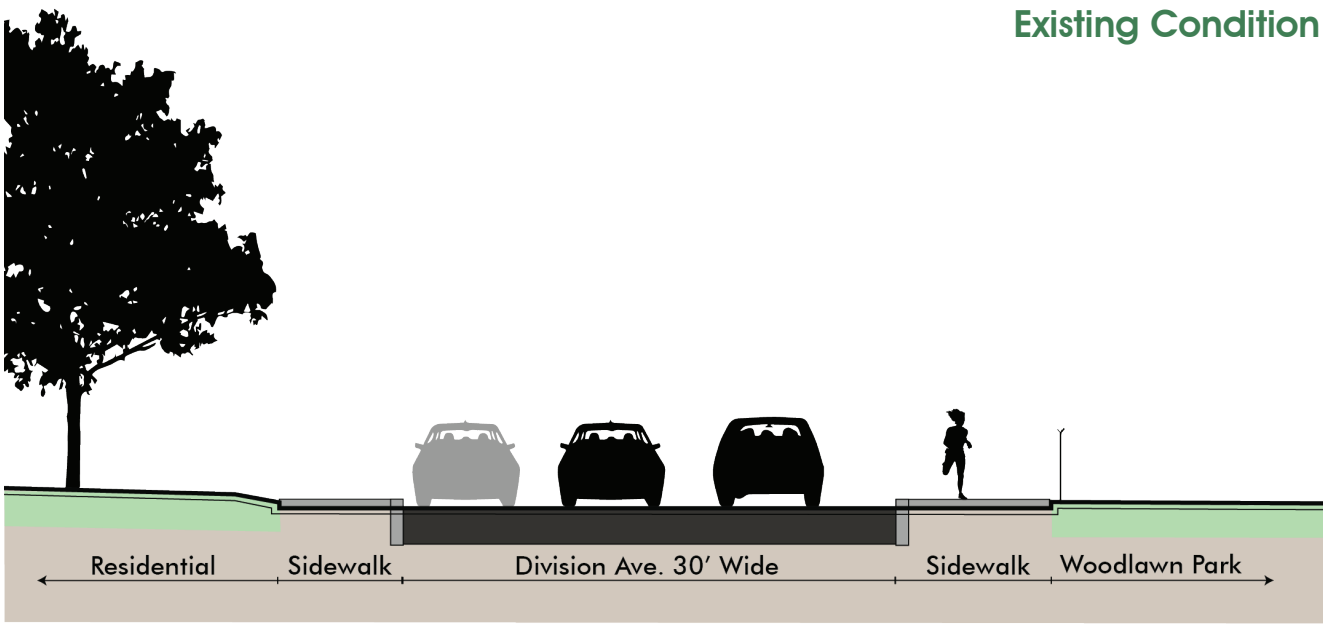
Along the eastern portion of the street head-in 90-degree parking is recommended. This will be accomplished

through the construction of new pavement and will not remove width from the current roadway. The use of 90-degree parking will increase the number of parking spaces and create a buffer between the sidewalk and lanes of traffic. The use of 90-degree parking is not recommended as a primary tool for speed reduction and should only be implemented in conjunction with the curb extensions and raised crosswalks. A waiver to the Township SALDO regulations is necessary to permit this proposed parking layout.

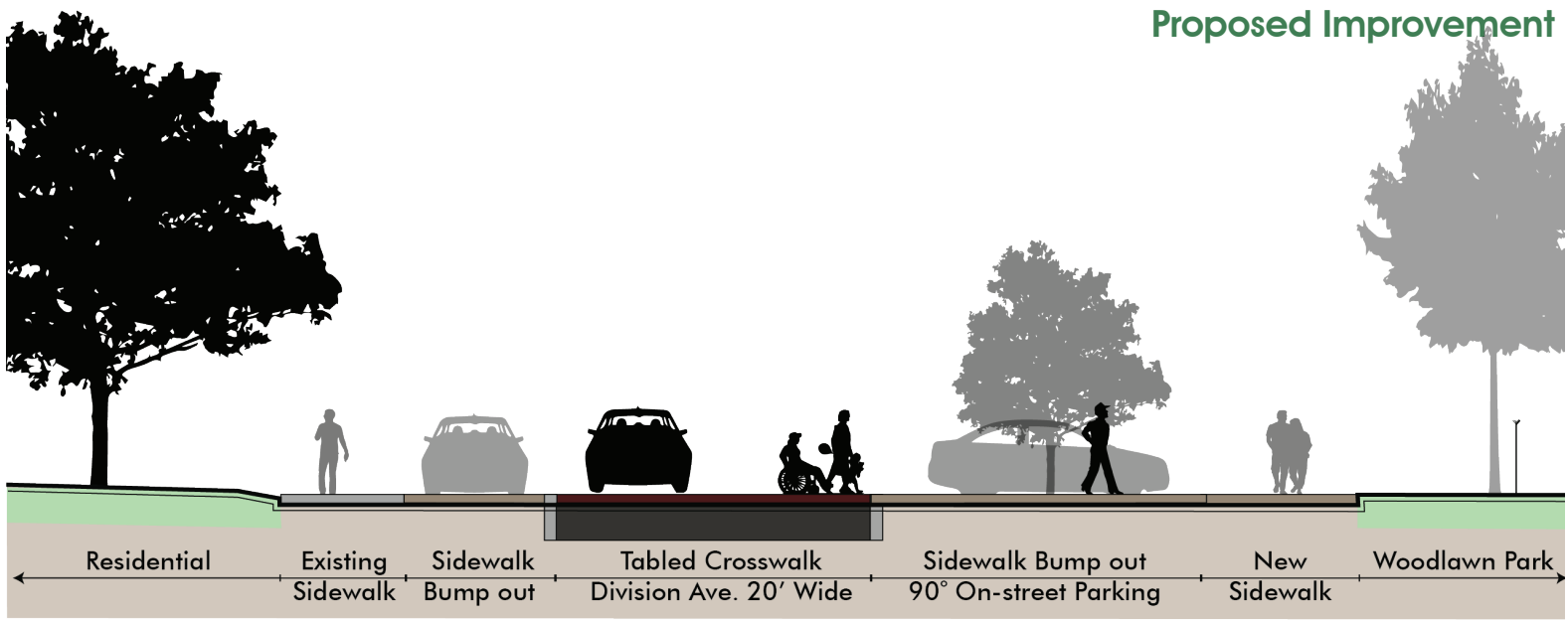
Parallel parking will remain along the southern edge of Woodlawn Road. Due to the narrow road width and when parking is sufficiently occupied, it effectively reduces speeds by creating a "chicane" effect as vehicles may occasionally have to pull over to permit opposing vehicles to pass.

The township should explore the addition of two stop signs in the area of the park:

- 1. Add a stop sign for northbound traffic on Silver Ave. at the Woodlawn Ave. and Silver Ave. intersection.
- 2. Add a stop sign for southbound traffic on Division Ave. at the Forest Ave and Division Ave intersection.



Existing Condition



Proposed Improvement

Figure 4.11 Division Ave Raised Crosswalk with Curb Extensions Before & After

A Woodlawn & Division Ave. Gateway

B Woodlawn & Silver Ave. Gateway

C Forest Ave. Gateway

D Division Ave. & Forest Ave. Gateway

E Curb Extension (Typical)

F Tabled Crosswalk with Curb Extension (Typical)

G Major Crosswalk with Curb Ramp Improvements (Typical)

H Minor Crosswalk with Curb Ramp Improvements (Typical)

I Division Ave 90° Pull-in Parking (27 Spaces)

J Division Ave Parallel Parking (17 Spaces)



Figure 4.12 Park Accessibility Map

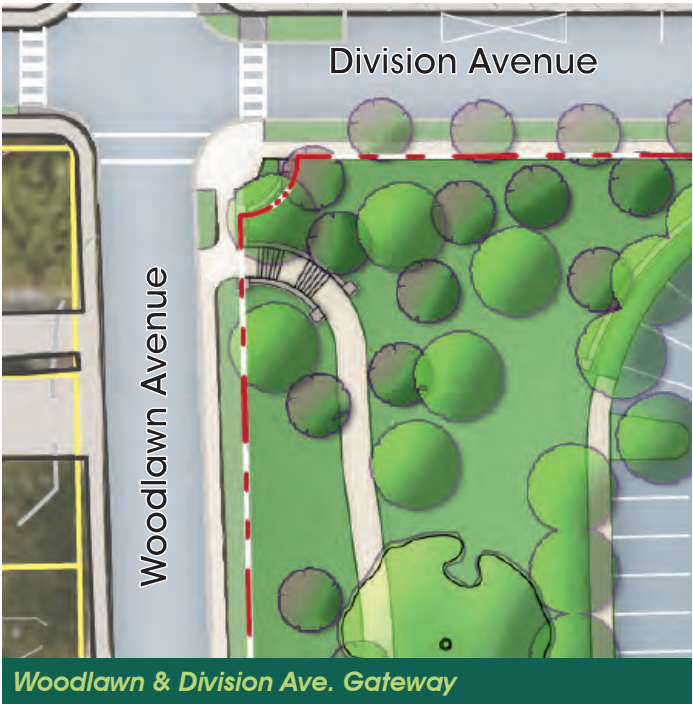
Pedestrian Gateways

A variety of pedestrian entrances into the park are proposed to create a sense of arrival and define the park identity. Four major entrances are planned at each of the park corners: Woodlawn Ave. and Division Ave., Woodlawn Ave. and Silver Ave.; Forest Ave., and Division Ave. and Forest Ave. Additionally, two secondary pedestrian entrances are proposed at the intersections of Division Ave. with Abbeyview and Everett.

Woodlawn & Division Ave. Gateway will serve as a primary point of entrance into the park for neighborhood residences coming for the southwest portion of the neighborhood. An enlarged sidewalk plaza area at the intersection allows for people to transition in and out of the park. A new retaining wall will allow for the creation of this area and should incorporate the park name through the inclusion of signage or cast in place letters.

Along Woodlawn Ave., located off the enlarged sidewalk area, is a stairway traversing the slope into the first tier of the park. From here a new walkway runs parallel to Woodlawn Ave. delivering park uses to the pavilion and playground area or a second staircase connecting to the Neighborhood Recreation Building.

The walkway passes around some of the site’s mature specimen trees and care should be taken during design



and construction to limit impact to these trees. This should include but not be limited to gentle regrading the hill slopes to locate the walkway as far as possible from the tree root zones; implementation of rootzone protection fencing during construction; hand digging around roots for areas of the trail within the rootzone; and air-spading rootzone area and/or fertilizing trees following construction based on recommendations by a certified arborist.

It is proposed that this area serve as a mini arboretum. The addition of new canopy trees and flowering understory trees should look to educate township residents about trees appropriate for use in their yards with a strong focus on native species. A total of 2-4 benches should be spaced along the walkway as places for individuals to stop and enjoy this part of the park. Primary park identity signage should be located at the sidewalk entrance. Park informational signage should be located where the trail transitions into the playground area.

Woodlawn & Silver Ave. Gateway will serve as a primary point of entrance into the park for neighborhood residences coming for the southeast portion of the neighborhood. This point is the start of the park’s 10-foot-wide perimeter walkway system. The walkway meets the existing Woodlawn Ave. sidewalk and transitions into the park a grade under 5-percent creating a fully accessible

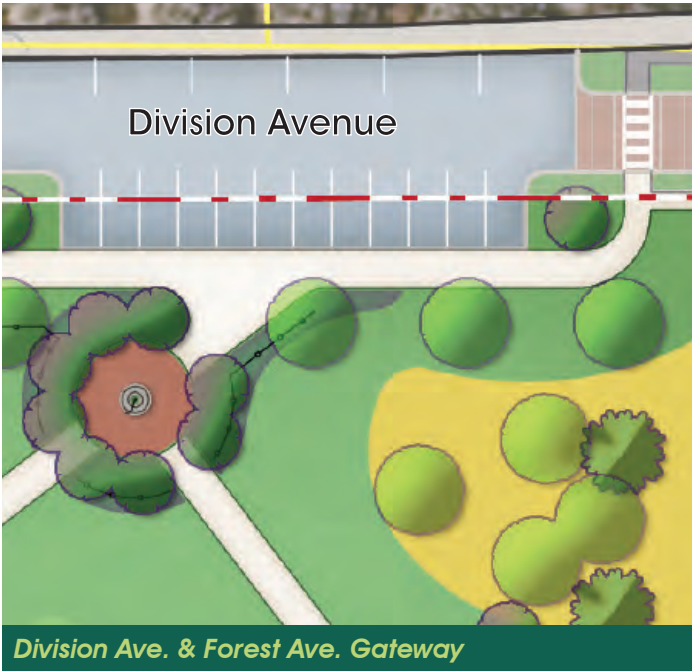


walkway into the park. the walkway delivers park users to the playground area and the community green.

Benches should be considered at the top of the slope as a resting spot. Secondary park identity signage should be located at the sidewalk entrance. Park informational signage should be located where the trail transitions into the community green.

Forest Ave. Gateway will serve as a primary point of entrance into the park for neighborhood residences coming for the northeast portion of the neighborhood. An 8-foot-wide pathway with 1-foot-wide curbing on each side is proposed. The curbing should be flush with the walkway to create an even walking path while helping to separate the grade from adjacent driveways on neighboring properties. Additionally, the curbing will act as an edge for the concrete pavers. Use of special paving such as color concrete pavers will help to identify this walkway as a public access point into the park. Pavers should be permeable to eliminate stormwater runoff onto neighboring properties.

A new metal estate fence should be mounted within the concrete curbing. The fence should transition into a gateway portal that draws visitors into the park. Secondary park identity signage should be located at the gateway portal entrance. Once in the park, the 8-foot-wide pathway gently raises up the slope at an accessible grade



before intersection with the park perimeter pathway. A total of 1-2 benches should be considered at pathway intersections as a resting spot. Park informational signage should be located where the walkways intersect.

The Township should work with neighboring properties owners along the access easement to determine if new buffer plantings should be installed within the neighboring properties along the fence line. Current plantings require regular trimming to keep the pathway free of vegetation. Ideally more upright plant material should be selected to provide privacy but require minimal trimming.

Division Ave. & Forest Ave. Gateway will serve as a primary point of entrance into the park for neighborhood residences coming for the northwest portion of the neighborhood. Located at the park highpoint, this entrance is in the same location as the historic USGS marker. The park’s 10-foot-wide perimeter walkway’s second entrance is at this location. The walkway leads into a small entry plaza is proposed for this location in the location of the modern USGS marker denoting the historic clay marker location (currently on display in the Township Building). The USGS marker should be reset within the plaza pavement. Central to the plaza would be a flagpole with a low seat wall surrounding it. A bronze plaque and/or interpretive signage denoting the history of the location should be incorporated into the plaza.



Figure 4.13 Lower Plateau

Ornamental trees and low plantings surround the plaza define the space as an entry point. A total of 4 benches should be included in the plaza to provide a small informal gathering space. Primary park identity signage should be located at the sidewalk entrance into the plaza. Park informational signage should be located where the walkway exits the plaza into the park.

Lower Plateau

The lower plateau is divided into three use areas through placement of proposed site architecture and changes in site topography. These include site vehicular access and parking; Neighborhood Recreation Building; park playground; and the community green.

Site Vehicular Access & Parking

The plan provides for on-site parking. The final number of parking spaces will depend on the final park uses. Should a Neighborhood Recreation Building be developed in the park 50 to 60 parking spaces will be required. If no Neighborhood Recreation Building is developed a smaller parking area accommodating 15 to 20 cars should be considered.

Vehicular access is proposed to off Division Ave. to align with the intersection of Abbeyview Ave. The driveway should be a minimum of 20 feet in width and gated to allow for the closing of the parking area during nighttime hours. The new driveway location will require the relocation of one utility pole.

The driveway delivers park visitors into a double bay parking area. There are 56 parking spaces and 4 accessible spaces for a total of 60 parking spaces. A generous central island between the two bays and placement of green islands allows for the planting of shade trees to help cool the area and visually divide the parking stalls. The parking area is 1 to 2-feet below the elevation of Division Ave. with a low retaining wall topped with a fence separating the parking area from the Division Ave. sidewalk.

A pedestrian drop-off area is located along the driveway at the front of the Neighborhood Recreation Building entrance. A gated service drive extends from the parking area to along the southern building façade to the building service area. Three stripped crosswalks are proposed along the internal driveways to clearly denote pedestrian crossings of the driveway.

Neighborhood Recreation Building

The proposed building's location is in the center of the existing site, near the lower third of the land area that borders Woodlawn Avenue. A building of this type has a relatively large footprint (11,763 sq. feet), which requires careful placement to work with the park's topography and to allow for pleasing views from the surrounding properties. In addition to the building being set-back from the houses along Division and Woodlawn Avenues, the orientation of the structure is such that no single

house has a direct straight-on view of the building. The building's angle, combined with surrounding green space with trees, will allow the building to be part of the overall landscape and not dominate the residential scale of the neighborhood.

The building provides an edge to the proposed parking area that is accessed from Division Avenue and overlooks a broad lawn with spray pad to the east. These adjacent features, combined with the park's overall arrangement will ensure that the building does not feel randomly placed, or inappropriate for its context.

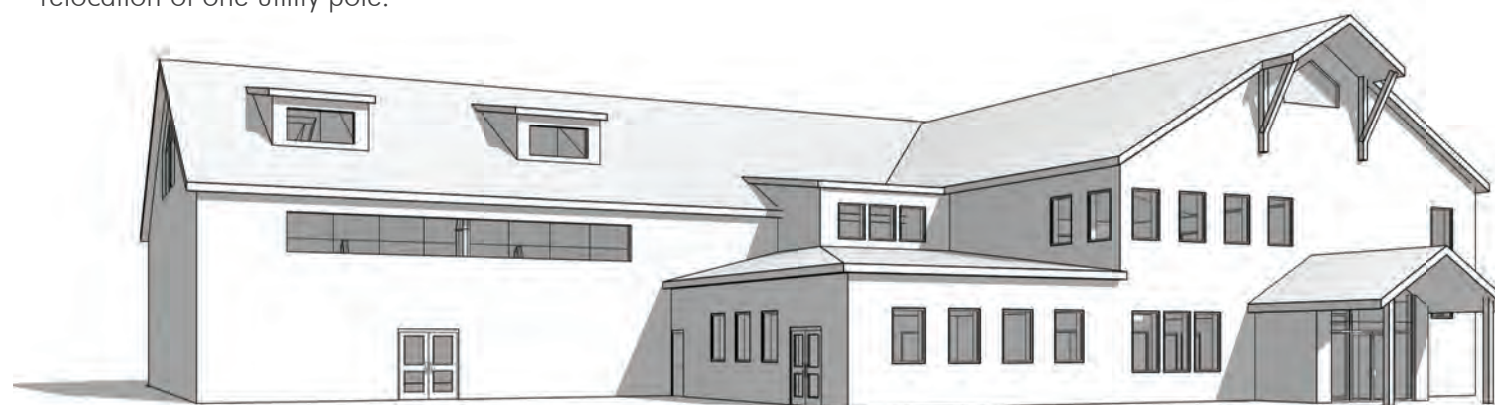
It is worth noting that the school, that formerly ran the length of Woodlawn Avenue, had a very long, uninterrupted façade that directly faced its neighbors. The intent for this new building will be less visible and less intrusive.

Based on the building program a 15,354 gross square foot building area is recommended. Of this, 13,396 square feet is usable floor area. The building has two floors, with 11,763 usable square feet on the first floor and 1,633 usable square feet on the second. The building has a 11.5% "floor area factor" which accounts for wall thicknesses and other features, that, when combined with the overall usable floor area, results in the total gross floor area of 15,354 square feet. The gross floor area is what is used when calculating the estimated cost of construction.

The layout provides for a large, multi-purpose gymnasium (70' x 115') with its size being based on what is required for a full-sized dividable basketball court, plus adequate space at the sides and ends for safety and some audience and team seating. This room has a high sloped roof above (40'-0" at the ridge and 20'-6" at the eave) with dormers and clerestory windows. The space has an adjacent storage area (656 sf) and also has doors leading directly outside to a Stage that overlooks the Lawn. A final feature of the gymnasium is a utility room for heating/cooling equipment and utilities, plus a separate "loading area" that leads to a service driveway. The gymnasium and support spaces account for approximately 77% of the overall first floor.

Leading to the gymnasium is a wide lobby that opens directly to the parking area off of Division Avenue. On the south side of the lobby is a generous reception desk, with a private office large enough for two people, and a first aid/support room immediately behind. Adjacent to the office and near the entrance is an elevator and enclosed egress/fire-stair that leads to the second floor.

Opposite the desk is some public seating and entrances to separate-gender toilet rooms. Also on the north side of the lobby, near the entrance vestibule and with windows on two sides, is a large community room (30'x27'). Finally, there is a corridor that runs from the reception desk and



① FRONT VIEW

SEILER + DRURY
ARCHITECTURE

Figure 4.14 Neighborhood Recreation Building Front View



② REAR VIEW

Figure 4.15 Neighborhood Recreation Building Rear View

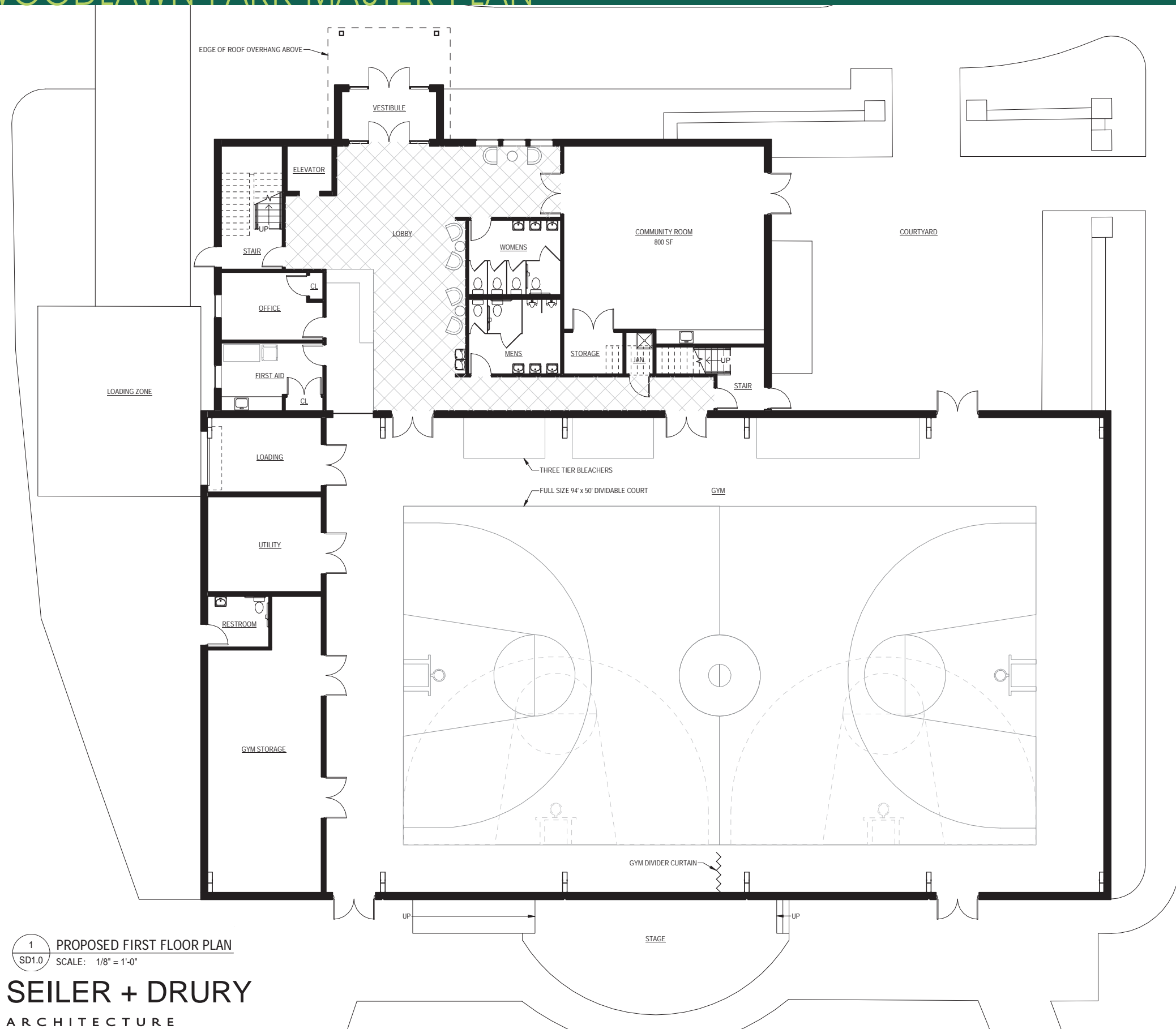


Figure 4.16 Neighborhood Recreation Building First Floor Footprint

The recreation building proposed for the Woodlawn Park is intended to be a neighborhood center. As such, is it designed to be a multi-purpose and flexible building, which will serve a wide range of residents of nearly all ages and interests.

The first floor layout provides:

- Multi-purpose Gymnasium (70' x 115')
- Gym storage area (656 sf)
- Utility room
- Loading area
- Lobby / Reception desk,
- Two person Office
- Community Room (30'x27') with small kitchenette
- Elevator and 2 enclosed egress/fire-stair
- Separate-gender toilet rooms (access from interior)
- Single fixture toilet (outdoor access)
- Janitor's Closet

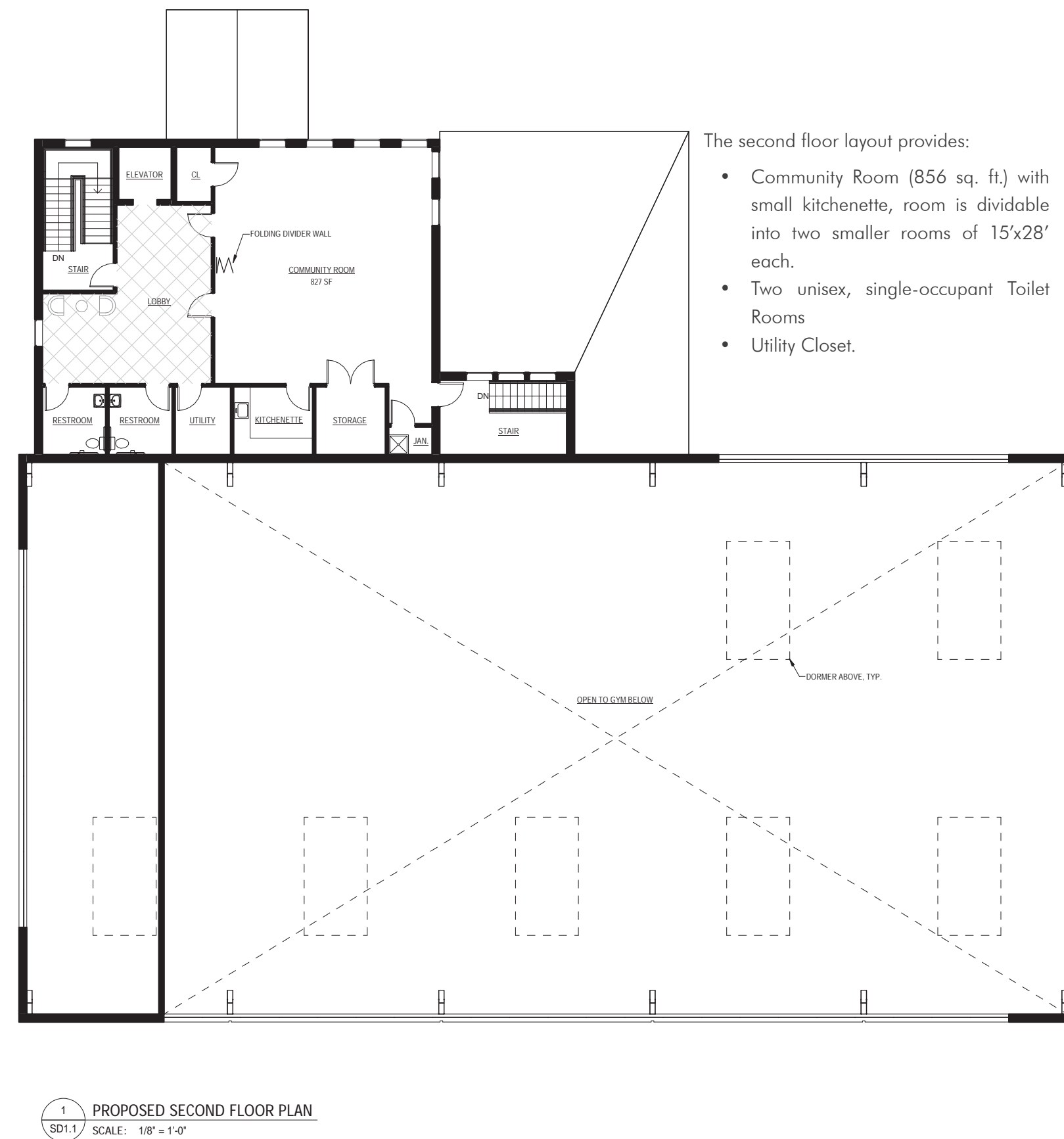


Figure 4.17 Neighborhood Recreation Building Second Floor Footprint

leads to a second egress stair from the second floor, as well as a second exit, janitor's closet and additional doors into the gymnasium.

Upstairs, with windows overlooking the parking lot and side yard, is another community room (856 sq. ft.) that is divided into two smaller rooms of 15'x28' each. These rooms are accessed by a small lobby that leads to the elevator and fire-stair. Connected to this lobby are two unisex, single-occupant toilet rooms and a utility closet. Like the first floor community room, this area has a small kitchenette with sink, and a dedicated storage closet.

As stated earlier, the roof over the gymnasium is a sloped roof (6/12 pitch) with ridge down the middle and shed dormers on either side. Intersecting this main gymnasium roof, is a second roof ridge with a gable over the entrance doors facing the parking area. At the juncture of the two main ridges is a small dormer with windows that allows for headroom (and daylight) at the second egress stairs down from the second floor. A final building massing feature is a one-story gable roof, with overhang/porch, at the entrance vestibule.

The roof materials could be metal, or shingles, most-likely asphalt shingles, as they are more economical than other types and have 40-year warranties available.

The walls of the building are a combination of masonry units and stucco. The masonry could be brick, or precast concrete units. The division between materials will be dictated, to some extent, by the functions within. The gymnasium can benefit from hard durable walls and the meeting rooms and other spaces may prefer painted gypsum interior surfaces. A final consideration, in terms of wall materials and the overall visual pallet, is that the building has a somewhat picturesque massing and composition. As such, the material choices should reflect this aesthetic philosophy. Finally, smaller elements, that include the running trim at the eaves and gables and the building's windows and doors will be of durable, low maintenance materials, such as metal and insulated glass.

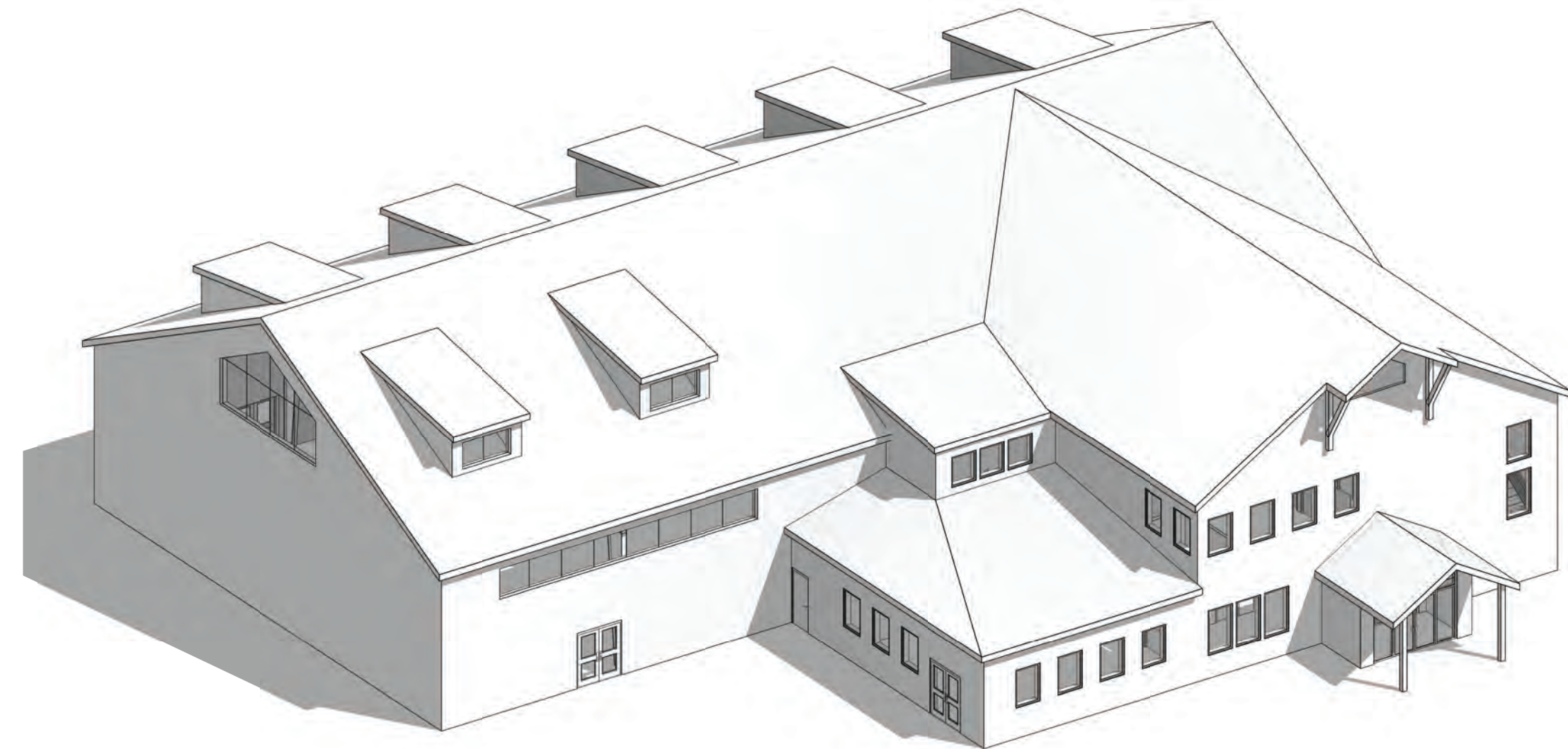
Community Green

The back of the building opens onto the community green. The synthetic lawn area is bordered by an 8' wide ellipse walkway that is truncated by the building. The central green is roughly 120 by 110 feet in size. The stage sits at the western end against the building with a central plaza located at the opposite eastern end that is home to a 1,200 square foot zero-depth water splash pad. The area north of the lawn slopes up to the baseball field that sits 17-feet above the community green. The perimeter pathway curves around the eastern and southern edges creating an accessible route to the baseball field area. Formal seating in the form of 8-10 benches would line the back walkway.

Park playground

To the south of the community green is the playground area. The area is defined by three play pods. One for swings, a second for younger children, and a third for older children. Generous walkways 6 to 8-feet wide ring the play pods connecting them to the community green and perimeter walkways. A large pavilion is located at the southwest edge of the playground overlooking the slope down to Woodlawn Ave. The playground and pavilion sits 9 feet in elevation above Woodlawn Ave.

In the older kid's area, an artificial mound with an inclusive ground slide becomes a central play feature with an accessible walkway up the slope providing access to the slide. The use of boulders along the hillside mimics natural outcroppings in the surrounding neighborhood. The playground hill could be named Frazier Hill in reference to the historic name of the Woodlawn neighborhood. Additional playground themes could build upon the site's history. These include a tower with a look out telescope mimicking the type of tower that would have been used for the USGS survey work.



3 BIRDS EYE

SEILER + DRURY
ARCHITECTURE

Figure 4.18 Neighborhood Recreation Building Massing Study

Middle Plateau

Located along Division Ave. is the middle plateau where the basketball courts are located. A multi-court area that can accommodate two basketball courts, deck hockey, a tennis wall along with other pickup games is proposed. The courts are laid out so that basketball is oriented north/south. The area is 6 feet above the parking area and 6 feet below the baseball field. A low retaining wall along the northern and eastern edges of the court starts at 1 foot and reaches a height of 5 feet to create the level court area. The lower part of the wall serves as a seat wall with the higher portion serving as a tennis wall.

The plateau is reached via an accessible walkway from the Division Ave. sidewalk and via staircases from the Neighborhood Recreation Building or baseball field. The staircase from the courts to the Neighborhood Recreation Building is larger to allow for informal sitting and gathering and leads to a small plaza along the southern edge of the courts. The plaza should offer table seating and shade in the form of a trellis or tree plantings. The area is envisioned as an informal place for people to gather and watch court games.



Figure 4.19 Middle Plateau

Upper Plateau

The Upper Plateau is the location of a 70-foot baseball field and outdoor fitness area. The baseball field and seating areas are accessed via walkways connecting to the 10-wide park perimeter pathway. The perimeter pathway encompasses the baseball field creating a 0.2-mile loop. Four to six benches should be located along this loop trail so that walkers have opportunities to sit and rest. Located to the west of the baseball field along Division Ave. is the outdoor fitness area. The 1,800 square foot area should offer a mix of exercise equipment geared towards all ages ranging from young adults to senior citizens. Where the perimeter pathway connects from the Lower Plateau it divides the long northern slope between the field and community green into a 10-foot-high sledding hill. An opening on the trees lining the walkway defines the area of the hill slope intended for sledding.



Figure 4.20 Upper Plateau

Perimeter Pathway

The perimeter pathway connects all three plateaus. Along Division Ave. the pathway serves as the sidewalk but is generously buffered from the roadway by the head in parking (20-feet). In the transition areas between plateaus the walkway alignment is designed to allow for slopes below 5-percent creating an accessible walkway throughout the park. An internal loop starts at the Woodlawn Ave. and Silver Ave. entrance, passes through the playground area, continues in front of the Community Recreation Center, continues along Division Ave. Sidewalk, and loops around the baseball field back to Woodlawn Ave. and is 0.4 miles. The loop can be extended to just under 0.5 miles if you include the Woodlawn Ave. arbor walk and the full length of the Division Ave. sidewalk; however, this route does include stairs and a crossing of the park’s entrance driveway.



Figure 4.21 Park Accessibility Map

Buffers & Stormwater Management

The plan proposes a minimum 20-foot-wide buffer between all property lines and walkways and park facilities. However, the majority of walkways and facilities are 40-feet from neighboring properties. Along the northern and eastern edges of the property a vegetative buffer is proposed.

As part of the site’s stormwater management plan the buffer will include a mixed planting of shade trees, evergreen trees, and ornamental trees within a low meadow, a 6-wide mow path will be maintained between the meadow edge and neighboring properties. The mow strip will connect to the parks open lawns and pathways via periodic mown areas. Site grading within the buffer edge will direct water towards site BMPs and away from



Rain gardens both help to infiltrate stormwater into the ground while offering year round color and habitat.

neighboring residences. Where feasible vegetative surface BMPs such as raingardens, infiltration basins, and vegetative swales should be implemented. Through thoughtful grading and plant selection these BMP areas can blend seamlessly into a vegetated buffer. Through the careful selection of plants, the buffer can offer year-round interest as well as serve as habitat for songbirds and pollinator insects.

Not all of the site’s stormwater can be controlled via surface treatments. Some subsurface infiltration areas may be required. These could be located under areas of site pavements such as the parking area, multi court area, or synthetic turf areas.

Site Security

Risk Management and Safety Issues

Park crime deterrence is a combination of good park rules, regular policing, and proactive community participation in park stewardship. Active observation by neighbors should be encouraged. Users are the “eyes and ears” of the Park. People who engage in negative activities do not wish to be seen and will typically go elsewhere if they are subject to observation.

Random police patrols and nightly patrols should occur. The Township should maintain active dialogue with neighbors to help prevent unwanted activities such as littering, and vandalism. Additionally, the rapid repair of damage or vandalized park facilities helps set a standard of stewardship that helps deter and mitigate additional bad behavior.

The community should be encouraged to help the Township maintain and operate the park by notifying the Township about issues they perceive. It is important that municipal office phone numbers and email addresses be posted at the parking areas and park trail access points as a part of park signage.

The Township may choose to install security cameras in the park. Current security camera technology includes solar-powered and cloud-based systems, eliminating the need for wiring and on-site storage systems.



Exterior AED cabinet

AED Cabinet

The inclusion of Automated External Defibrillator (AED) cabinet in the park can play a critical role in emergency response to cardiac arrest. The inclusion of AED in public meeting spots is becoming more common due to the lifesaving opportunity they provide. Nationwide, EMTs respond to more than 300,000 cardiac emergencies every year and approximately 92 percent of cases do not recover. However, chances of survival increase significantly with immediate CPR and the use of an AED.

AED cabinets are self-contained units with their own power supply. Pictorial instructions are provided for proper use and a tone or voice command alerts users when to deliver the electrical shock. AEDs are designed with failsafe protection to prevent people from shocking people who are not in cardiac arrest. AED Cabinet should be located in a prominent location so that they can be easily identified and retrieved in an emergency situation.

Safety and Security Program

A safety and security program for the Park should include a safety policy, a process for routine inspections and hazard abatement, a program to assist employees and residents in reporting hazards, emergency procedures, accident reporting system, and an information management system for site safety and security. This program currently exists within the Parks & Recreation Department.

Maintenance

Existing Maintenance Capacity

The park is currently maintained by Upper Moreland Township Parks Department. In keeping with other Township parks, Woodlawn Park is generally well maintained. Current routine maintenance includes trash removal, routine equipment repairs, and grass mowing.

Maintenance Responsibilities

The Park design seeks to minimize landscape maintenance costs while providing a beautiful and functional park. While many of the site maintenance tasks will be the same, the new improvements will require regular inspections and periodic repairs. The addition of restrooms, synthetic turf, additional plantings and the water spray pad will add to the current park maintenance regime.

Walkways should be regularly inspected and maintained. Regular inspections and periodic repairs of park structures and playgrounds will be necessary to maintain the quality of facilities. Regular maintenance of the restroom facility and trash removal will be required at a frequency based on the season of use. Restrooms should be locked at night to deter vandalism. It is recommended that the township include automatic locking systems on restrooms to ensure they are open and closed at the correct days and times.

It is anticipated that the splash pad would operate from May through September. If a recirculating water system is selected for the splash pad, then daily checks of drains, filters, and logging of water chemistry are required.

Mowing of lawn areas should be done on a regular basis with frequencies increasing during the growing season. Proposed meadow areas once established should be mowed once a year in early spring and excess cut materials removed.

Currently, the Township does remove snow from parks once primary roads and township facilities are addressed. Removal of snow from walkways in the park should be considered.

The following is an outline of basic monthly maintenance tasks that should be completed. The frequency, by month, of these maintenance tasks is indicated in the chart.

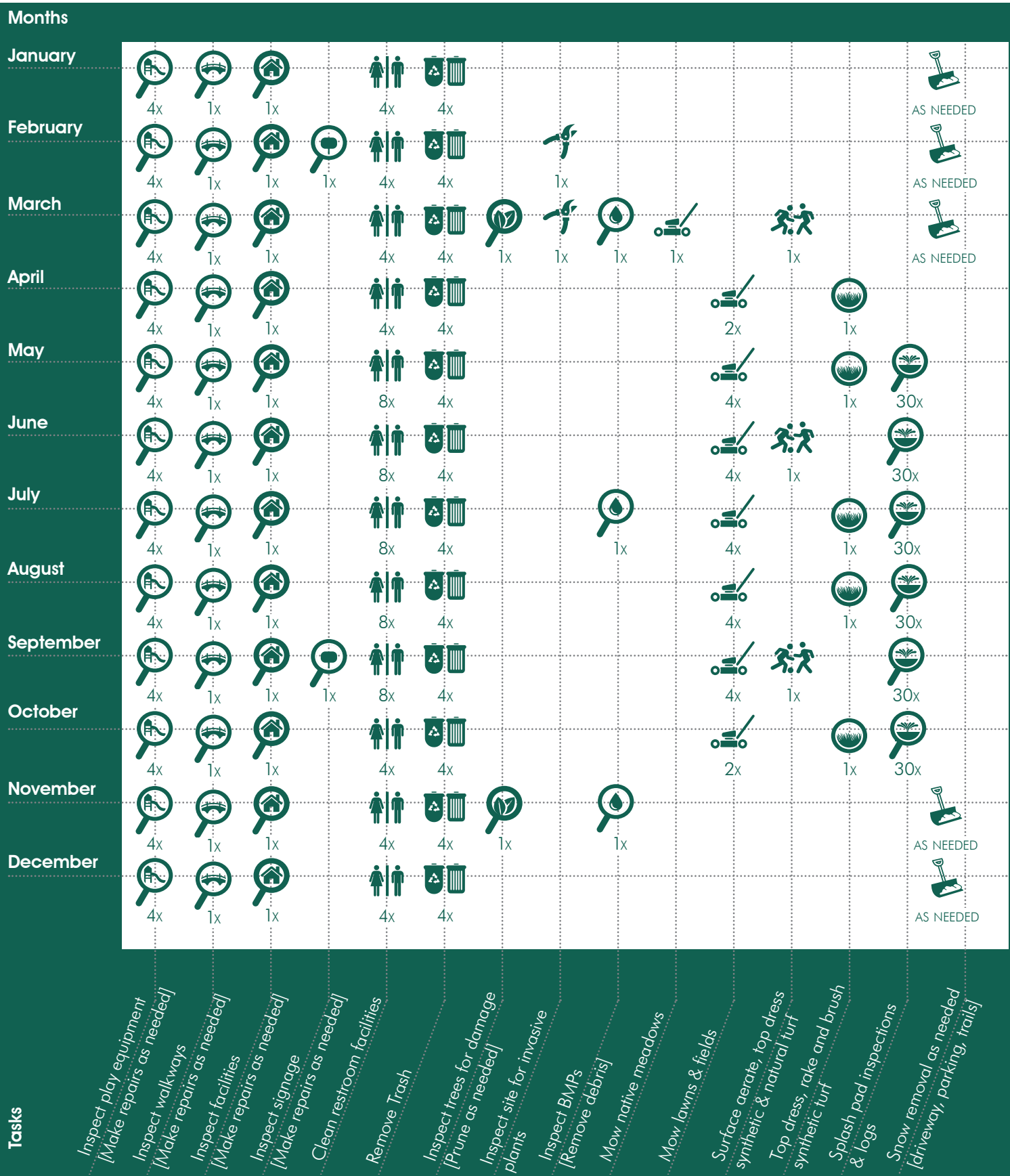


Figure 4.22 Park Maintenance Chart



5

Implementation

Implementation of park projects such as Woodlawn Park is typically completed in one to two phases. Depending on the availability of funding and the success of grant applications, construction phases may vary over time. Cost estimates for improvements as recommend in the master plan are included in this master plan report.

COST ESTIMATE

Probable costs for development of Woodlawn Park were established based on unit costs from construction projects of similar scope and scale; they reflect prevailing wage rates that are required for publicly bid construction projects. The probable cost of development for the capital improvements at Woodlawn Park are estimated at \$4,152,800 for park improvements, \$424,600 for street traffic calming improvements; \$ 5,376,500 for building improvements, and \$538,000 for Mason Mills 90-foot infield improvements (see Figure 4.1). Included in the total estimated costs are design and engineering

1. Upper Plateau	\$ 1,608,900
Total Proposed Site Improvements	\$ 1,237,400
Mobilization, E&S, Stormwater Allowances	\$ 99,200
Construction Contingency (10%)	\$ 123,800
Design & Engineering (12%)	\$ 148,500
2. Middle Plateau	\$ 705,100
Total Proposed Site Improvements	\$ 542,200
Mobilization, E&S, Stormwater Allowances	\$ 43,500
Construction Contingency (10%)	\$ 54,300
Design & Engineering (12%)	\$ 65,100
3. Lower Plateau	\$ 1,838,800
Total Proposed Site Improvements	\$ 1,414,200
Mobilization, E&S, Stormwater Allowances	\$ 113,300
Construction Contingency (10%)	\$ 141,500
Design & Engineering (12%)	\$ 169,800
PARK IMPROVEMENTS	\$ 4,152,800

4. Division Ave Street Improvements	\$ 401,300
Total Proposed Site Improvements	\$ 308,500
Mobilization, E&S, Stormwater Allowances	\$ 24,800
Construction Contingency (10%)	\$ 30,900
Design & Engineering (12%)	\$ 37,100
5. Woodlawn Ave Street Improvements	\$ 23,300
Total Proposed Site Improvements	\$ 17,700
Mobilization, E&S, Stormwater Allowances	\$ 1,600
Construction Contingency (10%)	\$ 1,800
Design & Engineering (12%)	\$ 2,200
STREET TRAFFIC CALMING IMPROVEMENTS	\$ 424,600

6. Neighborhood Recreation Building	\$ 5,376,500
Total Proposed Site Improvements	\$ 4,135,600
Mobilization, E&S, Stormwater Allowances	\$ 331,000
Construction Contingency (10%)	\$ 413,600
Design & Engineering (12%)	\$ 496,300
BUILDING IMPROVEMENTS	\$ 5,376,500

Mason Mill Synthetic Infield Reconstruction	\$ 538,000
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Figure 5.1 Woodlawn Park Master Plan Cost Summary

fees estimated at 12% of the total site improvements and a construction contingency of 10% of the total costs of site improvements. Allowances based on percentage of total site improvements for contractor mobilization (3%), erosion and sedimentation control (2%) and Stormwater Improvements (3%) have been included in the total estimated cost.

PHASED CAPITAL DEVELOPMENT PROGRAM

Phase 1

The Master Plan recommends a phase 1 construction that will present a complete outdoor recreation facility to the community, even if no additional improvements are completed in the future. Phase 1 improvements included site grading, improved baseball field, multi-purpose court area, playground area, outdoor fitness area, pavilion, walking paths and plazas, stormwater improvements, plantings, and lighting of pathways and basketball court. Additionally, phase 1 includes the completion of neighborhood traffic improvements. Improvements included curb extensions and raised crosswalks, side street crosswalks, on-street parking and improved sidewalks. Phase 1 construction costs are estimated at \$ 3,917,300.

Phase 1B

Should an alternative preferred site be identified for the neighborhood recreation building phase 1B identifies cost for a small restroom / pavilion. Additionally, cost for 20 on site parking spaces, a small plaza, utilities, stage area, synthetic turf community green, and a zero depth splash pad have been included in this phase. Phase 1B construction costs are estimated at \$ 1,077,000

Phase 2

The Master Plan recommends a phase 2 construction be the neighborhood recreation building and associated site work. Phase 2 improvements included site driveway and parking, building and utilities, rear plaza, synthetic turf community green, and zero depth splash pad. Phase 2 construction costs are estimated at \$ 6,036,600.

Phase A

Phase A is independent of the park improvements and reflects the cost associated with improving the Mason Mill Park 90-foot baseball infield. This improvement would need to take place prior to converting the Woodlawn 90-foot field to a 70-foot field. The cost associated with this is estimated at \$538,000

Phase 1 - Park Improvements	\$ 3,917,300
Total Proposed Site Improvements	\$ 3,012,400
Mobilization, E&S, Stormwater Allowances	\$ 241,700
Construction Contingency (10%)	\$ 301,500
Design & Engineering (12%)	\$ 361,700
Phase 2 - Building Improvements	\$ 6,036,600
Total Proposed Site Improvements	\$ 4,643,200
Mobilization, E&S, Stormwater Allowances	\$ 371,700
Construction Contingency (10%)	\$ 464,400
Design & Engineering (12%)	\$ 557,300
Phase A - Mason Mills 90' Field	\$ 538,000
Total Proposed Site Improvements	\$ 538,000
Total Estimated Project Costs (Phase 1, 2, A)	\$ 10,491,900

Phase 1B - No Neighborhood Recreation Building	\$ 1,077,000
Total Proposed Site Improvements	\$ 828,300
Mobilization, E&S, Stormwater Allowances	\$ 66,400
Construction Contingency (10%)	\$ 82,900
Design & Engineering (12%)	\$ 99,400
Total Estimated Project Costs (Phase 1, 1B, A)	\$ 5,532,300

Figure 5.2 Woodlawn Park Phasing Cost Summary



Figure 5.3 Woodlawn Park Phasing Plan

FUNDING SOURCES

There are many funding public sources that could be considered for Improvements.

Pennsylvania Department of Conservation and Natural Resources (PA DCNR)

Community Conservation Partnership Program (C2P2)

The Community Recreation and Conservation Program through the PA DCNR Community Conservation Partnership Program (C2P2) provides funding to municipalities and authorized nonprofit organizations for recreation, park, trail and conservation projects. These include planning for feasibility studies, trail studies, conservation plans, master site development plans, and comprehensive recreation park and open space and greenway plans. In addition to planning efforts, the program provides funding for land acquisition for active or passive parks, trails and conservation purposes, and construction and rehabilitation of parks, trails, and recreation facilities. Most of these projects require a 50% match, which can include a combination of cash and/or non-cash values. Grant applications for the C2P2 program are accepted annually—usually in April. More information can be found at: <http://www.dcnr.state.pa.us/brc/grants/grantpolicies/index.htm>

Land and Water Conservation Fund (LWCF)

The Land and Water Conservation Fund (LWCF) State Assistance Program, established in 1965, is a federal source of funding distributed to all states by the U.S. Department of the Interior's National Park Service.

The program provides matching grants for the acquisition and development of public outdoor recreation areas and facilities. DCNR administers the LWCF Program for Pennsylvania.

More info at: <https://www.dcnr.pa.gov/Communities/Grants/Pages/default.aspx>

Department of Community and Economic Development (DCED)

Greenways, Trails and Recreation Program (GTRP)

The Greenways, Trails, and Recreation Program (GTRP) provides funding for: public park and recreation area projects, greenway and trail projects, and river or creek conservation projects. The program requires a 15% local cash match of the total project cost and projects must not exceed \$250,000. Applications to DCED are typically due in late May.

More information can be found at: <http://www.newpa.com/programs/greenways-trails-and-recreation-program-gtrp/>

Montgomery County 2040 Implementation Grant Program

The MontCo 2040 Implementation Grant Program is intended to assist municipalities in making targeted physical improvements that achieve real progress toward the goals of the plan. The program focuses on supporting local projects that specifically further the goals of the county comprehensive plan and the plan's themes of Connected Communities, Sustainable Places, and Vibrant Economy.

While the program is open to a wide array of projects fitting within the comprehensive plan, specific Focus Categories that highlight recent county planning initiatives are announced prior to each funding year. Projects that fall under a Focus Category receive greater consideration during the application review. Grant amounts are available between \$10,000 and \$200,000, but a realistic average award is around \$100,000. The grant program has awarded over 12.7 million to 113 grants in 51 municipalities of Montgomery County. The 2023 round of grants is due in March.

For further information on the grant program, contact Scott France at 610-278-3747.

<https://www.montcopa.org/2453/Montco-2040-Implementation-Grant-Program>

Legislative Funding

State and federal elected officials can sometimes include items into legislation for worthy projects in their districts. A conversation between county and municipal officials and legislators is the way to begin this process. This type of funding should be targeted toward capital improvement projects.

Private Foundations

There may be regional corporations and foundations that support public works such as park development. Competition for these funds is usually brisk, but opportunities should be researched. Funding is often given to non-profit organizations.

Foundations and institutions represent another potential source of funding for education-related site improvements and programming. Grants are available to support student field trips, provide teacher training in science, and provide other educational opportunities. Education tied to research can increase the pool of potential funds. The science community and research institutions are the logical starting points for solicitation foundation funds.

Schools and Local Organizations

Local schools and sports organizations may also be of assistance in several ways. These groups might get involved with club events, fundraising events, and park cleanup days. The school faculty might incorporate the Park into various curricula with students helping to develop and possibly maintain the Park as part of a classroom assignment or after school club. While the amount of funds raised may be relatively small, this process builds constituents and support that is critical to the long-term success of the Park.





6

Appendix

APPENDIX LISTING

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Woodlawn Park Master Plan Draft Cost Summary		
1. Upper Plateau \$ 1,608,900		
Total Proposed Site Improvements	\$	1,237,400
Mobilization, E&S, Stormwater Allowances	\$	99,200
Construction Contingency (10%)	\$	123,800
Design & Engineering (12%)	\$	148,500
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Total Proposed Site Improvements	\$	542,200
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Design & Engineering (12%)	\$	169,800
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4. Division Ave Street Improvements \$ 401,300		
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Design & Engineering (12%)	\$	37,100
5. Woodlawn Ave Street Improvements \$ 23,300		
Total Proposed Site Improvements	\$	17,700
Mobilization, E&S, Stormwater Allowances	\$	1,600
Construction Contingency (10%)	\$	1,800
Design & Engineering (12%)	\$	2,200
Traffic Safety Improvements \$ 424,600		
6. Neighborhood Recreation Center \$ 5,376,500		
Total Proposed Site Improvements	\$	4,135,600
Mobilization, E&S, Stormwater Allowances	\$	331,000
Construction Contingency (10%)	\$	413,600
Design & Engineering (12%)	\$	496,300
Building Improvements \$ 5,376,500		

Woodlawn Park Master Plan Draft Phasing Summary		
Phase 1 - Park Improvements		3,917,300
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Mobilization, E&S, Stormwater Allowances		241,700
Construction Contingency (10%)		301,500
Design & Engineering (12%)		361,700
Phase 2 - Building Improvements		6,036,600
Total Proposed Site Improvements		4,643,200
Mobilization, E&S, Stormwater Allowances		371,700
Construction Contingency (10%)		464,400
Design & Engineering (12%)		557,300
Phase A - Mason Mills 90' Field Improvements		538,000
Total Proposed Site Improvements		538,000
Total Estimated Project Costs		10,491,900

Phase 2B - No Neighborhood Recreation Center		922,700
Total Proposed Site Improvements		709,700
Mobilization, E&S, Stormwater Allowances		56,800
Construction Contingency (10%)		71,000
Design & Engineering (12%)		85,200
Total Estimated Project Costs		4,840,000

Upper Plateau Summary of Area Cost				Priority	Phase 1	Phase 2	Phase 3	Phase 4
Total Proposed Site Improvements					\$ 1,237,400	\$ -	\$ -	\$ -
Mobilization (3%)					\$ 37,200	\$ -	\$ -	\$ -
Erosion and Sedimentation Control (2%)					\$ 24,800	\$ -	\$ -	\$ -
Stormwater Improvements (3%)					\$ 37,200	\$ -	\$ -	\$ -
Construction Contingency (10%)					\$ 123,800	\$ -	\$ -	\$ -
Design & Engineering (12%)					\$ 148,500	\$ -	\$ -	\$ -
\$ 1,608,900					\$ 1,608,900	\$ -	\$ -	\$ -
Item Description	Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4
Site Preparation					\$ 185,700	\$ -	\$ -	\$ -
Tree Removal	14 EA	\$ 755.00	\$ 10,570	Phase 1	\$ 10,570	\$ -	\$ -	\$ -
Field Backstop Removal	170 LF	\$ 10.00	\$ 1,700	Phase 1	\$ 1,700	\$ -	\$ -	\$ -
Tennis Court Demolition	1,474 SY	\$ 10.80	\$ 15,918	Phase 1	\$ 15,918	\$ -	\$ -	\$ -
Playground Demolition	557 SY	\$ 10.80	\$ 6,012	Phase 1	\$ 6,012	\$ -	\$ -	\$ -
Site Rough Grading	14,022 CY	\$ 10.80	\$ 151,438	Phase 1	\$ 151,438	\$ -	\$ -	\$ -
Perimeter Walkway					\$ 106,700	\$ -	\$ -	\$ -
Asphalt Walkway - 10' Wide	860 LF	\$ 84.00	\$ 72,240	Phase 1	\$ 72,240	\$ -	\$ -	\$ -
Perimeter Walkway Lighting	860 LF	\$ 40.00	\$ 34,400	Phase 1	\$ 34,400	\$ -	\$ -	\$ -
USGS Marker Plaza					\$ 29,700	\$ -	\$ -	\$ -
Color Concrete Pavement	715 SF	\$ 15.00	\$ 10,725	Phase 1	\$ 10,725	\$ -	\$ -	\$ -
	4 EA	\$ 2,040.00	\$ 8,160	Phase 1	\$ 8,160	\$ -	\$ -	\$ -
Flagpole w/ Bronze Plaque	1 LS	\$ 10,730.00	\$ 10,730	Phase 1	\$ 10,730	\$ -	\$ -	\$ -
Forest Ave Walkway Connection					\$ 49,200	\$ -	\$ -	\$ -
Concrete Pavers Walkway - 8' wide	1,024 SF	\$ 19.00	\$ 19,456	Phase 1	\$ 19,456	\$ -	\$ -	\$ -
Flush Curb	256 LF	\$ 25.00	\$ 6,400	Phase 1	\$ 6,400	\$ -	\$ -	\$ -
Decorative Metal Fencing along Right-of-way	240 LF	\$ 52.50	\$ 12,600	Phase 1	\$ 12,600	\$ -	\$ -	\$ -
Park Signage	1 LS	\$ 4,500.00	\$ 4,500	Phase 1	\$ 4,500	\$ -	\$ -	\$ -
Park Gateway	56 SF	\$ 110.00	\$ 6,160	Phase 1	\$ 6,160	\$ -	\$ -	\$ -
Outdoor Fitness Area					\$ 84,300	\$ -	\$ -	\$ -
Asphalt Walkway - 10' Wide	103 LF	\$ 84.00	\$ 8,652	Phase 1	\$ 8,652	\$ -	\$ -	\$ -
Fitness Area Surface	1,960 SF	\$ 25.00	\$ 49,000	Phase 1	\$ 49,000	\$ -	\$ -	\$ -
Fitness Area Equipment	1 LS	\$ 26,600.00	\$ 26,600	Phase 1	\$ 26,600	\$ -	\$ -	\$ -
Ball Field with Irrigation					\$ 633,000	\$ -	\$ -	\$ -
Asphalt Walkway - 10' Wide	774 LF	\$ 84.00	\$ 65,016	Phase 1	\$ 65,016	\$ -	\$ -	\$ -
Field Area & Backstop	1 LS	\$ 467,600.00	\$ 467,600	Phase 1	\$ 467,600	\$ -	\$ -	\$ -
Outfield Fencing	385 LF	\$ 28.00	\$ 10,780	Phase 1	\$ 10,780	\$ -	\$ -	\$ -
Team Bench and Dugouts	2 EA	\$ 27,100.00	\$ 54,200	Phase 1	\$ 54,200	\$ -	\$ -	\$ -
Spectator Seating Area	2 EA	\$ 17,700.00	\$ 35,400	Phase 1	\$ 35,400	\$ -	\$ -	\$ -
Site Amenities					\$ 36,700	\$ -	\$ -	\$ -
Benches	10 EA	\$ 2,040.00	\$ 20,400	Phase 1	\$ 20,400	\$ -	\$ -	\$ -
Trash & Recycling Receptacles	2 EA	\$ 2,450.00	\$ 4,900	Phase 1	\$ 4,900	\$ -	\$ -	\$ -
Bike Rack	1 EA	\$ 1,340.00	\$ 1,340	Phase 1	\$ 1,340	\$ -	\$ -	\$ -
Drinking Fountain	1 LS	\$ 10,000.00	\$ 10,000	Phase 1	\$ 10,000	\$ -	\$ -	\$ -
Plantings					\$ 112,100	\$ -	\$ -	\$ -
Lawns	55 MSF	\$ 200.00	\$ 10,993	Phase 1	\$ 10,993	\$ -	\$ -	\$ -
Meadow Areas	36 MSF	\$ 82.70	\$ 3,014	Phase 1	\$ 3,014	\$ -	\$ -	\$ -
Bed Areas	1,936 SF	\$ 2.80	\$ 5,421	Phase 1	\$ 5,421	\$ -	\$ -	\$ -
Rain Garden	5 MSF	\$ 1,600.00	\$ 7,648	Phase 1	\$ 7,648	\$ -	\$ -	\$ -
Ornamental Trees	55 EA	\$ 480.00	\$ 26,400	Phase 1	\$ 26,400	\$ -	\$ -	\$ -
Evergreen Buffer Trees	19 EA	\$ 580.00	\$ 11,020	Phase 1	\$ 11,020	\$ -	\$ -	\$ -
Shade Trees	70 EA	\$ 680.00	\$ 47,600	Phase 1	\$ 47,600	\$ -	\$ -	\$ -

Middle Plateau Summary of Area Cost				Priority	Phase 1	Phase 2	Phase 3	Phase 4
Total Proposed Site Improvements					\$ 542,200	\$ -	\$ -	\$ -
Mobilization (3%)					\$ 16,300	\$ -	\$ -	\$ -
Erosion and Sedimentation Control (2%)					\$ 10,900	\$ -	\$ -	\$ -
Stormwater Improvements (3%)					\$ 16,300	\$ -	\$ -	\$ -
Construction Contingency (10%)					\$ 54,300	\$ -	\$ -	\$ -
Design & Engineering (12%)					\$ 65,100	\$ -	\$ -	\$ -
\$ 705,100					\$ 705,100	\$ -	\$ -	\$ -
Item Description	Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4
Site Preparation					\$ 98,800	\$ -	\$ -	\$ -
Tree Removal	9 EA	\$ 755.00	\$ 6,795	Phase 1	\$ 6,795	\$ -	\$ -	\$ -
Basketball Court Demolition	2,904 SY	\$ 10.80	\$ 31,367	Phase 1	\$ 31,367	\$ -	\$ -	\$ -
Site Rough Grading	5,609 CY	\$ 10.80	\$ 60,575	Phase 1	\$ 60,575	\$ -	\$ -	\$ -
Perimeter Walkway					\$ 66,300	\$ -	\$ -	\$ -
Asphalt Walkway - 10' Wide	534 LF	\$ 84.00	\$ 44,856	Phase 1	\$ 44,856	\$ -	\$ -	\$ -
Perimeter Walkway Lighting	534 LF	\$ 40.00	\$ 21,360	Phase 1	\$ 21,360	\$ -	\$ -	\$ -
Court Area Entry Plaza & Steps					\$ 59,400	\$ -	\$ -	\$ -
Color Concrete Pavement	561 SF	\$ 15.00	\$ 8,415	Phase 1	\$ 8,415	\$ -	\$ -	\$ -
Benches	2 EA	\$ 2,040.00	\$ 4,080	Phase 1	\$ 4,080	\$ -	\$ -	\$ -
Concrete Walkway - 8' Wide	1,728 SF	\$ 13.44	\$ 23,217	Phase 1	\$ 23,217	\$ -	\$ -	\$ -
	4 EA	\$ 5,900.00	\$ 23,600	Phase 1	\$ 23,600	\$ -	\$ -	\$ -
Multi Use Court Area					\$ 256,600	\$ -	\$ -	\$ -
Court Surface and Basketball Goals	16,849 SF	\$ 10.87	\$ 183,071	Phase 1	\$ 183,071	\$ -	\$ -	\$ -
Court Lighting	1 LS	\$ 14,700.00	\$ 14,700	Phase 1	\$ 14,700	\$ -	\$ -	\$ -
Seat Wall 18" high	75 LF	\$ 90.00	\$ 6,750	Phase 1	\$ 6,750	\$ -	\$ -	\$ -
Retaining Wall 4 feet high	200 LF	\$ 260.00	\$ 52,000	Phase 1	\$ 52,000	\$ -	\$ -	\$ -
Site Amenities					\$ 28,800	\$ -	\$ -	\$ -
Benches	8 EA	\$ 2,040.00	\$ 16,320	Phase 1	\$ 16,320	\$ -	\$ -	\$ -
Trash & Recycling Receptacles	1 EA	\$ 2,450.00	\$ 2,450	Phase 1	\$ 2,450	\$ -	\$ -	\$ -
Drinking Fountain	1 EA	\$ 10,000.00	\$ 10,000	Phase 1	\$ 10,000	\$ -	\$ -	\$ -
Plantings					\$ 32,300	\$ -	\$ -	\$ -
Lawns	21 MSF	\$ 200.00	\$ 4,214	Phase 1	\$ 4,214	\$ -	\$ -	\$ -
Bed Areas	1,200 SF	\$ 2.80	\$ 3,360	Phase 1	\$ 3,360	\$ -	\$ -	\$ -
Ornamental Trees	9 EA	\$ 480.00	\$ 4,320	Phase 1	\$ 4,320	\$ -	\$ -	\$ -
Evergreen Buffer Trees	7 EA	\$ 580.00	\$ 4,060	Phase 1	\$ 4,060	\$ -	\$ -	\$ -
Shade Trees	24 EA	\$ 680.00	\$ 16,320	Phase 1	\$ 16,320	\$ -	\$ -	\$ -

Lower Plateau Summary of Area Cost					Phase 1	Phase 2	Phase 3	Phase 4				
Total Proposed Site Improvements		\$	1,414,200		\$	906,600	\$	507,600	\$	-	\$	-
Mobilization (3%)		\$	42,500		\$	27,200	\$	15,300	\$	-	\$	-
Erosion and Sedimentation Control (2%)		\$	28,300		\$	18,200	\$	10,100	\$	-	\$	-
Stormwater Improvements (3%)		\$	42,500		\$	27,200	\$	15,300	\$	-	\$	-
Construction Contingency (10%)		\$	141,500		\$	90,700	\$	50,800	\$	-	\$	-
Design & Engineering (12%)		\$	169,800		\$	108,800	\$	61,000	\$	-	\$	-
\$ 1,838,800					\$ 1,178,700	\$ 660,100	\$ -	\$ -				
Item Description		Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4			
Site Preparation				\$ 97,000		\$ 97,000	\$ -	\$ -	\$ -			
Tree Removal	8	\$ 755.00	\$ 6,040	Phase 1	\$ 6,040	\$ -	\$ -	\$ -				
Site Rough Grading	8,413 CY	\$ 10.80	\$ 90,863	Phase 1	\$ 90,863	\$ -	\$ -	\$ -				
Woodlawn Entry Plaza				\$ 62,500		\$ 62,500	\$ -	\$ -	\$ -			
Color Concrete Pavement	250 SF	\$ 15.00	\$ 3,750	Phase 1	\$ 3,750	\$ -	\$ -	\$ -				
Benches	2 EA	\$ 2,040.00	\$ 4,080	Phase 1	\$ 4,080	\$ -	\$ -	\$ -				
Asphalt Walkway - 10' Wide	355 LF	\$ 84.00	\$ 29,820	Phase 1	\$ 29,820	\$ -	\$ -	\$ -				
Retaining Wall	20 LF	\$ 90.00	\$ 1,800	Phase 1	\$ 1,800	\$ -	\$ -	\$ -				
Concrete Steps - 8' Wide	2 EA	\$ 11,500.00	\$ 23,000	Phase 1	\$ 23,000	\$ -	\$ -	\$ -				
Perimeter Walkway				\$ 96,000		\$ 96,000	\$ -	\$ -	\$ -			
Asphalt Walkway - 10' Wide	774 LF	\$ 84.00	\$ 65,016	Phase 1	\$ 65,016	\$ -	\$ -	\$ -				
	774 LF	\$ 40.00	\$ 30,960	Phase 1	\$ 30,960	\$ -	\$ -	\$ -				
Playground Area				\$ 535,200		\$ 535,200	\$ -	\$ -	\$ -			
Fine Grading	1,000 SF	\$ 3.00	\$ 3,000	Phase 1	\$ 3,000	\$ -	\$ -	\$ -				
Surfacing	6,000 SF	\$ 25.00	\$ 150,000	Phase 1	\$ 150,000	\$ -	\$ -	\$ -				
Multi Type Swing Structure	1 LS	\$ 23,000.00	\$ 23,000	Phase 1	\$ 23,000	\$ -	\$ -	\$ -				
2-5 Year Old Equipment Budget	1 LS	\$ 69,700.00	\$ 69,700	Phase 1	\$ 69,700	\$ -	\$ -	\$ -				
5-12 Year Old Equipment Budget	1 LS	\$ 142,000.00	\$ 142,000	Phase 1	\$ 142,000	\$ -	\$ -	\$ -				
Rental Picnic Shelter	1 LS	\$ 147,500.00	\$ 147,500	Phase 1	\$ 147,500	\$ -	\$ -	\$ -				
Event Lawn				\$ 507,600		\$ -	\$ 507,600	\$ -	\$ -			
Concrete Walkway - 8' Wide	2,456 SF	\$ 13.44	\$ 32,998	Phase 2	\$ -	\$ 32,998	\$ -	\$ -				
Stage Area - Color Concrete Pavement	529 SF	\$ 15.00	\$ 7,935	Phase 2	\$ -	\$ 7,935	\$ -	\$ -				
Stage Area - retaining wall / steps	60 LF	\$ 90.00	\$ 5,400	Phase 2	\$ -	\$ 5,400	\$ -	\$ -				
Stage Area - Shade Structure	200 SF	\$ 85.00	\$ 17,000	Phase 2	\$ -	\$ 17,000	\$ -	\$ -				
Synthetic Turf	9,651 SF	\$ 20.00	\$ 193,020	Phase 2	\$ -	\$ 193,020	\$ -	\$ -				
Zero Depth Water Splash Pad	1 LS	\$ 251,200.00	\$ 251,200	Phase 2	\$ -	\$ 251,200	\$ -	\$ -				
Site Amenities				\$ 54,900		\$ 54,900	\$ -	\$ -	\$ -			
Benches	14 EA	\$ 2,040.00	\$ 28,560	Phase 1	\$ 28,560	\$ -	\$ -	\$ -				
Trash & Recycling Receptacles	4 EA	\$ 2,450.00	\$ 9,800	Phase 1	\$ 9,800	\$ -	\$ -	\$ -				
Bike Rack	1 EA	\$ 1,340.00	\$ 1,340	Phase 1	\$ 1,340	\$ -	\$ -	\$ -				
Decorative Metal Fencing, Property Boundary	288 LF	\$ 52.50	\$ 15,120	Phase 1	\$ 15,120	\$ -	\$ -	\$ -				
Plantings				\$ 61,000		\$ 61,000	\$ -	\$ -	\$ -			
Lawns	43 MSF	\$ 200.00	\$ 8,617	Phase 1	\$ 8,617	\$ -	\$ -	\$ -				
Bed Areas	1,854 SF	\$ 2.80	\$ 5,191	Phase 1	\$ 5,191	\$ -	\$ -	\$ -				
Ornamental Trees	36 EA	\$ 480.00	\$ 17,280	Phase 1	\$ 17,280	\$ -	\$ -	\$ -				
Evergreen Buffer Trees	7 EA	\$ 580.00	\$ 4,060	Phase 1	\$ 4,060	\$ -	\$ -	\$ -				
Shade Trees	38 EA	\$ 680.00	\$ 25,840	Phase 1	\$ 25,840	\$ -	\$ -	\$ -				

Division Ave. Street Improvements Summary of Area Cost					Phase 1	Phase 2	Phase 3	Phase 4
Total Proposed Site Improvements				\$ 308,500	\$ 308,500	\$ -	\$ -	\$ -
Mobilization (3%)				\$ 9,300	\$ 9,300	\$ -	\$ -	\$ -
Erosion and Sedimentation Control (2%)				\$ 6,200	\$ 6,200	\$ -	\$ -	\$ -
Stormwater Improvements (3%)				\$ 9,300	\$ 9,300	\$ -	\$ -	\$ -
Construction Contingency (10%)				\$ 30,900	\$ 30,900	\$ -	\$ -	\$ -
Design & Engineering (12%)				\$ 37,100	\$ 37,100	\$ -	\$ -	\$ -
\$ 401,300					\$ 401,300	\$ -	\$ -	\$ -
Item Description	Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4
Site Preparation					\$ 13,900	\$ -	\$ -	\$ -
Curb / Roadway Demolition	955 LF	\$ 14.50	\$ 13,848	Phase 1	\$ 13,848	\$ -	\$ -	\$ -
Realign Roadway / On street Parking					\$ 151,000	\$ -	\$ -	\$ -
Concrete Walkway - 5' Wide	1,390 SF	\$ 13.44	\$ 18,675	Phase 1	\$ 18,675	\$ -	\$ -	\$ -
Asphalt Pavement	849 SY	\$ 80.50	\$ 68,380	Phase 1	\$ 68,380	\$ -	\$ -	\$ -
Concrete Curb	945 LF	\$ 25.00	\$ 23,625	Phase 1	\$ 23,625	\$ -	\$ -	\$ -
Concrete Walkway - 10' Wide	2,930 SF	\$ 13.44	\$ 39,366	Phase 1	\$ 39,366	\$ -	\$ -	\$ -
Stripping	911 LF	\$ 1.00	\$ 911	Phase 1	\$ 911	\$ -	\$ -	\$ -
Crosswalk Improvements					\$ 99,700	\$ -	\$ -	\$ -
Tabled Crosswalk with Bump out	3 LS	\$ 10,400.00	\$ 31,200	Phase 1	\$ 31,200	\$ -	\$ -	\$ -
At Grade Crosswalk with Bump out	7 LS	\$ 6,000.00	\$ 42,000	Phase 1	\$ 42,000	\$ -	\$ -	\$ -
	1 LS	\$ 26,500.00	\$ 26,500	Phase 1	\$ 26,500	\$ -	\$ -	\$ -
Site Amenities					\$ 35,700	\$ -	\$ -	\$ -
Benches	4 EA	\$ 2,040.00	\$ 8,160	Phase 1	\$ 8,160	\$ -	\$ -	\$ -
Decorative Metal Fencing	524 LF	\$ 52.50	\$ 27,510	Phase 1	\$ 27,510	\$ -	\$ -	\$ -
Plantings					\$ 8,200	\$ -	\$ -	\$ -
Ornamental Trees	17	\$ 480.00	\$ 8,160	Phase 1	\$ 8,160	\$ -	\$ -	\$ -

Woodlawn Ave. Street Improvements Summary of Area Cost				Phase 1	Phase 2	Phase 3	Phase 4					
Total Proposed Site Improvements		\$	17,700		\$	17,700	\$	-	\$	-	\$	-
Mobilization (3%)		\$	600		\$	600	\$	-	\$	-	\$	-
Erosion and Sedimentation Control (2%)		\$	400		\$	400	\$	-	\$	-	\$	-
Stormwater Improvements (3%)		\$	600		\$	600	\$	-	\$	-	\$	-
Construction Contingency (10%)		\$	1,800		\$	1,800	\$	-	\$	-	\$	-
Design & Engineering (12%)		\$	2,200		\$	2,200	\$	-	\$	-	\$	-
\$ 23,300					\$	23,300	\$	-	\$	-	\$	-
Item Description		Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4			
Site Preparation				\$ 2,000		\$ 2,000	\$ -	\$ -	\$ -			
Curb & Roadway Demolition	134	\$	14.50	\$ 1,943	Phase 1	\$ 1,943	\$ -	\$ -	\$ -			
Crosswalk Improvements				\$ 15,700		\$ 15,700	\$ -	\$ -	\$ -			
Tabled Crosswalk with Bump out	1 LS	\$	10,400.00	\$ 10,400	Phase 1	\$ 10,400	\$ -	\$ -	\$ -			
Additional Curbing for elongated Bump out	1 LS	\$	5,300.00	\$ 5,300	Phase 1	\$ 5,300	\$ -	\$ -	\$ -			

Neighborhood Recreation Center Summary of Area Cost				Phase 1	Phase 2	Phase 3	Phase 4
Total Proposed Site Improvements	\$	4,135,600		\$ -	\$ 4,135,600	\$ -	\$ -
Mobilization (3%)	\$	124,100		\$ -	\$ 124,100	\$ -	\$ -
Erosion and Sedimentation Control (2%)	\$	82,800		\$ -	\$ 82,800	\$ -	\$ -
Stormwater Improvements (3%)	\$	124,100		\$ -	\$ 124,100	\$ -	\$ -
Construction Contingency (10%)	\$	413,600		\$ -	\$ 413,600	\$ -	\$ -
Design & Engineering (12%)	\$	496,300		\$ -	\$ 496,300	\$ -	\$ -
	\$	5,376,500		\$ -	\$ 5,376,500	\$ -	\$ -

Item Description	Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4
Site Preparation					\$ -	\$ 22,600	\$ -	\$ -
Tree Removal	10	\$ 755.00	\$ 7,550	Phase 2	\$ -	\$ 7,550	\$ -	\$ -
Site Rough Grading			\$ -	Phase 2				
Utility Pole Relocation	1 LS	\$ 15,000.00	\$ 15,000	Phase 2	\$ -	\$ 15,000	\$ -	\$ -
Driveway and Parking					\$ -	\$ 218,900	\$ -	\$ -
Asphalt Pavement	2,996 SY	\$ 25.00	\$ 74,908	Phase 2	\$ -	\$ 74,908	\$ -	\$ -
Concrete Curb	1,583 LF	\$ 25.00	\$ 39,575	Phase 2	\$ -	\$ 39,575	\$ -	\$ -
Division Avenue Retaining Wall	145 LF	\$ 260.00	\$ 37,700	Phase 2	\$ -	\$ 37,700	\$ -	\$ -
Asphalt Walkway - 10' Wide	304 LF	\$ 84.00	\$ 25,536	Phase 2	\$ -	\$ 25,536	\$ -	\$ -
Dropoff Plaza - Decorative Concrete	2,340 SF	\$ 15.00	\$ 35,100	Phase 2	\$ -	\$ 35,100	\$ -	\$ -
Vehicular Gates	2 EA	\$ 3,000.00	\$ 6,000	Phase 2	\$ -	\$ 6,000	\$ -	\$ -
			\$ 3,844,700		\$ -	\$ 3,844,700	\$ -	\$ -
Neighborhood Recreation Center	15,308 SF	\$ 250.00	\$ 3,827,000	Phase 2	\$ -	\$ 3,827,000	\$ -	\$ -
Outdoor Plaza	1,180 SF	\$ 15.00	\$ 17,700	Phase 2	\$ -	\$ 17,700	\$ -	\$ -
Plantings					\$ -	\$ 49,400	\$ -	\$ -
Bed Areas	11,796 SF	\$ 2.80	\$ 33,029	Phase 2	\$ -	\$ 33,029	\$ -	\$ -
Shade Trees	24 EA	\$ 680.00	\$ 16,320	Phase 2	\$ -	\$ 16,320	\$ -	\$ -

No Neighborhood Rec Center Summary of Area Cost					Phase 2B	
Total Proposed Site Improvements		\$	709,700		\$	709,700
Mobilization (3%)		\$	21,300		\$	21,300
Erosion and Sedimentation Control (2%)		\$	14,200		\$	14,200
Stormwater Improvements (3%)		\$	21,300		\$	21,300
Construction Contingency (10%)		\$	71,000		\$	71,000
Design & Engineering (12%)		\$	85,200		\$	85,200
		\$	922,700		\$	922,700
Item Description	Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 2B	
Site Preparation			\$ 22,600		\$ 22,600	
Tree Removal	10	\$ 755.00	\$ 7,550	Phase 2B	\$ 7,550	
Site Rough Grading			\$ -	Phase 2B	\$ -	
Utility Pole Relocation	1 LS	\$ 15,000.00	\$ 15,000	Phase 2B	\$ 15,000	
Driveway and Parking			\$ 122,700		\$ 122,700	
Asphalt Pavement (20 Spaces)	1,062 SY	\$ 25.00	\$ 26,561	Phase 2B	\$ 26,561	
Concrete Curb	550 LF	\$ 25.00	\$ 13,750	Phase 2B	\$ 13,750	
Asphalt Walkway - 10' Wide	491 LF	\$ 84.00	\$ 41,244	Phase 2B	\$ 41,244	
Dropoff Plaza - Decorative Concrete	2,340 SF	\$ 15.00	\$ 35,100	Phase 2B	\$ 35,100	
Vehicular Gates	2 EA	\$ 3,000.00	\$ 6,000	Phase 2B	\$ 6,000	
Restroom & Storage Pavilion		LF	\$ 260,900		\$ 260,900	
	8 LF	\$ 42.00	\$ 336	Phase 2B	\$ 336	
Restroom Pavilion - 44x24	1 LS	\$ 178,000	\$ 178,000	Phase 2B	\$ 178,000	
Water and Sewer Utility Service	1 LS	\$ 8,000	\$ 8,000	Phase 2B	\$ 8,000	
Sewer Piping	555 LF	\$ 60.00	\$ 33,300	Phase 2B	\$ 33,300	
Water Pipe, Trench & Backfill	380 LF	\$ 62.00	\$ 23,560	Phase 2B	\$ 23,560	
Outdoor Plaza	1,180 SF	\$ 15.00	\$ 17,700	Phase 2B	\$ 17,700	
Event Lawn			\$ 254,500		\$ 254,500	
Concrete Walkway - 8' Wide	2,456 SF	\$ 13.44	\$ 32,998	Phase 2B	\$ 32,998	
Stage Area - Color Concrete Pavement	529 SF	\$ 15.00	\$ 7,935	Phase 2B	\$ 7,935	
Stage Area - retaining wall / steps	60 LF	\$ 90.00	\$ 5,400	Phase 2B	\$ 5,400	
Stage Area - Shade Structure	200 SF	\$ 75.25	\$ 15,050	Phase 2B	\$ 15,050	
Synthetic Turf	9,651 SF	\$ 20.00	\$ 193,020	Phase 2B	\$ 193,020	
Plantings			\$ 49,000		\$ 49,000	
Bed Areas	11,646 SF	\$ 2.80	\$ 32,609	Phase 2B	\$ 32,609	
Shade Trees	24 EA	\$ 680.00	\$ 16,320	Phase 2B	\$ 16,320	

Mason Mills Field Improvements Summary of Area Cost				Phase 1	Phase 2	Phase 3	Phase A								
Total Proposed Site Improvements		\$	538,000		\$	-	\$	-	\$	-	\$	538,000			
		\$	538,000		\$	-	\$	-	\$	-	\$	538,000			
Item Description		Estimated Quantity	Unit Price	Total Item Amount	Phasing Priority	Phase 1	Phase 2	Phase 3	Phase 4						
Mason Mills Field				\$	538,000		\$	-	\$	-	\$	-	\$	538,000	
Synthetic Turf Infield		26,900 SF	\$	20.00	\$	538,000	Phase A	\$	-	\$	-	\$	-	\$	538,000

Unit Cost Breakdown

Site Preparation		Qty	Unit	Unit Cost	Sub Total
Pavement Removal		1 SF			
1	Remove Existing Asphalt	0.11	SY	\$ 10.75	\$ 1.19
				total	\$ 1.19
				Cost / SF	\$ 1.20
				Cost / SY	\$ 10.80

Pavement Removal, Soil & Lawn Restoration		1 SF			
1	Remove Existing Asphalt	0.11	SY	\$ 10.75	\$ 1.00
2	Soil - 6 inch depth	0.02	CY	\$ 45.00	\$ 0.83
3	Seed and Stabilize	0.005	LB	\$ 37.33	\$ 0.18
				total	\$ 2.02
				Cost / SF	\$ 2.10
				Cost / SY	\$ 18.90

Curb Removal		1 LF			
1	saw cut asphalt	1.00	LF	\$ 2.60	\$ 2.60
2	Remove Existing Asphalt	0.56	SY	\$ 10.75	\$ 5.97
3	Remove Curb	1.00	LF	\$ 5.90	\$ 5.90
				total	\$ 14.47
				Cost / LF	\$ 14.50
				Cost / LF	\$ 14.50

Pavement Removal, Soil & Lawn Restoration		1 SF			
1	Remove Existing Asphalt	0.11	SY	\$ 9.00	\$ 1.00
2	Soil - 6 inch depth	0.02	CY	\$ 45.00	\$ 0.83
3	Seed and Stabilize	0.005	LB	\$ 37.33	\$ 0.18
				total	\$ 2.02
				Cost / SF	\$ 2.10
				Cost / SY	\$ 18.90

Tree Removal and Stump Grinding					
1	Tree Removal	1.00	EA	\$ 750.00	\$ 750.00
2	Seed and Stabilize	0.122	LB	\$ 37.33	\$ 4.56
				total	\$ 754.56
				Cost / EA	\$ 755.00

Pavements		Qty	Unit	Unit Cost	Sub Total
Vehicular Asphalt Pavement		1 SF			
1	Class 1 Excavation	0.04	CY	\$ 45.00	\$ 1.67
2	Subbase 2A Modified - 6" Depth (No. 2a)	0.02	CY	\$ 75.00	\$ 1.39
3	Superpave Asphalt Mixture Design, Base Course 4"	0.11	SY	\$ 30.00	\$ 3.33
4	Superpave Asphalt Mixture Design, Wearing Course 2"	0.11	SY	\$ 23.00	\$ 2.56
				total	\$ 8.94
				Cost / SY	\$ 80.50

Concrete Curb		1 LF			
1	Concrete Curb 6" x 18"	1.00	lf	\$ 25.00	\$ 25.00
				total	\$ 25.00
				Cost / LF	\$ 25.00

Crosswalk with Curbcuts		640 SF			
1	Excavation	23.70	CY	\$ 25.00	\$ 592.59
2	Curb	48.00	LF	\$ 25.00	\$ 1,200.00
3	Crosswalk - Zebra Striped	1.00	LS	\$ 2,200.00	\$ 2,200.00
4	Signage - Crossing ahead & Yield to Crosswalk	4.00	EA	\$ 250.00	\$ 1,000.00
6	ADA landing with Detectable Warning Surface (no curbs)	40.00	SF	\$ 25.00	\$ 1,000.00
				total	\$ 5,992.59
				Cost / LS	\$ 6,000.00

Division Ave North additional Bump out Cost		1 LS			
1	saw cut asphalt	676.00	LF	\$ 2.60	\$ 1,757.60
2	Pavement Removal, Soil & Lawn Restoration	454.56	SY	\$ 10.75	\$ 4,886.47
3	Remove Curb	495.00	LF	\$ 5.90	\$ 2,920.50
4	Curb	676.00	LF	\$ 25.00	\$ 16,900.00
				total	\$ 26,464.57
				Cost / LS	\$ 26,464.60
				Cost / LS	\$ 26,500.00

Woodlawn Ave North additional Bump out Cost		1 LS			
1	saw cut asphalt	134.00	LF	\$ 2.60	\$ 348.40
2	Pavement Removal, Soil & Lawn Restoration	73.00	SY	\$ 10.75	\$ 784.75
3	Remove Curb	127.00	LF	\$ 5.90	\$ 749.30
4	Curb	134.00	LF	\$ 25.00	\$ 3,350.00
				total	\$ 5,232.45
				Cost / LS	\$ 5,232.50
				Cost / LS	\$ 5,300.00

Tabled Crosswalk		640 SF		
1	Excavation	23.70 CY	\$ 25.00	\$ 592.59
2	Curb	64.00 LF	\$ 25.00	\$ 1,600.00
3	Subbase 2A Modified - 6" Depth (No. 2a)	13.33 CY	\$ 75.00	\$ 1,000.00
4	Superpave Asphalt Mixture Design, Base Course 4" Depth	71.11 SY	\$ 22.22	\$ 1,580.09
5	Superpave Asphalt Mixture Design, Wearing Course 2" Depth	71.11 SY	\$ 10.07	\$ 716.09
6	Crosswalk - Zebra Striped	1.00 LS	\$ 2,200.00	\$ 2,200.00
7	Signage - Crossing ahead & Yield to Crosswalk	4.00 EA	\$ 250.00	\$ 1,000.00
8	Concrete Sidewalk	50.00 SF	\$ 13.44	\$ 671.78
9	ADA landing with Detectable Warning Surface (no curbs)	40.00 SF	\$ 25.00	\$ 1,000.00
			total	\$ 10,360.55
			Cost / LS	\$ 10,400.00

Asphalt Walkway - 10' Wide		10 SF		
1	Class 1 Excavation	0.34 CY	\$ 45.00	\$ 15.28
2	Subbase 2A Modified - 6" Depth (No. 2a)	0.19 CY	\$ 75.00	\$ 13.89
3	Superpave Asphalt Mixture Design, Base Course 3"	1.11 SY	\$ 26.00	\$ 28.89
4	Superpave Asphalt Mixture Design, Wearing Course 2"	1.11 SY	\$ 23.00	\$ 25.56
			total	\$ 83.61
			Cost / LF	\$ 84.00
			Cost / SY	\$ 75.25

Asphalt Walkway - 5' Wide		5 SF		
1	Class 1 Excavation	0.17 CY	\$ 45.00	\$ 7.64
2	Subbase 2A Modified - 6" Depth (No. 2a)	0.09 CY	\$ 75.00	\$ 6.94
3	Superpave Asphalt Mixture Design, Base Course 3"	0.56 SY	\$ 26.00	\$ 14.44
4	Superpave Asphalt Mixture Design, Wearing Course 2"	0.56 SY	\$ 23.00	\$ 12.78
			total	\$ 41.81
			Cost / LF	\$ 42.00
			Cost / SY	\$ 75.25

Concrete Sidewalk - 6' Wide		6 SF		
1	Excavation	0.22 CY	\$ 45.00	\$ 10.00
2	Subbase 2A Modified - 6" Depth (No. 2a)	0.11 CY	\$ 75.00	\$ 8.33
3	Reinforced Concrete - 6"	6.00 SF	\$ 10.38	\$ 62.28
			total	\$ 80.61
			Cost / LF	\$ 81.00
			Cost / SF	\$ 13.44

Decorative Concrete paving		1 SF		
1	Excavation	0.03 CY	\$ 45.00	\$ 1.39
2	Subbase 2A Modified - 6" Depth (No. 2a)	0.02 CY	\$ 75.00	\$ 1.39
3	Concrete - 4"	1.00 SF	\$ 8.00	\$ 8.00
4	Integral Color and Decorative Treatment	1.00 SF	\$ 4.50	\$ 4.50
			total	\$ 15.28
			Cost / SF	\$ 15.00

Concrete Pavers		1 SF		
1	Excavation	0.05 CY	\$ 45.00	\$ 2.36
2	Non-Woven Geotextile	0.11 SY	\$ 0.97	\$ 0.11
3	Subbase AASHTO NO. 1 Aggregate - 8" Depth	0.02 CY	\$ 14.30	\$ 0.35
4	Subbase AASHTO NO. 57 Aggregate - 4" Depth	0.01 CY	\$ 5.85	\$ 0.07
5	Setting Bed AASHTO NO. 8 Crushed Stone- 2" Depth	0.01 CY	\$ 9.20	\$ 0.06
6	Concrete Paver	1.00 SF	\$ 15.75	\$ 15.75
			total	\$ 18.70
			Cost / SF	\$ 19.00

Playground Safety Surface		1 SF		
1	Excavation	0.03 CY	\$ 25.00	\$ 0.77
2	Concrete Curb	0.07 LF	\$ 25.00	\$ 1.75
3	Grade Subgrade	0.11 SY	\$ 1.18	\$ 0.13
4	6" PADOT 2A Aggregate Subbase	0.11 CY	\$ 7.50	\$ 0.83
5	Underdrainage -4" Perforated Pipe	0.01 LF	\$ 12.00	\$ 0.12
6	Poured in Place Play Surface	1.00 SF	\$ 21.00	\$ 21.00
			total	\$ 24.61
			Cost / SF	\$ 25.00

Concrete Seat Wall - 18" Tall		1 LF		
1	Foundation Excavation	0.54 CY	\$ 25.00	\$ 13.43
2	Concrete Foundation - 1'x2'	0.07 CY	\$ 450.00	\$ 33.33
4	Concrete Wall	0.09 CY	\$ 450.00	\$ 38.89
5	Free Drainage Backfill	0.15 CY	\$ 25.00	\$ 3.70
			total	\$ 89.35
			Cost / LF	\$ 90.00

Concrete Retaining Wall - 4' Tall with Weep Holes			1 LF	
1	Foundation Excavation	0.89 CY	\$ 25.00	\$ 22.22
2	Concrete Foundation - 1'x4'	0.15 CY	\$ 450.00	\$ 66.67
4	Concrete Wall	0.15 CY	\$ 450.00	\$ 66.67
5	Free Drainage Backfill	0.38 CY	\$ 25.00	\$ 9.49
6	Railing with infill panels along top of wall	1.00 LF	\$ 85.00	\$ 85.00
			total	\$ 250.05
			Cost / LF	\$ 260.00

Concrete Steps & Check Walls -6 Risers, 8' Wide				
1	Foundation Excavation	20.24 CY	\$ 25.00	\$ 506.00
2	Concrete Stepped Foundation	3.87 CY	\$ 450.00	\$ 1,742.22
3	Cheek Walls - 8" Wide	1.70 CY	\$ 450.00	\$ 763.11
4	Foundation Drains	12.00 LF	\$ 25.00	\$ 300.00
5	Backfill Material	14.02 CY	\$ 25.00	\$ 350.46
6	Concrete Steps - 2 sets of 6 12" tread and 6" rise	2.28 CY	\$ 450.00	\$ 1,025.33
7	Hand Rails	18.00 LF	\$ 62.00	\$ 1,116.00
			total	\$ 5,803.13
			Cost / LS	\$ 5,900.00

Concrete Steps & Check Walls -12 Risers, 8' Wide				
1	Foundation Excavation	28.81 CY	\$ 25.00	\$ 720.33
2	Concrete Stepped Foundation	7.36 CY	\$ 450.00	\$ 3,310.22
3	Cheek Walls - 8" Wide	2.91 CY	\$ 450.00	\$ 1,309.56
4	Foundation Drains	24.00 LF	\$ 25.00	\$ 600.00
5	Backfill Material	26.86 CY	\$ 25.00	\$ 671.48
6	Concrete Steps - 2 sets of 6 12" tread and 6" rise	4.56 CY	\$ 450.00	\$ 2,050.67
7	Concrete mid step landing- 4" long	0.59 SF	\$ 450.00	\$ 266.67
8	Hand Rails	40.00 LF	\$ 62.00	\$ 2,480.00
			total	\$ 11,408.93
			Cost / LS	\$ 11,500.00

Facilities / Amenities		Qty	Unit	Unit Cost	Sub Total
Zero Depth Water splay Pad		800 SF			
1	Color Concrete Plaza	800	SF	\$ 15.00	\$ 12,000.00
2	Water Spray Jets	1	LS	\$ 48,600.00	\$ 48,600.00
3	Filtration, chemical storage, & pump system	1	LS	\$ 70,000.00	\$ 70,000.00
4	Freight and handling	1.00	LS	\$ 2,000.00	\$ 2,000.00
5	Installation	1.00	LS	\$ 118,600.00	\$ 118,600.00
				total	\$ 251,200.00
				Cost / LS	\$ 251,200.00
				Cost / SF	\$ 314.00

Basketball Court		7280 SF			
1	Subbase 2A Modified - 6" Depth (No. 2a)	89.88	CY	\$ 75.00	\$ 6,740.74
2	Asphalt Base Course - 3" Depth	808.89	SY	\$ 26.00	\$ 21,031.11
3	Asphalt Wearing Course - 2" Depth	808.89	SY	\$ 23.00	\$ 18,604.44
4	Court Surfacing (3 coats; 2 colors)	808.89	SY	\$ 10.90	\$ 8,816.89
5	Basketball Goals - Stationary	2.00	EA	\$ 2,148.00	\$ 4,296.00
6	Fencing	245.00	LF	\$ 80.00	\$ 19,600.00
				total	\$ 79,089.19
				Cost / LS	\$ 79,100.00
				Cost / SF	\$ 10.87

Basketball Court - Lighting		1 Court			
1	Court Lighting Poles	4.00	EA	\$ 1,800.00	\$ 7,200.00
2	Trench and Backfill Wiring	275.00	LF	\$ 2.00	\$ 550.00
3	Direct Bury Cable	275.00	LF	\$ 25.00	\$ 6,875.00
				total	\$ 14,625.00
				Cost / LS	\$ 14,700.00

Perimeter Walkway - Lighting		1 LF			
1	Solar Annapolis 6" Bollard, embedded w/ sleeve - 50 ft o.c.	0.02	EA	\$ 1,815.00	\$ 36.30
				total	\$ 36.30
				Cost / LS	\$ 40.00

Synthetic Turf		1 SF			
1	Non Woven Geotextile Fabric	0.01	CY	\$ 3.00	\$ 0.04
2	6" No. 57 Clean Aggregate Subbase	0.11	SY	\$ 50.00	\$ 5.56
3	2" No. 10 Screenings	0.11	SY	\$ 50.00	\$ 5.56
4	Shock Absorption Pad Court & 10' buffer	0.11	SY	\$ 2.00	\$ 0.22
5	Synthetic Turf	1.00	SF	\$ 8.15	\$ 8.15
6	Round Sand	2.00	LB	\$ 0.25	\$ 0.50
				total	\$ 20.02
				Cost / SF	\$ 20.00

Baseball 50'/70' Base Path, 250' Centerfield			65,000 SF	
1	Fine Grading	7,222.22 SY	\$ 2.00	\$ 14,444.44
2	Infield Synthetic Turf	##### SF	\$ 20.00	\$ 287,520.00
3	Backstop	1.00 LS	\$ 22,000.00	\$ 22,000.00
4	10' Chain Link Fencing	190.00 LF	\$ 60.00	\$ 11,400.00
5	Bases	1.00 LS	\$ 1,600.00	\$ 1,600.00
6	Outfield Area - Athletic Turf Soil, Seed and Stabilize	50.62 MSF	\$ 1,050.00	\$ 53,155.20
7	Irrigation	##### SF	\$ 1.53	\$ 77,454.72
			total	\$ 467,574.36
			Cost / LS	\$ 467,600.00

Dugout			1 LS	
1	Reinforced Concrete	200.00 SF	\$ 13.44	\$ 2,687.11
6	Player's Benches	1.00 EA	\$ 2,400.00	\$ 2,400.00
2	Pavilion Structure	200.00 SF	\$ 110.00	\$ 22,000.00
			total	\$ 27,087.11
			Cost / LS	\$ 27,100.00

Spectator Seating			1 LS	
1	Asphalt Pad	8.33 SY	\$ 75.25	\$ 627.08
6	Bleaches	1.00 EA	\$ 8,500.00	\$ 8,500.00
2	Shade Sail Structure	100.00 SF	\$ 85.00	\$ 8,500.00
			total	\$ 17,627.08
			Cost / LS	\$ 17,700.00

Flagpole Monument		30 LF		
1	Concrete Seat Wall - 18" High	22.00 LF	\$ 90.00	\$ 1,980.00
2	Bronze Plaques	6.00 SF	\$ 125.00	\$ 750.00
3	Flagpole	1.00 LS	\$ 8,000.00	\$ 8,000.00
			total	\$ 10,730.00
			Cost / LS	\$ 10,800.00

Rental Picnic Shelter - 44' x 24'		1056 SF		
1	Reinforced Concrete	1,056.00 SF	\$ 13.44	\$ 14,187.95
2	Pavilion Structure	1,056.00 SF	\$ 110.00	\$ 116,160.00
3	Picnic Tables - 50% ADA	16.00 EA	\$ 998.00	\$ 15,968.00
4	Trash Receptacles	1.00 EA	\$ 1,100.00	\$ 1,100.00
			total	\$ 147,415.95
			Cost / LS	\$ 147,500.00

Restroom / Storage Picnic Shelter - 44' x 24'		1056 SF		
1	Reinforced Concrete	1,056.00 SF	\$ 13.44	\$ 14,187.95
2	Pavilion Structure	1,056.00 SF	\$ 150.00	\$ 158,400.00
3	Picnic Tables - 50% ADA	4.00 EA	\$ 998.00	\$ 3,992.00
4	Trash Receptacles	1.00 EA	\$ 1,340.00	\$ 1,340.00
			total	\$ 177,919.95
			Cost / LS	\$ 178,000.00

Small Shade Shelter - 20' x 20'		1 LS		
1	Reinforced Concrete	400.00 SF	\$ 13.44	\$ 5,374.22
2	Pavilion Structure	400.00 SF	\$ 110.00	\$ 44,000.00
			total	\$ 49,374.22
			Cost / LS	\$ 49,374.30

Trash & Recycling Receptacles on Concrete Pavement		18 SF		
1	Reinforced Concrete	18.00 SF	\$ 13.44	\$ 241.84
2	Trash & Recycling Receptacles	2.00 EA	\$ 1,100.00	\$ 2,200.00
			total	\$ 2,441.84
			Cost / EA	\$ 2,450.00

Bike Rack on Concrete Pavement		40 SF		
1	Reinforced Concrete	40.00 SF	\$ 13.44	\$ 537.42
2	Bike Rack	1.00 EA	\$ 800.00	\$ 800.00
			total	\$ 1,337.42
			Cost / EA	\$ 1,340.00

Bench on Concrete Pavement		40 SF		
1	Reinforced Concrete	40.00 SF	\$ 13.44	\$ 537.42
2	Bench - 6' length	1.00 EA	\$ 1,500.00	\$ 1,500.00
			total	\$ 2,037.42
			Cost / EA	\$ 2,040.00

Picnic Table on Concrete Pavement		16 SF		
1	Reinforced Concrete	16.00 SF	\$ 13.44	\$ 214.97
2	46-In. Square ADA Picnic Table	1.00 EA	\$ 1,100.00	\$ 1,100.00
			total	\$ 1,314.97
			Cost / EA	\$ 1,320.00

Interpretive Signage		1 EA		
1	Custom Outdoor Graphic Panel	3.00 SF	\$ 300.00	\$ 900.00
2	Single Post with Aluminum Mounting Hardware	1.00 EA	\$ 450.00	\$ 450.00
			total	\$ 1,350.00
			Cost / EA	\$ 1,350.00

Funding Plaque		1 EA		
1	Bronze Plaques	6.00 SF	\$ 125.00	\$ 750.00
2	Boulder	1.00 EA	\$ 500.00	\$ 500.00
			total	\$ 1,250.00
			Cost / EA	\$ 1,250.00

Decorative Tubular Picket Fence		1 LF		
1	Decorative Tubular Picket Fence - 4' High	1.00 LF	\$ 52.50	\$ 52.50
			total	\$ 52.50
			Cost / LF	\$ 52.50

Park Sign		1 EA		
1	Custom Outdoor Graphic Panel	12.00 SF	\$ 300.00	\$ 3,600.00
2	Double Post with Aluminum Mounting Hardware	1.00 EA	\$ 900.00	\$ 900.00
			total	\$ 4,500.00
			Cost / EA	\$ 4,500.00

Utilities		Qty	Unit	Unit Cost	Sub Total
Electrical Service					
1	Electrical Service	1.00	LS	\$ 10,000.00	\$ 10,000.00
2	Panel and meter	1.00	LS	\$ 500.00	\$ 500.00
				total	\$ 10,500.00
				Cost / LS	\$ 10,500.00

Water Service					
1	Connect to Water Service	1.00	LS	\$ 10,000.00	\$ 10,000.00
2	Meter	1.00	LS	\$ 20,000.00	\$ 20,000.00
				total	\$ 30,000.00
				Cost / LS	\$ 30,000.00

Sewer Connection					
1	Connect to Sewer Service	1.00	LS	\$ 8,000.00	\$ 8,000.00
				total	\$ 8,000.00
				Cost / LS	\$ 8,000.00

Planting				
Lawn Establishment		1,000 SF		
1	Soil Amendments - 3 Inch Depth	0.02 AC	\$ 100.00	\$ 2.30
2	Seed and Stabilize	4.889 LB	\$ 37.33	\$ 182.50
			total	\$ 184.80
			Cost / SF	\$ 0.20
			MSF	\$ 200.00
			Cost / AC	\$ 8,712.00

Display Bed Planting		100 SF		
1	Shrubs	5.00 EA	\$ 45.00	\$ 225.00
2	Herbaceous Plug Planting	64.68 SF	\$ 3.60	\$ 232.83
3	Mulch - 3" depth	0.93 CY	\$ 45.00	\$ 41.67
			total	\$ 274.50
			Cost /SF	\$ 2.80

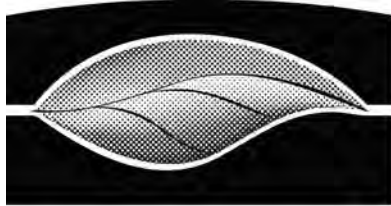
Meadow Establishment		43560 SF		
1	Drill Seeding – Mesic Seed	1.00 AC	\$ 2,275.00	\$ 2,275.00
2	Soil Amendments	1.00 AC	\$ 84.00	\$ 84.00
3	Straw Mulch	1.00 AC	\$ 907.00	\$ 907.00
4	Year 2 maintenance	1.00 AC	\$ 90.00	\$ 90.00
5	Year 3 maintenance	1.00 AC	\$ 80.00	\$ 80.00
6	Years 4 Maintenance	1.00 AC	\$ 80.00	\$ 80.00
			total	\$ 3,516.00
			Cost / AC	\$ 3,600.00
			MSF	\$ 82.70

Shade Tree Plantings				
1	Tree - 2 1/2" to 3" Caliper	1.00 EA	\$ 500.00	\$ 500.00
2	Soil Amendments	2.00 CY	\$ 84.00	\$ 168.00
3	Mulch - 3" depth	0.18 CY	\$ 45.00	\$ 8.18
			total	\$ 676.18
			Cost / EA	\$ 680.00

Ornamental Tree Plantings				
1	Tree - 6-8' height	1.00 EA	\$ 300.00	\$ 300.00
2	Soil Amendments	2.00 CY	\$ 84.00	\$ 168.00
3	Mulch - 3" depth	0.18 CY	\$ 45.00	\$ 8.18
			total	\$ 476.18
			Cost / EA	\$ 480.00

Evergreen Tree Plantings				
1	Tree - 2 1/2" to 3" Caliper	1.00 EA	\$ 400.00	\$ 400.00
2	Soil Amendments	2.00 CY	\$ 84.00	\$ 168.00
3	Mulch - 3" depth	0.18 CY	\$ 45.00	\$ 8.18
			total	\$ 576.18
			Cost / EA	\$ 580.00

Stormwater BMP		43560 SF		
1	Grading	1,210 CY	\$ 45.00	\$ 54,450.00
2	Hand Seeding - Wet Mesic Mix	1 AC	\$ 3,600.00	\$ 3,600.00
3	#1 Containerized Shrub Planting	200 EA	\$ 16.80	\$ 3,360.00
4	Herbaceous Plug Planting	1,500 EA	\$ 3.60	\$ 5,400.00
			total	\$ 66,810.00
			Cost / AC	\$ 66,900.00
			MSF	\$ 1,600.00



SIMONE COLLINS
LANDSCAPE ARCHITECTURE
119 EAST LAFAYETTE STREET NORRISTOWN, PA 19401
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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Upper Moreland Township Meeting Room 117 Park Ave, Willow Grove, PA 19090	Meeting Date/ Time:	04.20.2022 7pm
Re:	Steering Committee Meeting #1	Issue Date:	04.25.2022

ATTENDEES:

Anthony Benvenuti, Steering Committee
Michael Chauveau, Steering Committee
Matt Duffey, Steering Committee
Jeff Herb, Steering Committee
Chuck Jones, Steering Committee
Annmarie Mangin, Steering Committee
Mary Meister, Steering Committee
Phil Strybuc, Steering Committee
Dean Swedberg, Steering Committee
James Torpey, Steering Committee

Barbara Tuck, Steering Committee
Pat Stasio, Director of Parks and Recreation
Department
Nicholas Scull, Township Commissioner, Ward
1
Matthew Candland, Township Manager
Peter Simone, Simone Collins
Sarah Leeper, Simone Collins
Michelle Armour, Simone Collins
Other members of the Public (see attached
sign-in sheet)

GENERAL NOTES:

INTRODUCTION

- Pat Stasio introduced himself, the Commissioner, and the Township Manager
 - Explained Committee selection process: which includes residents of Ward 1; other members represent youth sport leagues, Parks and Recreation Advisory Council members, and other township residents.
 - There is no plan to add committee members
 - Last fall the Township purchased the Woodlawn Elementary School Site, the former school is currently under demolition
 - After demolition, the site will be rough graded, seeded, and strawed until the project is moved upon

- Explained selection of consultant – Simone Collins (SC)
- Peter Simone introduced the committee members, the meeting agenda, and the SC team. Peter discussed previous SC park planning projects and gave an overview of the master planning process. Peter presented the project schedule and scope.
- Sarah Leeper reviewed the draft public opinion survey questions and encouraged the Committee to provide feedback and suggestions to SC for edits and/or additions to the survey by May 16 (the Monday before Committee Meeting #2).
- Pat S. stated that there are no current plans for the park as of yet and clarified that there may or may not be a need for a community center at this site, and that if it is found that there is a need for a community center, it may not necessarily end up at this site. All park improvements will be decided through this public process and nothing has been pre-determined
- Pat S. stated that the Committee will receive a lot of information, and that the Committee's job is to and mold the ideas, listen to community, and make a recommendation to Board of Commissioners. The Committee is the guiding force and the broader community will provide information. The Board of Commissioners will have the final decision regarding park improvements
- Peter emphasized the importance of the public participation process in gathering information and ideas for the project.
- Attendees are encouraged to spread to word to the broader community about this master planning process and upcoming meetings. A flyer will be shared for distribution shortly.

Next steps

- Next Committee Meeting – Wednesday May 18
 - Public Opinion Survey – Committee feedback & comments by Monday, May 16
 - Formalize Focus Groups Meetings – Committee suggestions by Monday, May 16
 - Meet Team Architect
 - Brainstorming – Goals, Facts, Concepts, Partners

Committee Q&A

- Regarding focus groups, will there be a limit to the number of participants? Ex. Adjacent neighbors – will all 30 households be there?
 - There is no set size and will very based on the tfocus group, typically 20-30 people
 - The initial thought to ensure a focus group specifically for neighbors adjacent to the park .
 - If it was determined to be important we could expand the meeting group to a several block radius from the park.
 -
- Regarding feedback on the survey and suggestions for focus groups – what is expected of the Committee?
 - Can provide markups/sticky notes on the survey PDF, email, etc.
 - Suggestions for edits to survey questions
 - Suggestions for participants in focus group meetings.
 - Please submit by Monday, May 16th (before the next meeting Committee Meeting)
- Is there an age cutoff for the focus groups?

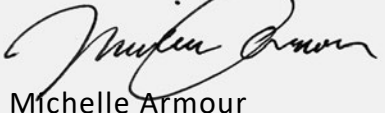
- No age cutoff
- Teenagers could be important participants – typically the most underserved group. Teenagers could be a focus group.
- In many communities the School District has difficulty getting kids together – a better approach may be to coordinate through other organizations
- Focus groups can be held virtually or in person
- Children of any age are certainly invited to the public meetings.
- This park is very important for children – there are many in that neighborhood. There is an active basketball court, field, and playgrounds.
- Pat S.: The existing park does not have to stay how it is. Pat anticipates change. Ex. Maybe the ballfield needs reorientation or to be a different size. Maybe there is no need for the tennis courts, or maybe more are needed. The committee should consider the park site as a blank slate.
- Peter: SC will consult with Pat on community needs for active sports fields.

Public Q&A:

- Is the walkway from far south being considered? It's not a bad thing, just want to make sure it's being considered – fencing, etc.
 - Peter: Yes, it is an existing condition. We do not know how it will be addressed yet, but it is a valuable pedestrian connection into that side of the park.
- I am thrilled to hear that we are including whole township, because this will benefit the whole township – thank you.
- With all of the other parks that SC has done, will you be helping start off the brainstorming with examples of similar spaces?
 - Peter: We may show images of ideas that we come up with together. Ex. spraygrounds, nature-based playgrounds, inclusive playgrounds, etc.
 - Sarah: We do not typically show images until after brainstorming because we want the Committee and the public to come up with ideas. We will go over the existing plan, then set the framework for the brainstorming discussion.
 - Pat: For inspiration, think of things that you have seen on vacation that worked well, etc. (Peter mentioned Pinterest)
 - Pat: Whatever goes in here will be ADA accessible. He noted that there is a visually impaired child that resides in close proximity of the park; noting that accessible means more than just insuring wheelchair access.

This report represents the Professional's summation of the proceedings and is not a transcript. Unless written notice of any correction or clarification is received by the Professional within ten days of issue, the report shall be considered factually correct and shall become part of the official project record.

Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour

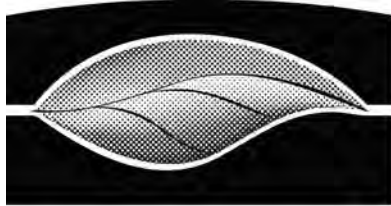


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NAME	STREET ADDRESS	EMAIL
1. Mone Meister		mmanixmeister@yahoo <input checked="" type="checkbox"/>
2. Lisa Berlin		lisa.gorbeck@gmail.com <input type="checkbox"/>
3. Marianne Watson	304 Forest Ave	mswatson481@gmail.com <input type="checkbox"/>
4. Virginia Matthews	201 EVERETT AVE	VMATTHEWS@GMAIL.COM <input checked="" type="checkbox"/>
5. Sandra Kaufman + 2 kids	326 Forest Ave	thekaufmans4@gmail.com <input type="checkbox"/>
6. Amanda Hall	308 Evans Ave	appraisals.halle@yahoo.com <input type="checkbox"/>
7. Bob Hagler	2598 Carrell	hoagiejr1@gmail.com <input type="checkbox"/>
8. Maureen Kund	2713 Carrell Ln	Maekund5@aol.com <input type="checkbox"/>
9.		<input type="checkbox"/>
10.		<input type="checkbox"/>
11.		<input type="checkbox"/>
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13.		<input type="checkbox"/>

Please check box if you would you like to receive Project Updates and Meeting Reminders.



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Upper Moreland Township Meeting Room 117 Park Ave, Willow Grove, PA 19090	Meeting Date/ Time:	05.18.2022 7: 00-8: 30pm
Re:	Steering Committee Meeting #2	Issue Date:	06.02.2022

ATTENDEES:

Anthony Benvenuti, Steering Committee
Michael Chauveau, Steering Committee
Matt Duffey, Steering Committee
Jeff Herb, Steering Committee
Annmarie Mangin, Steering Committee
Mary Meister, Steering Committee
Phil Strybuc, Steering Committee
Dean Swedberg, Steering Committee
James Torpey, Steering Committee
Barbara Tuck, Steering Committee
Pat Stasio, Director of Parks and Recreation
Department

Matthew Candland, Township Manager
Clifton "Kip" McFatridge, President, Board of
Commissioners
Cheryl Lockard, Vice President, Board of
Commissioners
Nicholas Scull, Ward 1
Commissioner
Peter Simone, Simone Collins (SC)
Sarah Leeper, SC
Michelle Armour, SC
Public Attendees (see attached sign-in sheet)

GENERAL NOTES:

INTRODUCTION

- Pat Stasio introduced himself, the Commissioners, and the Township Manager
- Commissioner McFatridge addressed attendees, stating that the Township has no agenda, that the Committee was chosen at random, and that the intent was to select members from different areas. He expressed his hope that, with Committee and public participation, the community will come up with a good design for Woodlawn Park.
- Pat S. stated that Public Meeting 1 has been advertised, and that survey will be finalized tonight.

- Peter Simone introduced the agenda, project team, committee, project schedule, and master plan process. Psi asked attendees to spread the word about Public Meeting 1 by sharing with networks.
- Sarah Leeper reviewed public input to date (committee suggestions/comments for the public opinion survey and focus groups), project site history, existing conditions, context within the Township parks system, and the schedule of field usage.

Committee Discussion: Focus Groups

- Committee member: Does it have to be only 4 focus groups?
 - SL: The number is limited by budget – it is important to figure out groups that are most related to this park in particular
 - Pete S: If people do not fit exactly into groups they will not be excluded, there will be some cross-over
- Committee member: “Passive activities” is vague. A “teenagers” group should be part of the “passive activities” group or a “mommy and me” group
 - PS: The challenge is to find teenagers to participate. Maybe the “passive activities” group can be replaced with a “teenagers” group.
 - Committee member: It depends on how you market it to the group. For example, teenagers may come to an “active sports” meeting thinking about sports but not about other activities.
 - Pete S: We ask the Committee to please communicate to us which groups to reach out to and provide their contact information – sports teams, churches, etc.
 - Pat S: Neighbors of the park would be helpful to identify teenagers as well.
 - Committee member: I suggest replacing “passive activities” with “teenagers” or “families” in general.
 - Other group suggestions: “unorganized family events” or “families”; to address needs of all ages
- Pat S: We would like to have this ironed out before Memorial Day.
- Committee member: Do you want our contact lists or to have us send info out to our groups?
 - Pat S: We need your help to identify people and to get their contact info to us.
- Sarah L: The “neighbors” group should likely go beyond the adjacent residences.
- Pat S: Consider holding meetings outdoors at the park.
- Pat S: Adjacent neighbors can choose a “neighborhood contact captain” to represent their interests and serve as a point of contact.

Brainstorming

GOALS

- Universal access for any disability: mobility, hearing, sight – all inclusive

FACTS

- Very engaged community
- No summer program on basketball courts
 - Need 2-3 courts to run a program

- Parking in neighborhood and church on corner of Abbeyview will let people park on busy days
 - Gets crowded sometimes
 - Baseball usually only 2 teams, not too bad
 - Church parking is not in great shape – when we have a better park, the church may not be able to afford to allow parking
- No dogs are allowed in any park besides the existing dog park
- The Township is currently working with Septa on a skatepark location – delayed
- The highpoint is not well-shaded – brick hard in summer
- Water control measures are necessary
 - No SW management currently
 - MS4 requirements
- Highly active Environmental Advisory Council
- The tennis courts on site are unused
- There are many tennis courts at Mason’s Mill
 - During one attendee’s visit every pickleball court was being used, the tennis unused (some of the tennis courts are in disrepair)
 - The tennis courts are walk-up use
- All boundary fences besides on Division are privately owned – residences
- Baseball players hit fences by right field sometimes
- Walkway behind the tennis courts is well-used
- Lighting – idea could be scary for residents (trees coming down, large lights, etc.)
- Space for programming: The Township needs own space (per Township Program Coordinator)
 - All is currently rented - spends about \$20-25K a year on rental space
 - No Township owned building/community center
 - Have a widely popular drama program
 - The Key club – teenagers – highly active group
 - The Golden Age Club – 400-member senior citizen club
 - Summer camp – use school facilities
 - Can only offer 8 weeks because of school year schedule, few weeks lull because no facility
 - No scholarships for program
 - Program is full w/in 15 minutes
- Summer concerts held at Masons Mill
- No spray pad. Have a spray “pole” – looking to vastly increase that
- Existing synthetic turf fields in other locations are well-used
- Twp applied for \$200K from DCNR to apply retroactively – for open space acquisition
- Woodlawn Site was formerly known as Frazier Hill – owned by W.W. Frazier
- WW Frazier owned a couple hundred acres and called it all Overlook Farms
- The USGS survey was commissioned by Thomas Jefferson
- Good location for a Community Center
 - In a densely populated area of Woodlawn – would be well used
 - Would not be as visible, so would be more neighborhood use – “ours”
- Woodlawn neighborhood bounds:

- Overlook Ave or Terwood Road to Moreland Road, and Davisville Road to Edge Hill Road
- Ward 1 and parts of Ward 6

CONCEPTS

- Community center
 - Indoor gyms - multipurpose
 - Restrooms
 - Classrooms
 - Arts
 - Stage
 - Seniors
 - Flexible space
 - Kitchen area
 - Rental areas for revenue stream
 - Meeting Hall
 - Wi-fi (public attendee comment)
- Keep green space – put community center elsewhere
- Sports
 - Turf field (synthetic) – lacrosse, field hockey, etc.
 - Lighted
 - Skin infield for flexibility
 - accommodate 60- and 90-foot fields
 - movable mound
 - Basketball courts
 - outdoor
 - lighted
 - Pickleball courts for seniors
 - Indoors – players are loud
- Playground / play areas
 - Water park – splash pad
 - “Climbing park, not a sliding park”
 - “Ninja Warrior” – inspired
 - Zip line – play equipment
- Skateboard park
- Cut grass shorter for field hockey
- Native tree plantings

- Outdoor fitness course
- Outdoor movies
- Dog park
- Walking paths/trails – add/improve
 - Low level lighting
- Pavilion(s)

- Seating/picnic benches/tables
- Traffic / Parking
 - Traffic calming – circulation in and around the park
 - Parking on site
 - Street parking – cut away edge of site for parallel/angled parking (Woodlawn Ave, Division Ave)
- Public pool (public attendee comment)
- Drinking fountains (public attendee comment)
- Name Ideas:
 - Woodlawn Park at Frazier Hill
 - Reference the history of the site

PARTNERS

- Miss America Organization

Public Q&A

- Pete S: How to decide on priorities?
 - Public attendee: Need an “umbrella”
 - Why?
 - Who?
 - What? Overall intended serving of audience
 - Ex. 13–20-year-old kids – codify that
- SL: Is this a neighborhood or community park? How does it fit in with other facilities in the Township?
 - Community park. I think we can get everything that is wanted or needed in this park before we say, “we can’t do this”. Let’s think win/win and try hard to get everything in.
 - (Agreement from another attendee)
 - Neighborhood park. There is no parking. Mason’s Mill is a community park. This park can serve larger community, but on a day-to-day basis it is neighborhood park.
- Pete S: Is this park needed for leagues?
 - Pat S: Yes, or another location is needed for them – another piece of ground. The school has hardball fields (maintained during school year). We have softball fields that may be able to be converted. We need what is there and more. If this field is removed, other fields in the Township could be lit, but this field is used every night.
 - Committee member: Can we convert other fields’ sizes?
 - Committee member: That is why a skinned field with no mound would be good – flexible size.
- Committee member: Would any of these concepts be a liability (ex. skate park)? How about hiring people to man them? Where do those funds come from?
 - Pat S: None of these concepts would increase liability.
- Building:
 - Horsham did a good job with their community center - large meeting hall
 - No gyms
- Will emailed ideas be presented at the Public Meeting to be brought up?

- People can mail ideas in. Also, virtual attendance will be available.

Next steps

- SC tasks:
 - Finalize Online Opinion Survey
 - Coordinate dates and times of Focus Group Meeting with Township
 - Prepare for Public Meeting 1
- Committee tasks:
 - Share meeting information
 - Share survey information
 - Provide suggestions/contact info for Focus Groups

Upcoming Meetings

- Public Meeting 1: Brainstorming – Wednesday, May 25, 7-9 PM
- Committee Meeting 3: Analysis & Programming – Thursday, June 9, 7-8: 30 PM
 - Review Public Feedback –Meeting & Survey
 - Review Potential Program Items through Initial Concepts / Bubble Diagrams

This report represents the Professional's summation of the proceedings and is not a transcript. Unless written notice of any correction or clarification is received by the Professional within ten days of issue, the report shall be considered factually correct and shall become part of the official project record.

Sincerely,
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LANDSCAPE ARCHITECTURE



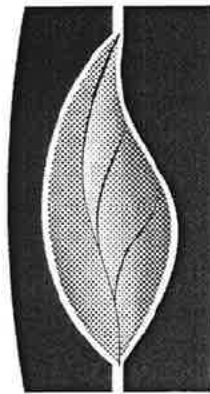
Michelle Armour

MEETING SIGN IN SHEET

Project: Woodlawn Park Master Plan Project: 21073.00
 Location: Upper Moreland Township Date: 05.18.2022
 Topic: Steering Committee 2 – Site Review & Brainstorming Time: 7:00-8:30 PM

STEERING COMMITTEE	STREET ADDRESS	EMAIL
<input checked="" type="checkbox"/> Anthony Benvenuti		abenvenuti147@gmail.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Michael Chauveau		hendon429@yahoo.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Matt Duffey		mdsoccer179@gmail.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Jeff Herb		uppermorelandbasketballclub@gmail.com <input checked="" type="checkbox"/>
<input type="checkbox"/> Chuck Jones		Fdum102@outlook.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Annmarie Mangin		amfmangin22@gmail.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Mary Meister		mmannixmeister@yahoo.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Phil Strybuc		philstrybuc1@gmail.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Dean Swedberg		deanswedberg@verizon.net <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> James Torpey		jimtorpey@yahoo.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Barbara Tuck		barb.tuck78@gmail.com <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Pat Stasio		pstasio@uppermoreland.org <input checked="" type="checkbox"/>

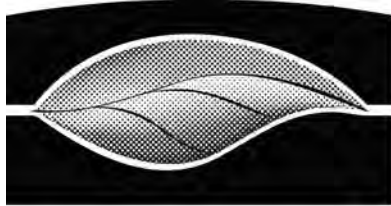
Please check box if your email is correct.



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114

NAME	STREET ADDRESS	EMAIL
1. STEVE SEMEN	108 EVERETT AVE	STSEME@GMAIL.COM <input checked="" type="checkbox"/>
2. MICK STUM		VMT - 2 Sec (1k) <input type="checkbox"/>
3. CHERYL LOCKHART	3925 REINHARDT RD	CLOCKARD@UPPERMERELANDS.COM <input type="checkbox"/>
4. M. A. CANNON	2445 TURNER BLVD	mccannon@uppermereland.com <input type="checkbox"/>
5. MARIANNE WATSON	304 FOREST AVE	<input type="checkbox"/>
6. BARBARA TUCK	525 FARMER TERRACE	barb.tuck78@gmail.com <input checked="" type="checkbox"/>
7. JILL M. STEDMAN	4145 E. STEDMAN RD	mledman@jg@gmail.com <input type="checkbox"/>
8. KATIE COOPER		<input type="checkbox"/>
9.		<input type="checkbox"/>
10.		<input type="checkbox"/>
11.		<input type="checkbox"/>
12.		<input type="checkbox"/>
13.		<input type="checkbox"/>



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
	Upper Moreland Township		
Location:	Meeting Room	Meeting Date/	05.25.2022
	117 Park Ave,	Time:	7:00 – 9:00 PM
	Willow Grove, PA 19090		
Re:	Public Meeting #1 – Project	Issue Date:	06.02.2022
	Intro & Brainstorming		

ATTENDEES:

See attached sign in sheet.

NOTES:

1. Peter S. & Sarah L. reviewed the master plan process, park existing features, and introduces the brainstorming session. The public was invited to share Goals, Facts, Concepts, and Partners for Woodlawn Park.

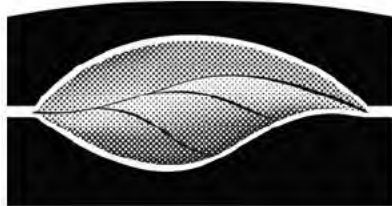
BRAINSTORMING:

Goals

- Provide for all ages
- Appeal to a diverse population
- Create a beautiful safe park
- Create an inviting space
- Park to be a good neighbor
- Create community

Facts

- 4 walls of neighbors
- Houses border park
- Basketball courts used for parking
- Team sports in park
- No dogs in park
- Guard @ Mason Mill Park
- Ex. Playground in poor condition
- 9.5 acres
- Woodlawn Ave - 2 Cars cannot pass
- Traffic on Forest Ave due to access path
- No ADA curb ramp @ Forest Ave
- People run stop sign @ Woodlawn & Division
- Questions regarding fences
- Used Tennis Courts to learn how to bike



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Concepts

SHADE & TREES	GATHERING SPACES	COMMUNITY CENTER
<ul style="list-style-type: none"> • Trees • Keep existing trees • Plant more trees • Plant native trees • Shade • More areas of shade 	<ul style="list-style-type: none"> • Space for people to gather • Open air pavilion • Gazebo or stage • Concerts + Movies in the park • Food truck event • Picnic tables • Water @ pavilions • Grills 	<ul style="list-style-type: none"> • Community Center • Kitchen / multi-purpose room / small rooms • Music painting classes • Police PALS • Indoor basketball • What need will a community center meet? • No community center @ Woodlawn
PLAYGROUND	PARK AMENITIES	PARK IDENTITY
<ul style="list-style-type: none"> • New Slides • Wood playground • Inclusive playground • New playground • Shade @ playground • Learn to bike area 	<ul style="list-style-type: none"> • Bathrooms • Drinking fountains • Storage • Snack Shack • Teen employment opportunities • Vending machines • AED emergency panel • Stormwater controls • Limited lighting 	<ul style="list-style-type: none"> • Community center will turn Woodlawn into a community park • Keep green space • Neighborhood park • Dawn to Dusk • Limit facilities in the park • Size comparison studies • Some ideas could be met elsewhere in the township
RECREATION IDEAS	DOGS	FUNDING
<ul style="list-style-type: none"> • Pickleball courts • Walking trail through trees • Basketball courts keep • Keep tennis courts • Skate park • Outdoor fitness equipment • Pump track • Hockey in-line rink • Putting green • Disc golf 	<ul style="list-style-type: none"> • Dog park • Dog friendly portion of park 	<ul style="list-style-type: none"> • Special Needs focus group • Donation paver bricks • Grant funding
WATER RECREATION	TRAFFIC & PARKING	EXAMPLE SITES & PROGRAMS
<ul style="list-style-type: none"> • Outdoor Community swimming pool • No pool • Splash pad • High use for pool 	<ul style="list-style-type: none"> • Gate Woodlawn Driveway • Relocate driveway • Traffic may increase • Speed bumps • Traffic calming • Pedestrian safety / crosswalks • One-way streets 	<ul style="list-style-type: none"> • Abington adult evening school • Dupont Hospital music playground • Cresmont Club (Abington) • Spruce street park

Partners

- DCNR
- Township EAC
- American Academy of Dermatology
- Pennypack Trust PERT

PUBLIC Q&A:

1. Neighbors noted concerns regarding the location of the driveway being so close to neighbors and hidden areas behind the building creates hidden areas in the park for illicit nighttime activity.
2. An attendee asked how all the ideas on the board could fit in the park and what is the process to refine ideas. Pete agreed that all the ideas on the wall would most likely not end up at Woodlawn Park. He noted that we will be looking at the survey results, public comments, committee feedback, and township staff to determine what is best for the Park. It is the SC team to take all the ideas and explore how they fit into the site conditions and pair that with the communities needs and desires. We will come back to the committee and public with multiple concept ideas to for the park to help explore the various ideas.
3. An attendee asked for SC examples of parks similar in size to Woodlawn. Pete noted that some of the examples that we had shown were larger than Woodlawn. He noted that every park is different so it difficult to show specific examples similar to Woodlawn Park. Pete noted that we will do some size comparisons to help people understand the size of the park.
4. An attendee asked if some ideas do not' fit at Woodlawn but there is a clear need would there be opportunities to look at other parks in the Township. Pat S. noted that yes this is something that the Township will do. He noted that the Township is currently looking at a different location for a skate park, one of the ideas shared tonight. One of the key person interviews will be with the Parks Department to identify facilities that the Township is planning.
5. An attendee asked if we consider getting feedback from kids. Pete noted that often we try to collaborate with school boards to set up meetings but it can be a difficult to fit it into a school day. He noted that if someone had a connection to a school or kids and wanted to help organize a group that we would be happy to hold a focus group with kids. He also encouraged parents to bring their kids to the meeting, have them take the survey, or have them email us.
6. An attendee asked about DCNR requirement to allow anyone to use the park and noted that Green Lane Park had once to closed to just Montgomery County and Avelthorpe Park is limited to just Abington residents. It was noted that those facilities had not been acquired or funded with state or federal funds.
7. An attendee asked how quickly we will see the results of the survey and will we see wide results. Pete noted that we will share key results at the next meeting. When we submit the plan, we will have the full results and comments in the plan.
8. An attendee asked regarding focus groups did you consider neighborhood parents and kids. Pete noted that that was really specific and that we have the neighbors focus group. It was questioned if that group would just be limited to bordering neighbors.

Pete noted that we will need to determine the range of neighbors with Pat but that it would be wider than just the edge of the park.

An attendee noted that the steering committee is composed of six ward 1 residents, none of which border the park, the balance is made up of other wards. It was noted that ten adjoining neighbors had submitted to be on the committee and had not been selected so a meeting reaching out to adjacent neighbors should be considered.

Pete S. noted that it is the team's job to listen to all voices equally whether you are a commissioner, on the committee, or a member of the public. He noted that the committee meetings are open to the public and that at the end of the meeting business the meeting is opened to public Q&A.

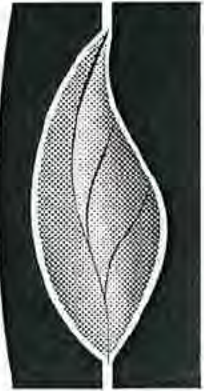
9. It was requested that meetings be held on varying evenings to avoid repeating conflicts for individuals. Pete noted that the schedule gets set at the beginning of the project dependent of the team's schedule and Township meeting Schedule. He noted that the meetings are being recorded and will be posted to the project website and we welcome people or email us with their ideas.
10. Is there a target age for kids focus group, for example *"my 6-year-old will ask for made up things"*? Pete agreed that with younger kids you can have a fun session but the information you glean from it is limited. However, if you can get a group of teens together you can gather some important information and what they would like to see. It was noted that there is a period of time in early June when school lets out prior to camps starting that might be a good time to reach out to kids.
11. Pat S. thanks everyone for their comments tonight and for creating an open atmosphere for everyone to share their ideas. He noted that the Township Manager and four commissioners, and Parks and Rec Program Coordinator were also in attendance at the meeting and heard all your ideas. He encouraged everyone to go to the Project Website to stay up to date with the progress.

This report represents the Professional's summation of the proceedings and is not a transcript. Unless written notice of any correction or clarification is received by the Professional within ten days of issue, the report shall be considered factually correct and shall become part of the official project record.

Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Sarah R. Leeper, RLA, ASLA
sleeper@simonecollins.com



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MEETING SIGN IN SHEET

Project: Woodlawn Park Master Plan Project No.: 21073.10
Location: Upper Moreland Township Date: 05.25.2022
Topic: Public Meeting 1 – Project Background & Brainstorming Time: 7:00-9:00 PM

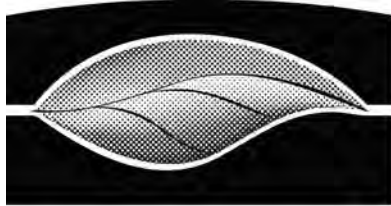
<u>SPEAKING SCHEDULE</u>	STREET ADDRESS	EMAIL
1. GERARD BONAMANTE	407 woodlawn Ave	NONE <input type="checkbox"/>
2. Diane Bonamante	407 Woodlawn Ave	NONE <input type="checkbox"/>
3. STEVE SEMEN	108 EVERETT	SSSEMEN@GMAIL.COM <input type="checkbox"/>
4. SARAH WUELLER	203 INDIAN TERR.	<input type="checkbox"/>
5. Corey Segun	11 11	<input type="checkbox"/>
6. Anthony Benvenuti	147 Deer Run Rd.	Abenvenuti147@gmail.com <input type="checkbox"/>
7. M. C. Chauveau	196 Greyhorse	<input type="checkbox"/>
8. BRIAN SHANNON	503 QUIGLEY	BRIAN505@VERIZON.NET <input type="checkbox"/>
9. Joann Bitnor	1876 Greyhorse Road	<input type="checkbox"/>

NAME	STREET ADDRESS	EMAIL
10. DAN BITNER	187 GRENTHORST RD	<input type="checkbox"/>
11. Elaine Leibbrandt	522 School House Ln	<input type="checkbox"/>
12. Charlotte Laughlin	512 School House Lane	<input type="checkbox"/>
13. Bob Mehlbaum	132 Allison Rd.	<input type="checkbox"/>
14. Diane DeBalko	509 Manor House Lane	diane@debalkophoto.com
15. Jeremy Irwin	217 Evans Ave	parents@irwins.ws
16. Donna Graf	183 Sleight de Road	DonnaGraf13@comcast.net
17. Constantine Wozniy	501 Woodcrest Rd	causticlamb@verizon.net
18. Kevin O'Connor	340 Forest Ave	k.oconnor44@yahoo.com
19. Virginia & John Matthews	201 EVERETT AVE	vamatthews@gmail.com
20. Heidi & Jane George	510 Manor House	heidi1947@gmail.com
21. Cheryl Lockard		<input type="checkbox"/>
22. Nikki MacMillin	344 Forest Ave	NikkiLynne-Stephanou@gmail.com
23. Gueff Jackie Matt Pittman	502 Division Ave.	jackpit90@gmail.com
24. Cathy Crow	1107 Division Ave	<input type="checkbox"/>
25. Aiden Crowe	1107 Division Ave	<input type="checkbox"/>
26. Josh Hackenberg	501 York Rd	jhackenberg@gmail.com

Please check box if you would you like to receive Project Updates and Meeting Reminders.

NAME	STREET ADDRESS	EMAIL
27. Stu and Sara McKenna	411 Woodman Ave.	Sittymuck@comcast.net min215@comcast.net <input type="checkbox"/>
28. Courtney & Cody Sauder	606 Church St.	Courtneywithcody@gmail.com <input type="checkbox"/>
29. Don Cappa	321 Forest Ave	omron419@aol.com <input type="checkbox"/>
30. Jean Scherfunningham	4240 Davisville	davisville4210@gmail.com <input type="checkbox"/>
31. Lauren Heegard	320 Woodlawn Ave	lauren.kelly914@yahoo.com <input type="checkbox"/>
32. Rich Goodrich	195 Greyhorse Rd	<input type="checkbox"/>
33. Lisa Maclell	177 Campmeeting Road W6	lisamitchellavan@aol.com <input type="checkbox"/>
34. Hillary Yoder	190 Lookout Ln	hillarykyoder@gmail.com <input type="checkbox"/>
35. Kellie Hughes	218 Quigley Ave	kellie.hughes48@gmail.com <input type="checkbox"/>
36. Lauren Fernandez	2030 Country Club Dr.	lauren1752@gmail.com <input type="checkbox"/>
37. Tom Hasan	720 N York Rd	tomhasani@gmail.com <input type="checkbox"/>
38. Dean Svedberg		<input type="checkbox"/>
39. Matt Collins	117 Park Ave W6	min215@comcast.net <input type="checkbox"/>
40. Emily Graupner	2045 Richard	<input type="checkbox"/>
41. Jack Dunleavy	2319 Fairway Rd	<input type="checkbox"/>
42. Jennifer Hartigan		jenniferkellyhartigan@gmail.com <input type="checkbox"/>
43.		<input type="checkbox"/>

NAME	STREET ADDRESS	EMAIL
44. Elizabeth Beckowski	401 woodlawn Ave	ebeckowski12@gmail.com <input type="checkbox"/>
45. Yari Alvarado	217 Abbeyview Ave.	yarialvarado123@gmail.com <input type="checkbox"/>
46. Noreen Wenzel	210 Lawrence Rd	Noreen@yaho.com <input type="checkbox"/>
47. Rick Mitchell	177 CAMPMEETING RD	rick.mitchell@argus.com <input type="checkbox"/>
48. Diana Lineback	18 Overlook Ave Willow Grove	dianaread6@aol.com <input type="checkbox"/>
49. Cathy Guerra	501 Glenview Ave W.G	Rascalesmread <input type="checkbox"/>
50. JOLIE PRICE	194 Cornbelt Rd W.G	price.jolie@gmail.com <input type="checkbox"/>
51. Sharra Wallace		Greatest 5 Kids@yahoo <input type="checkbox"/>
52.		<input type="checkbox"/>
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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Upper Moreland Township Meeting Room 117 Park Ave, Willow Grove, PA 19090	Meeting Date/ Time:	06.09.2022 7: 00-8: 30pm
Re:	Steering Committee Meeting #3	Issue Date:	06.17.2022

ATTENDEES:

Anthony Benvenuti, Steering Committee
Michael Chauveau, Steering Committee
Matt Duffey, Steering Committee
Jeff Herb, Steering Committee
Chuck Jones, Steering Committee
Annmarie Mangin, Steering Committee
Mary Meister, Steering Committee
Phil Strybuc, Steering Committee
Dean Swedberg, Steering Committee

James Torpey, Steering Committee
Barbara Tuck, Steering Committee
Pat Stasio, Director of Parks and Recreation
Department
Matthew Candland, Township Manager
Nicholas Scull, Ward 1 Commissioner
Peter Simone, Simone Collins (SC)
Sarah Leeper, SC
Michelle Armour, SC

GENERAL NOTES:

INTRODUCTION

- Pat Stasio (PSt): The police department does not know why parking is not allowed on both sides of the street
- PSt: The Township is having an engineer perform a survey to see if any of the neighboring fences encroach upon the property
 - Peter Simone (Psi) – recommended the Township have a more in-depth survey done to determine the site topography, boundaries, underground utilities, etc.
- Psi: Reviewed the meeting agenda, introductions, project schedule, and master plan process. Presented public meeting #1 feedback and brainstorming (including goals, facts, concepts, and partners).
- Sarah Leeper (SL): Presented web-based survey results to date.

- Psi: Discussed upcoming focus group meetings and key person interviews.
- SL: Presented Concept Studies and then opened the meeting up for comment on the five concepts.
-

Concept A

- 13,000 SF building may be maximum size for this site – 40K SF may be too large
- Overlapping of fields not good – soccer field needs to be turf
- What does a 13K SF building have?
 - SC: Classroom space, multi-purpose meeting room, restrooms, a gym
- A building of this size may not draw from across the community
- Should be careful about what to call the building – maybe a building of this size is a “rec facility”
- Concerns about balls from ballfield ending up in neighbors’ yards
 - SC: This concept shows a smaller field than what is currently on site
- Move soccer field towards Forest Ave?
 - Take out parking, bring basketball over
 - Important to keep basketball near the road – kids play music. Keep it away from residents and keep it visible.
- PSt: The field is a big space taker
 - SC: This is why separate baseball and soccer fields were not explored.
 - How much more space would be available if both fields were taken out?
 - Higher demand for fields – all sports used to have their own seasons, but now they overlap in all of the seasons

Concept B

- Street parking is good – better than on the site
- Basketball courts are in neighbors’ back yard (and playground)
- Sidewalk bump outs are good – maybe add one on Forest as well
 - SC: Could tie into stormwater treatment with a vegetated strip

Concept C

- 40K SF building where the old building was is good.
 - Township can use all summer for summer camp, basketball, etc.
 - Doesn’t need to be tall
 - Could be tall to have an indoor track upstairs
- Need buffer for Woodlawn Ave from parking lot so that neighbors are not looking out their living room windows to see cars.
- The parking lot is big – takes away from green space
- Large building would be difficult here
- Only one field in this concept – relocating the other? The 2007 plan says that every sport needed 1-2 fields and that the Township needed a community center
- Orientation of this concept is better than the diagonals of other layouts

Concept D

- Least favorite concept – doesn't look like much is happening
- Don't like basketball courts at that angle – and that area is kind of hidden, elevated, out of eyeshot for neighbors
- PSt: The existing ball field needs to be reoriented
- Community green space – is this needed when there is all of the other green space?
 - Concerts, but maybe not the place for it – parking, noise, etc.
 - Maybe movie nights – not Township wide events
 - If renting pavilions, maybe this space would be used for bocce, volleyball, badminton
 - Unstructured play – football, frisbee
 - Like a college commons – trees, hammocks
- The trail at the bottom right goes through the existing tennis courts. Can the courts be retained and resurfaced? It is an activity that the neighbors are accustomed to.

Concept E

- Take the 40 spaces in parking lot and place them on the street
- The driveway drop-off circle could be good for food trucks – pull them off the road and draw people into the park
 - Touch a Truck event – bring out big trucks and kids touch them
- Maybe have a smaller parking lot on site

General Discussion

- Pickleball
 - Maybe no outdoor pickleball on this site – it is loud.
 - Add pickleball at Masons Mill and take something from Masons Mill and bring to this park?
 - PSt: There are currently 6 pickleball courts and 5 tennis courts at Masons Mill, and the community is asking for more pickleball at Masons Mill, but there is no space to add more there.
 - Either have pickleball inside a building or not at all at this park.
- How many residents have taken this survey? Are people most affected by this park taking it? Do they realize it will bring traffic? A community center is needed, but maybe not in this tight area of the township. Kids run through the street
 - 75% of respondents live within ½ mile of the park
- There is limited indoor space/time available. This need has been known at least since the comp rec plan, 15 years ago – we don't want to put it off for another 15 years.
 - Even if not here, if a full-blown community center is needed, maybe the right land can be found for it.
- Against a building of any kind going on this site. A park is defined by natural things – playgrounds, courts (not pickleball).
- Any possibility of building up the low point of the site with fill to buttress it was a nice walk to make a fully level site?
 - SC: It is more frugal to work with the existing grade, but it can be explored.

- Can there be angled parking on Woodlawn?
 - SC: The street is one-way, but maybe 90-degree parking to accommodate parking from both directions
 - SC: There is less than 24' to accommodate this, so this would require a retaining wall
- A rec center building would need to be designed to not stick out “like a sore thumb” – residential design that fits in with the vernacular of the residential neighborhood
- The corner where the tennis courts currently are is not used in these concepts – why?
 - SC: Consideration of the amount of neighbors/buffering
- Water play area – will it get much use when we have winter 9 months of the year?
 - SC: This can serve as a civic space when not turned on – zero depth, nozzles flush to ground.
 - SC: Some communities keep features like this open longer than Memorial Day to Labor Day – the seasons are expanding at both ends.
- Current parking – in school parking lot and along driveway of Woodlawn, along Division, off Woodlawn, church parking lot, into surrounding neighborhood
 - Problem is when there is game overlap – one game brings 25 vehicles, two games bring 50
- The two main questions will drive this design:
 - Community Center? And size?
 - Sports fields?
- SC: Is this location special for the sports fields? Could they be somewhere else?
 - Yes, they could be somewhere else
 - PSt: Masons Mill might make more sense – and something could be done to make the existing field more playable
 - If no fields here, a rec center could fit more easily
- Indoor space is at capacity – there are many outdoor fields. Indoor space is needed more than anything.
- Reality of a community center elsewhere?
 - PSt: Township would need to purchase a property – maybe \$2M
 - Township owns a lot of property, but much is wetlands
 - Township only owns the Township building, and historic structures
 - SC: Retail space – look at spaces that may become available in the near future, along major roads
 - Office Max
 - PSt: Township has been spending/borrowing for firehouse, fire trucks, P&R, etc. Competing with other necessary expenses.
 - Do we want taxes to go up?
 - Would need to make too many sacrifices on the building to place it at this park – really want to shrink it down to fit it here?
- SC: Committee needs to discuss whether to put a community center at this site or not in coming weeks – consultant needs direction
- If largest building is the decision, can it be done? How long would it take? Can everything else be completed in the meantime?
 - PSt: Feasibility Study for a community center should be done as a next step if community is serious about this, regardless of location.
 - SC: DCNR offers funding for these studies

- SC: A placeholder can be left for the building in case this turns out to be the best site per a feasibility study
- PSt: Get more data – focus groups, etc.
- PSt: Masons Mill – benefit would be having two fields side by side
 - One place to bring kids of different ages
 - No neighbors
 - Some restrictions on the property – to discuss
- The school district uses Township fields for free, but the Township pays to use school district facilities
- If there were neither a rec center nor a ball field here – something different could be created for the community
- Will there be tweaks to the plan between Steering Committee Meeting 4 and Public Meeting 2?
 - SC: This depends on committee feedback. Probably Yes.

Focus Groups and Key Persons Interviews

- PSt: Has reached out to scouting groups, the Key Club, and parents of teens in the area for the Teens Focus Group meeting, which will hopefully have a few dozen participants.
- Community Center Focus Group – Golden Age Club, etc.
- How about the Historical Association as a stakeholder group?
 - Pat Stasio to provide KPI info.
 - “Woodlawn Park on Frazier Hill” – concept for park renamed
- Possible Key Person Interview – visually impaired neighbor – does not want parking on the road

Next steps

- Meeting notes and agenda to go out for public posting to website.
- Consider looking into feasibility study early on, seek available funding.
- SC tasks:
 - Focus Groups
 - Refine Concepts
 - Key Person Interviews
- Committee tasks:
 - Provide suggestions/contact info for Focus Groups, Key Person Interviews, and potential donors
 - Discuss whether or not this site is the right place for a rec center/community center building

Upcoming Meetings

- Focus Group Meetings
 - Tuesday, June 21, 2022
 - Wednesday, June 22, 2022
- Committee Meeting 4: Initial Concepts – Wednesday, August 24, 2022, 7:00-8:30 PM
 - Review Focus Groups and Key Person Interviews
 - Review refined concepts for presentation at Public Meeting 2
- Public Meeting 2: Initial Concepts – Wednesday, September 14, 7-9 PM

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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour



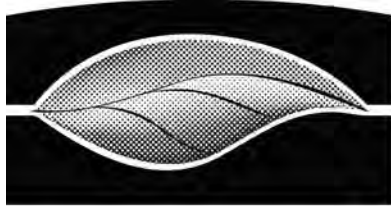
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12. Mary Meister	121 EVANS AVE Willow Grove	mmannixmeister@yahoo <input type="checkbox"/>
13. Barb Tuck	525 Tamar Terrace Willow Grove	Barb.Tuck78@gmail.com <input type="checkbox"/>

M. PAT STASIO

UMT.

PLASIO c uppmann1010



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
Location:	Woodlawn Park Upper Moreland Township	Meeting Date/ Time:	06.21.2022 6:00-7:00 PM
Re:	Focus Group Meeting 1 Community Center Group	Issue Date:	07.11.2022

ATTENDEES:

Peter Simone, Simone Collins (SC)
Sarah Leeper, SC
Michelle Armour, SC

(See attached Meeting Sign in Sheet for list of attendees)

GENERAL NOTES:

INTRODUCTION

- Peter Simone introduced members of the SC team, and attendees introduced themselves.
- Attendees were introduced to and updated on the status of the Woodlawn Park Master Plan project.
- Peter explained that a community center and athletic field are major questions for this plan.
- Input from the discussion was as follows:

Building

- Facts
 - Must go outside of community for an indoor community space – difficult because in Abington, must be a resident
 - Many dance studios in the area that do not have a space for their recitals
- Concepts
 - Shared space that everyone can use at some point
 - Classrooms
 - Facility for rentals – ex. bridal showers
 - Kitchens
 - Hold fundraisers for organizations
 - Stage
 - Attendee to send minimum square footage required for a stage to SC
 - A space for arts, STEM, etc.

- Smaller building, like a clubhouse
- Does not need a full-blown center, but it does need restroom and secure storage
- The opportunity to fund raise – ex. paint a mural – make unique to the community and get investment of groups
- Community center in NJ as an example – open air, attendee rented it. Attendee to share photos with SC
- Concerns
 - Attendee asked if a new building would need to be where the previous structure was.
 - SC response: Could be a blank slate.
 - Two stories seems like a lot
 - A smaller version is something that neighbors would prefer.
 - Something kids can use during the day and then by sports on weekends

Football and cheerleading

- Concepts
 - Willow Grove Bears need an indoor space:
 - snack stand,
 - running water,
 - electricity,
 - restroom,
 - kitchenette
 - Indoor practice space (turf or not) to run offense/defense (walk through)
 - Announcer's booth
- Facts
 - Currently playing at Mason's Mill
- Concerns
 - Concerned about idea of new field being at Mason's Mil. Currently have a snack shed, no running water there.

Baseball/softball

- Facts
 - Indoor space – Little League has own facilities.
 - Junior and Senior teams use the field at Woodlawn
 - Little league – owns their own complex. Do not pay for use of SD fields because grandfathered in – not for much longer
- Concepts
 - Snack stand
 - Bathrooms
 - Something between two fields (stand?)
 - A place to store equipment (if org's could take care of their own fields)

Drama Program w/ Parks & Recreation (Drama Rama)

- Facts
 - Over 60 kids in every performance
 - Must fight for one of four stages from SD (only fit on 2 of the 4)

- Have demand – 4 full summer camps
- Concepts
 - Stage
 - Indoor bathrooms
 - Snack stand
 - All ages – make it communal
 - Elementary school aged kids
 - Senior citizen production – Golden Age Club
 - Holiday sing along

Basketball

- Facts
 - All 6 hoops are never used at once – maybe four used at once
 - First week of spring and first week of school is packed
 - Not well maintained / asphalt in poor condition
 - At Chester Park – Friday night at 7:30 there were 75-100 kids playing serious basketball
- Concepts
 - *4 well-maintained courts* (may be well used)

Teens

- Facts
 - Southampton has a community center that serves teens
 - About 15 min drive
 - Indoor and outdoor
 - Basketball
 - Pool tables
 - Baseball, softball
 - All sports

Restrooms

- Facts
 - Local kids go home to use the bathroom
 - Kids in leagues that do not live here can use port-a-potty, but most people “hold it”
 - Upper Moreland teams use this field
 - Ball games can be 3-4 hours
 - Kids from outside of Willow Grove come to play here – would need restroom.
- Concepts
 - Changing station
 - Safety
 - RR open only during games
 - Have an attendant to monitor, like at Masons Mill?
 - Timed or automated locking systems
- Concerns
 - Security - the community has seen issues with behavior between 7pm and 7am

Turf field

- Facts
 - Another turf field in Upper Moreland is heavily programmed and locked when not in use
 - Charges for use of turf field
- Concepts
 - Artificial turf field – usually lit.
 - SC response: A single field might fit here, but probably not a double

Parking

- Facts
 - Church parking lot and both sides of Division Ave get parked on
 - More parking in last year or so
 - Traffic on Division Ave is wild
- Concepts
 - Slowing traffic on Division Ave – neighbors would love that.
 - SC: Goal would be to take up as little of the park as possible. Possibilities:
 - 90 degree parking off of Division Ave
 - Traffic calming
 - Raised crosswalks

GENERAL DISCUSSION

- Facts
 - Changes since building has been down (from neighbor on Forest Ave)
 - Wind has been “absolutely wild” – tunnel effect
 - More noise. Ex. Games are much more audible (isn’t necessarily a bad thing – this neighbor likes hearing the games)
- Concepts
 - Covered area for shade
 - Maintain walking path
 - Water
 - Remove existing access drive
- Concerns
 - Concerned that a community center here would mean the Woodlawn neighborhood loses its park
 - Already tough w/ through traffic
 - A structure will need parking, and any parking will make people come from outside of the neighborhood.
 - No easy way to get here except for roads with one side of parking.
 - Just structure and parking does not add value
 - SC response: The question is, is this right place for a community wide community center? We have gone over different sized buildings on the plan and what each would mean. The idea of a community center has been a conversation in the Township for years.


- Concern that the funding for this project done obtained through green space grants. A percentage needs to remain green space. Would a community center put this funding at risk of being revoked?
 - SC response: We do not think the funding would be at jeopardy – there can be enough green park space.
- Access drive along back of Forest Ave residences - people jump over fences. Everyone on Forest would love to have that drive removed so that the building and drive do not come right up to neighboring properties
 - SC response: Buffering for neighbors is important in this plan.
- Other questions/comments
 - Example in PA of an existing park like this that has a community center of a large capacity? 9 acres, fields, building, parking?
 - SC response: Probably, but do not know where. We can design anything.
 - Alternative location for community center
 - Masons Mill as a location for a community center?
 - SC response: Would need to do a feasibility study –recommended by SC 15 years ago.
 - Other potential locations for a community center
 - Office Max across from Giant
 - YMCA would have been a great location
 - YMCA runs own programs – rental of space is cost prohibitive

Upcoming Meetings

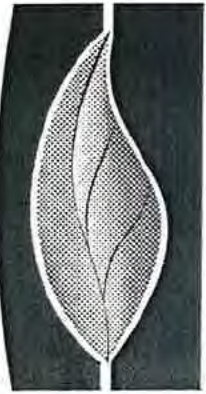
- Committee Meeting 4: Initial Concepts – Wednesday, August 24, 2022, 7:00-8:30 PM
 - Review Focus Groups and Key Person Interviews
 - Review refined concepts for presentation at Public Meeting 2
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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour



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MEETING SIGN IN SHEET

Project: Woodlawn Park Master Plan

Project No.: 21073.10

Location: Upper Moreland Township

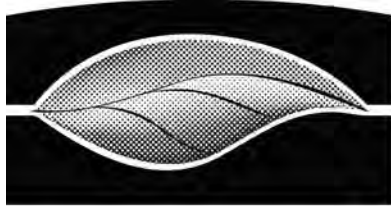
Date: 06.21.2022

Topic: Focus Group Meeting 1 – Community Center

Time: 6:00-7:00 PM

	Meeting Attendee	EMAIL	
1.	Tanya Speeth	MrsSpeeth@verizon.net	<input checked="" type="checkbox"/>
2.	Brett Guerin	brett.guerin@gmail.com	<input checked="" type="checkbox"/>
3.	Max Blanton	mblantonmail@gmail.com	<input checked="" type="checkbox"/>
4.	Mike & Nora	NMROSENBAUM85@gmail.com	<input type="checkbox"/>
5.	Nikki & Eric Macmillin	NikkiLynne.Stephano@gmail.com	<input checked="" type="checkbox"/>
6.	Ratie Hamilton	khamilton821@gmail.com	<input checked="" type="checkbox"/>
7.	Heather Liebers	heatherliebers@gmail.com	<input checked="" type="checkbox"/>
8.	Tressa McCallister	tressamccallister@gmail.com	<input checked="" type="checkbox"/>
9.	Stacy Samen	STJSEMEV@GMAIL.COM	<input checked="" type="checkbox"/>

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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
Location:	Woodlawn Park Upper Moreland Township	Meeting Date/ Time:	06.21.2022 7:30-8:30 PM
Re:	Focus Group Meeting 2 Active Sports Groups	Issue Date:	07.22.2022

ATTENDEES:

Peter Simone, Simone Collins (SC)

Sarah Leeper, SC

Michelle Armour, SC

(See attached Meeting Sign in Sheet for list of attendees)

GENERAL NOTES:

INTRODUCTION

- Peter Simone introduced members of the SC team, and attendees introduced themselves.
- Attendees were introduced to and updated on the status of the Woodlawn Park Master Plan project.
- Input from the discussion was as follows:

Basketball

- Facts
 - Not many lit courts in the area for summer leagues
 - Age range K-12
 - Almost 400 kids
 - Use of middle school gym - \$27K per year (attendee to send info to SC)
 - Pay to play (rent hourly)
 - Time frames – fall to winter, playing through 3 time periods
 - All revenue from dues, some sponsorships (no fundraising)
 - Courts are difficult to get in winter – challenges in working with school district
 - Use 2 HS gyms, MS, primary, calvary – 5 separate gyms
 - Basketball club competes with other organizations at schools
 - Karate (private org?)
 - Aftercare w/ YMCA
 - Gymnastics

- School band
- Courts behind Giant
 - Used to run CYO summer league here
 - Lights don't work
 - No neighbors there – lights would be fine
 - If renovated and lit, would be useful
- Mason's Mill has basketball and volleyball
 - Lights go off when park closes
- Scheduling is the biggest issue
 - Go school to school and get use approved
 - Use spreadsheets to organize
 - Complicated – the way school district handles schedule changes
- Dues – approximately \$140-170
- Assistance for low-income kids
- Coaches struggle with younger age groups
- Concepts
 - 2 basketball courts, lit if possible
 - A couple of benches would suffice
 - Indoor courts with 2 sideways courts
 - If had 2 gyms for exclusive use, they would be used 7 days/week
 - Basketball/volleyball combo
 - Outdoor volleyball
 - Catholic Youth Organization (CYO) currently runs volleyball
 - Upper Moreland Township does not currently have volleyball there is momentum to add it.
 - Age range 4th grade to HS
 - Would not matter where new courts are. Just need:
 - 2 courts together
 - Parking
 - Concessions
 -
 - Neighborhood courts – not sure about programmed league
 - A space not impacted by school district schedule changes

Soccer

- Facts
 - Puleggi
 - Soccer group Has keys, alarm code
 - Responsible for cleaning bathrooms
 - Field floods
 - Turf field at HS
 - Lined for eleven vs. eleven
 - Other fields are lined for nine vs. nine and eleven vs. eleven
 - Age range 5-16

- Gender ratio about 60/40 or 65/35 – male dominant
- In-house and travel groups – 2 sets of kids
- About 400 kids
- Also play in 7th – 8th grade, MS and HS
- Nights and weekends
- Season – fall (there is demand for year-round)
- Facility in Southampton
- Elkins Park – Sofive indoor soccer facility
 - Courts are the size of a basketball court
- Coaches paying out-of-pocket for facilities
- School use is primarily after school, but if they have a later game we all get bumped
- Soccer works with lacrosse – we pay year-round and lacrosse is a spring sport
- At Woodlawn – some intramural
 - Bring own goals (at MS too)
 - Practices – coaches bring own equipment
 - Kids tore up goals here, so removed them and put up pop-up goals
- Have a shed at the MS
- Concepts
 - Lights – important
 - Could fill a facility year-round (ALL sports could)

Football/Cheerleading

- Facts
 - Field at Mason's Mill is used for games only.
- Concepts
 - Field use for practice (at Mason's Mill or elsewhere) would alleviate issue.

GENERAL DISCUSSION

- Facts
 - HS baseball does not practice at Woodlawn, just plays games on Saturdays
 - School District
 - The school district has control of the schedule – first say
 - Taxpayer money went into building what the school district controls – frustrating
 - SD pays overtime to keep doors open when someone is not scheduled
- Concepts
 - Indoor storage
 - Security
 - Fencing
 - Something to deter kids from ripping up courts (like in Memorial Park)
 - SD could hire a custodian to open doors after hours – reduce cost
 - Community Center
 - Sports
 - Summer camp
 - Senior programming in mornings, youth leagues in evenings

- Concerns
 - Lights
 - Pushback on lights – no matter which sport
 - SC response: The technology is advanced. Basketball with probably not get a big pushback.
 - If there were a lit field, use would probably go until 9pm. Current HS field use is until 9:30, but there is no access before 6:30pm.
 - North Penn fields' lights were just put in. Not a beam of light was allowed outside of the track. Light pollution not a problem as in the past.
 - Mason's Mill
 - Township focus has been on township interests vs. club interests
 - Softball has asked to play at Mason's Mill, but it's reserved for bigger softball leagues
 - Football field at Mason's Mill is used for games – not allowed to practice there because of concerns over wear and tear. Low-lying, doesn't flood.
- Other questions/comments
 - What is initially happening here?
 - SC response: Soil to be put down, area seeded, complete the plan by end of year, get money to leverage with grants to go after funding
 - SC question/comment: Do the different sports groups ever get together to meet?
 - If the clubs come in as a group to BOS and coordinate your needs, maybe you represent more votes.
 - Getting the clubs together in terms of all of the needs and people being served – can show that this is important.
 - A community center is expensive
- Next Steps
 - Each org could send a letter to the township (send to Pat Stasio or to SC to share with township)
 - How many kids served
 - Cost of paying for field/court time
 - Mission
 - Numbers
 - Statistics
 - Organizational needs
 - What resources needed (be specific – lit fields, etc.)
 - Why important
 - Can have constituents' parents write testimonials to the commissioners or Pat Stasio
 - Elected officials will respond to public pressure

Upcoming Meetings

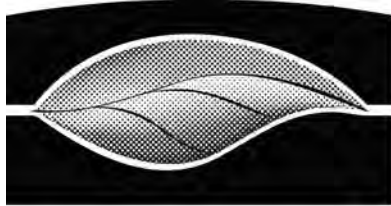
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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
Location:	Upper Moreland Firehouse Meeting Room 227 Davisville Rd, Willow Grove, PA 19090	Meeting Date/Time:	06.22.2022 5:00-6:00 PM
Re:	Focus Group Meeting 3 Teens	Issue Date:	07.11.2022

ATTENDEES:

Peter Simone, Simone Collins (SC)
Sarah Leeper, SC
Michelle Armour, SC

(See attached Meeting Sign in Sheet for list of attendees)

GENERAL NOTES:

INTRODUCTION

- Peter Simone introduced members of the SC team, and attendees introduced themselves.
- Attendees were introduced to and updated on the status of the Woodlawn Park Master Plan project.
- Input from the discussion was as follows:

Facts

- HS JV league plays there. Senior League plays there
- Outfield of baseball field is not well kept enough to play
 - People have twisted/broken ankles
- People walk dogs around the neighborhood – no place to bring them
- Basketball – drive to the clubhouse in Abington to play pickup games
 - Sometimes play at Woodlawn – don't see many people playing here
- Kids hang out at the playground at night because it is dark
- Mostly neighbors use the park, small families come from outside the neighborhood occasionally
- Sledding – very small kids sled by the tennis courts
 - People sled at the HS
- Tennis courts are not used for tennis
 - Learned to ride bike there
 - Kids play with remote cars

- Burning school papers at the end of the year
- “Tennis courts” and “basketball courts” are degraded
- Driveway
 - Illicit activity
 - Figure 8’s in parking lot
- Kids hung out at basketball courts and just sit on the court from 5-9pm. Need more comfortable seating.
- Grills at another park are deteriorated, dirty
 - Would need to be well used and maintained or don’t have them here
 - Don’t know if people will use them
- Surfaces not accessible
 - Gravel paths
 - Basketball court
- No skate parks nearby
- Kids bike to the park as young as 7 years old
- Kids ride tricycles at the park
- Path not used a lot – partly because it is tucked in being the tennis courts
- Traffic
 - Bad visibility for pedestrians at Division and Woodlawn (?)
 - Division gets most volume and speed – no stop sign in one direction
- Existing trees’ big roots – tripping hazard

Concepts

- Sports
 - Soccer net
 - Nets for all sports so that anyone can play any sports – lacrosse, field hockey
 - Unprogrammed fields
 - Turf field
 - Dugout benches
 - Place for visiting teams to put bags
 - Volleyball net
 - Better outdoor basketball courts
 - Pickleball
- Lighting
 - To use park day to night
 - Fields
 - Paths
 - Playground
 - Timing of lights to consider neighbors – when people sleep
- Area for dogs/animals
 - Dog relief area (where tennis courts are now)
 - Dog Park
- Paths/Tracks
 - Bike/trike path – wider path with a bike lane

- Places to run – trail or track (measured)
 - Put field inside of track to save space
 - Outdoor fitness stations along running path – older kids/adults (ex. Mondauk Commons Park – Upper Dublin)
 - Path winding through – extend up along the outfield and bring back down the other side of the field and wind through grass. Increase to $\frac{3}{4}$ mile
- Other recreation
 - Space for block parties
 - Cornhole
 - Skate Park
- Other amenities
 - Small building
 - Bathrooms
 - Accessible w/ sinks of different heights
 - Picnic tables
 - Covering for bad weather – pavilion
 - Comfortable seating/benches
 - Water fountains with bottle fillers
 - Bike Racks
 - Phone chargers
- Playground / younger kids
 - Bigger/better playground
 - Area for kids to play in little cars/tricycles
 - Sand pit / water table
- Hang out space
 - Where school was, near the backstop in the middle of the park
 - W/ a building next to the field on Division Ave side
- Safety
 - More private – some fencing
 - More for the community instead of random people
 - Keep visibility
 - More clearly marked crosswalks. Division Ave especially
- Large existing trees kept and better maintained
- Wind or solar energy
 - Solar panels that rotate to follow the sun
 - Solar powered lights

GENERAL DISCUSSION

- Concerns
 - No wildlife – will create holes and mess up fields

Upcoming Meetings

- Committee Meeting 4: Initial Concepts – Wednesday, August 24, 2022, 7:00-8:30 PM
 - Review Focus Groups and Key Person Interviews

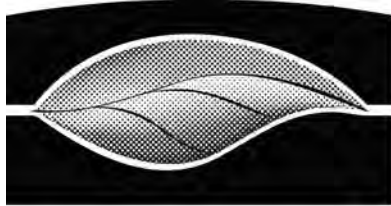
- Review refined concepts for presentation at Public Meeting 2 T
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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour



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119 EAST LAFAYETTE STREET NORRISTOWN, PA 19401
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WWW: SIMONECOLLINS.COM

MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Upper Moreland Firehouse Meeting Room 227 Davisville Rd, Willow Grove, PA 19090	Meeting Date/Time:	06.22.2022 6:30-7:30 PM
Re:	Focus Group Meeting 4 Adjacent Neighbors	Issue Date:	07.05.2022

ATTENDEES:

Peter Simone, Simone Collins (SC)
Sarah Leeper, SC
Michelle Armour, SC

(See attached Meeting Sign in Sheet for list of attendees)

GENERAL NOTES:

INTRODUCTION

- Peter Simone introduced members of the SC team.
- Attendees were introduced to and updated on the status of the Woodlawn Park Master Plan project.
- Input from the brainstorming session and general discussion were as follows:

Attendees were asked to first focus on potential positive things that might result from a new park.

POTENTIAL POSITIVES

- More green
- New and better walking trail
- Community involvement
- Better functionality
- New playground
- Accessibility –walk, bike, wheelchair, access to playground
- Well-maintained space
- Removal of driveway (behind Forest Ave residences)
- Parking lot
- Restrooms
- Improvement of fencing currently around the site

- People-only zones (create dog-only zones)
- Safety
 - Space for all ages
 - Lighting
 - Visibility of anything that will attract people
 - Better security
- Events and activities
- Better basketball courts
- Better fields (soccer, baseball)
 - Lighted

Next, attendees were asked to discuss potential negatives from a new park.

POTENTIAL NEGATIVES

- Traffic
 - Attracting traffic from outside
 - Dangerous driving
 - Ex. Nobody stops at stop sign at Woodlawn Ave and Silver Ave
 - Parking issues
- Light pollution
- Noise pollution
 - Dog park on the other side of neighbors' fences
 - Late night sports
- Loss of green space
- Fireworks – unofficial
- After-hours use
 - Need to enforce a curfew – give neighbors down time from activity
 - People currently go in at night
- Lighting after hours
 - Resident's bedroom faces basketball courts
 - Light shining in window or being too bright
- Environmental impact on neighboring properties
 - Ex. Water runoff – water in basements (residents who live on Woodlawn)
 - Ex. Development of existing tennis courts has caused flooding in neighbors' basements
- View obstruction
 - Losing view of nice sunsets, stars
- Crime
 - Restroom building - will need police presence
 - Currently is drug use in neighborhood
 - Drug activity - teenagers
- Litter/trash
- Parking too close to houses
- Oversized community center
- Turf field that needs to be locked – taking up green space and locking park users out

- Lack of maintenance
 - Ex. Fence to Forest Ave was falling apart and was not fixed until a car ran into it
 - Ex. Graffiti
 - Ex. Playground equipment
 - Ex. Broken picnic table with nails sticking out
 - Ex. Dead trees on property (Woodlawn Ave)
- Redirecting traffic
 - Parking on both sides
 - Changing direction of traffic
- Changing from neighborhood park to a community-wide destination

CONCEPTS

- Trails/Paths
 - Decent walking trail around the park
 - Bike trail for kids to ride big wheels and bikes
- More connection to nature
 - Nature trail
 - Bird watching
- Plant trees where the school building was
- Woody's Fishin' Hole, Part 2 (Mason's Mill Park)
- Sports/Active Recreation
 - Baseball – keep field and put teams on it
 - Soccer – bring club back
 - Basketball
 - Relocated (and use current area for parking)
 - Different height basketball nets / adjustable nets
 - Pickleball
- Other recreation
 - Foursquare
 - Bocce – activity for adults
 - Cornhole
 - Chess tables
 - Outdoor laser tag
 - Outdoor fitness stations – equipment and queues
 - Rock wall (playground)
 - Sledding in winter (ramp to get back up hill)
 - Turf field with track around it to kick ball around
- Playground
 - Updated playground
 - Move playground toward street for better monitoring
 - Even just out or down a little bit – currently in a dip
 - Shade over playground
 - Inclusive play equipment
- Picnic area/pavilion

- Small pavilion for tables/shade
 - Grills
- Teenagers - space for older middle schoolers/younger high schoolers (tweens/teens hang out space)
- Sprinkler/spray pad
- Beer garden
- Dogs
 - Dog space
 - Dog/people hang out space
- Open space – unstructured
- Water refill station
- Benches
- Keep park how is, but with improvements

CONCERNS

- Nature space is good, but may attract more critters
- Need to prioritize updates for adjacent neighbors as process goes on
 - Property lines, survey
- Do not want a pool – only use for 3 months of the year
- With added activity/programming and possibility of people coming in from outside of the community, increased security presence needed – patrols, monitoring
- Rental space – when rented out, the space will restrict use for neighbors who use the park daily– maybe not the best place for rentals. Other parks are better suited – Mason’s Mill and Lorimer
- Make path flatter so people can ride scooters – gravel is not easy
- Clear sight lines through the park
- Funding – what are taxes going to do and where does the other money (besides grants) come from?
 - SC response: Unlikely that these improvements alone would drive up taxes. Where this fits into the list of priorities is based on what the community wants.

GENERAL DISCUSSION

- Any talk of bumping out the grade with a retaining wall to increase level space (on Woodlawn Ave side)?
 - SC response: This would add expense.
 - SC response: There is an opportunity to use the grade change creatively for the play area.
- How long will this take?
 - SC response: The plan will be done end of year. Commissioners will decide whether to adopt the plan. The first round of grants could be Spring of 2023, with additional grants in 2024. We could see some improvements in 2025 (at the earliest). This will probably be done in phases.
- Demolition cleanup, putting down soil and seeding – timetable?
 - SC response: Not sure, but our guess is in the next several weeks.
- There is no street lighting on Woodlawn from the driveway to Division Ave. Used to be lit by the school. When will new lighting go in?
 - SC: Not sure, but we will investigate it and take that into consideration.

Upcoming Meetings

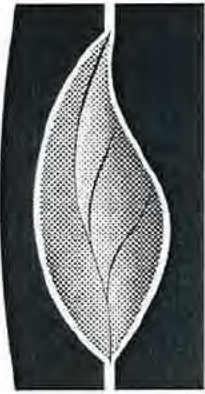
- Committee Meeting 4: Initial Concepts – Wednesday, August 24, 2022, 7:00-8:30 PM
 - Review Focus Groups and Key Person Interviews
 - Review refined concepts for presentation at Public Meeting 2
- Public Meeting 2: Initial Concepts – Wednesday, September 14, 7-9 PM

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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour



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150

MEETING SIGN IN SHEET

Project: Woodlawn Park Master Plan

Project No.: 21073.10

Location: Upper Moreland Township

Date: 06.22.2022

Topic: Focus Group Meeting 4 – Adjacent Neighbors

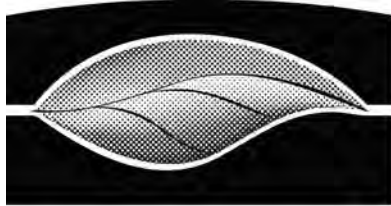
Time: 6:30-7:00 PM

Meeting Attendee	EMAIL	
1. Andrea + Nicole Bartels	Abartels412@gmail.com	<input type="checkbox"/>
2. David + Marianne Watson	mswatson481@gmail.com	<input type="checkbox"/>
3. Ed + Janea DeBarnes	edwinbarnes1947@gmail.com	<input type="checkbox"/>
4. Dan Loney	darloney21@gmail.com	<input type="checkbox"/>
5. Steve Seman	STSEMAN@GMAIL.COM	<input type="checkbox"/>
6. Kourtie Hamilton	khamilton821@gmail.com	<input type="checkbox"/>
7. Sandra Kaufman	theKaufmans4@gmail.com	<input type="checkbox"/>
8. Ted + Doreen Eagles	Tede1852@yahoo.com	<input type="checkbox"/>
9. Kevin O'Connor	K-oconnor44@yahoo.com	<input type="checkbox"/>

	NAME	EMAIL	
10.	Janet Jensen	308 Forest Ave W.G.	<input type="checkbox"/>
11.	JOHN STEVENSON	310 FOREST AVE W.G.	<input type="checkbox"/>
12.	Guy + Jaetue Pimang	502 DIVISION AVE	<input type="checkbox"/>
13.	Megan Sichen	346 Forest Ave	<input type="checkbox"/>
14.	Rebecca + Alex Hiele	405 Woodlawn Ave	<input type="checkbox"/>
15.	Nikki + Eric MacMillin	344 Forest Ave	<input type="checkbox"/>
16.	Linda McManis	306 Woodlawn Ave (lmcmanis@gmail.com)	<input type="checkbox"/>
17.	STEVEN DENARECO	306 Woodlawn Ave	<input type="checkbox"/>
18.	Yari Alvarado	217 Abbeyview Ave yariavarado123@gmail.com	<input type="checkbox"/>
19.	Lauren + Brian Heegard	320 Woodlawn Ave laurenkelly914@gmail.com	<input type="checkbox"/>
20.	Liz Beckowski	401 Woodlawn Ave	<input type="checkbox"/>
21.	James Koch	403 Woodlawn Ave	<input type="checkbox"/>
22.	Joelyn Nulley	312 Forest Ave	<input type="checkbox"/>
23.	Brian Heegard	320 Woodlawn Ave	<input type="checkbox"/>
24.	Julie Hood	THE 504 DIVISION	<input type="checkbox"/>
25.	ALTHEA SCOTT	210 ABINGDON	<input type="checkbox"/>

Willow Grove Bible Church 212 Everett Ave.

NAME	EMAIL	
26. Jen & Brad Todd	bradto1d5@verizon.net	<input type="checkbox"/>
27. Tracy DiStefano	tracys1d15@hotmail.com	<input type="checkbox"/>
28. Nick DiStefano		<input type="checkbox"/>
29. Bill Webb	IRISHWEBB2082@yahoo.com	<input type="checkbox"/>
30. LAURIE CHANG	lhmKwang@comcast.net	<input type="checkbox"/>
31. John + Claudia Larkin	CLARKIN1111@gmail.com	<input type="checkbox"/>
32. Karen + Rick Hayward	RICK@billowgraceweb.com KARHAY020@gmail.com	<input type="checkbox"/>
33. Shanelle Uelli	shanelle7483@yahoo.com	<input type="checkbox"/>
34. Katrina Weiss	KK01Kmeier@icloud.com	<input type="checkbox"/>
35.		<input type="checkbox"/>
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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
Location:	Upper Moreland Township Meeting Room 117 Park Ave, Willow Grove, PA 19090	Meeting Date/ Time:	08.24.2022 7: 00-8: 30pm
Re:	Steering Committee Meeting #4	Issue Date:	xx.xx.2022

ATTENDEES:

Anthony Benvenuti, Steering Committee
Michael Chauveau, Steering Committee
Jeff Herb, Steering Committee
Chuck Jones, Steering Committee
Mary Meister, Steering Committee
Phil Strybuc, Steering Committee
Dean Swedberg, Steering Committee
James Torpey, Steering Committee
Barbara Tuck, Steering Committee

Pat Stasio, Steering Committee
Matt Candland, Township Manager
Kip McFatridge, President, Board of Commissioners
Steve Semen
David Watson
Sandra Kaufman
Peter Simone (PS), Simone Collins (SC)
Sarah Leeper (SL), SC
Michelle Armour, SC

GENERAL NOTES:

- PS reviewed the master planning process and project schedule; presented an update on the public input process, including public meeting #1, focus group meetings, and key person interviews, and public opinion survey responses to date; and presented the draft park mission statement, encouraging the committee to share any suggestions for edits.
- SL presented programs elements being considered for the park and the design standards that inform concept layout. SL then reviewed 4 alternative initial concepts for Woodlawn Park.
- The meeting opened up to open committee discussion:
- Attendee: Was there anything in adjacent neighbors meeting - adamantly for or against any ideas?
 - SC: More so about the scale of a community center – concerns about it being too big, or creating too much traffic. Some people at the meeting did not want a community center, but not consensus. Concerns about security, traffic in general.

- Attendee: Concept 4 – what is the circuit run on the loop trail?
 - 0.32 miles
- Attendee: Could a splash pad be placed into concept 4??
 - Yes, it could.
- Attendee: Any possibility of going into one plateau?
 - Not likely. Even two plateaus would require a lot of earth moving. The goal is to balance earth as much as possible. Also, cost is a consideration in grading. We will likely make modifications as the design is refined.
- Attendee: Regarding looking for a new ball field – there is no soccer in these concepts. Does that mean we do not need another soccer field? Community center?
 - Baseball was a pressing need. The Township is also looking for another location for a 90' field. But not looking for a community center location (cost prohibitive)
- Attendee: There is a need for security cameras.
 - Neighbors bring dogs in here and people call to complain
 - People drive four-wheelers
 - Metal detectors and digging
- Attendee: Need space for pickup games – soccer, etc.
 - A couple of the concepts have large lawn that would accommodate pickup games.
- Attendee: Concept 2 – The courts are close to residences, concerning for neighbors. (Attendee Likes the driveway circle)
 - The concept includes berms to buffer residences from the court area. Also, the courts in this concept can be moved to the left, away from residences.
- Attendee: What did neighbors think of lighting?
 - Not so much in favor of field lighting, but open to path, courts, playground lighting.
- Attendee: Concepts 3 and 2 should be combined. Place community center into concept 3 at number 7 and move playground to bottom left.
 - Attendee: Concept 4 is least useful – throw it out. Survey says community wants more activities, and concept 4 doesn't seem to provide that.
- PS: Maybe we carry two plans into the final report – one with a ball field, one without. Another option – carry one plan that has a “baseball goes away” option.
- Attendee: Baseball field – in most of the township, families have a field that they can walk to. If you take this field away, this neighborhood does not have a field to walk to.
- Attendee: Can you show a concept with a ball field and community center for the public meeting?
 - PS: We would rather not. We will likely show these plans and have the public place stickers to “vote” on their favorite plans.
- PS: 14K SF building does not fit the bill for a community-wide community center. BOC also must give direction – availability of funds, etc. – to create a plan that is realistic
 - \$250/SF cost for community center, approximately
- Attendee: Concept 2 – The overlook over the lawn – what if the community center is overlooking a baseball field, so that the field could be an open field for concerts and pickup games as well.
- Attendee: Commissioner standpoint – Concept 4 scares me. This could bring highest amount of people from the area, if it becomes a really nice park with no permits for fields. We use the 75%

rule to control people; 75% rule – they get first crack at the space. Masons Mill requires no permits, so it got overwhelmed – we had to put police in. Neighboring areas come in when they find a nice park to come to. People parking everywhere, not residents. A nice place that is wide open here could create the same problem that we have at Masons Mill.

- Attendee: Woodlawn Park is in a neighborhood. Masons Mill is not in a neighborhood – you must drive to get to it. Would Woodlawn really attract so many people from outside?
- Attendee: Masons Mill grew when social media came up
- Attendee: I agree – if this gets “gussied up” it will pull out crowds.
- Attendee: Church congregations come to masons mill on Sundays and inundate the park
- Attendee: Masons Mill parking is very different.
- PSt: There are solutions that we can come up with.
- PS: Concept 2 is also a passive concept. We would not expect this to attract people from distances. We need to be careful about saying, “Don’t make it too nice or too many people will come.” This neighborhood deserves a nice park. I understand the concern, but not sure I share it.
- Attendee: The commissioners’ whole reason for buying this ground was to build a community center, years ago. The board composition has changed. We thought we were going to get a Willow Grove day camp where the YMCA is, so we didn’t go for it, but that became too expensive.
- PSt: We need to get away from community center and call it a recreation center.
- PS: Maybe we do away with the image of the large center – it is not even in the cards. Is the committee okay with that? [Attendees were generally in favor.]
- Recreation Center:
 - No 40K SF building; 13-15K SF at most
 - Court, kitchenette, classrooms, township needs
 - Ball field and rec building – combine 2 and 3
 - Rec center as a place that committees and teams can meet without renting spaces or being stuck in a basement. A center for space to have meetings.
 - Maybe a \$mil rec center
 - Commissioners have a previously finished drawing for a center. 2 indoor courts, 3 meeting rooms.
 - Summer camps
 - Supervised playground
 - They all go to elementary school complex. 4 groups – one goes to intermediate school, three go to elementary school complex.
 - Numbers – 240
 - Use pool at MS or negotiations with swim club
 - Intrigued by baseball/rec center combo. Parking req’s?
 - 1 space per 250 SF – but needs to be on site. Would need a SALDO/zoning variance. A ball game and rec center use at the same time might stress the parking
 - Too much parking would affect neighbors’ lives
- One way on Woodlawn –

- Attendee: Some houses have no driveway; use on street parking
 - SL: The concept adds about 15 extra spaces
 - PS: Maybe we look at pushing into the park and keeping parallel parking
 - Attendee: I like one way, safer
- Attendee: Concept 2 – Rec building – Would it make sense to push it out towards Woodlawn Ave to move the building away from residences?
 - It could shift.
- Earth berming
 - Attendee: Will adjacent neighbors still have access to the park (especially regarding houses on Forest)?
 - SL: Yes. For example, a mowed buffer around a berm – so residents can still walk around it.
 - PS: The Township can talk to neighbors to see who wants buffering
 - Attendee: I like being able to see into the park to watch my kids.
- Attendee: Splash pad – what are the maintenance requirements?
 - Would likely be a pass-through system (less maintenance vs. recirculated)
- PSt: Concept 2 – I am interested in using natural terrain in playgrounds – would be a nice, new, attractive amenity. I like buffering and passive areas - number of trees, levels of terrain. Pleasant, environmentally friendly.
- Attendee: Has the walkway to Forest Ave been considered at all? To be redone?
 - Considering widening to 8 feet (if not already there).
 - Attendee: Lighting (that does not go into neighbors' houses)?
 - PS: We would advocate for path lighting
 - PSt: The park is open sun rise to sun set
 - PS: Maybe the township needs to reconsider that. The more people use the park, the safer it is.
 - PSt: Ordinance – All parks are dawn to dusk, except those areas lighted for specific activity.
 - PS: Perhaps walking paths could be considered a “specific activity”
 - Attendee: My teenaged daughter and her friends sit on the unlighted basketball court and use their phones to light it. Would rather she sit in a lighted area.
- Attendee: Happy to see no dog park.
 - PSt: This issue comes up with the Board every few years.
 - SL: It has come up in public meetings. Something for the board to realistically consider – not a dog park here, but the ability to walk a leashed dog through on the walkways.
- SC/Township not to share concepts/presentation generally with the public until the next meeting so that the public can see it with the commentary for context.

Next steps

- Meeting notes and agenda to go out for public posting to website.

Upcoming Meetings

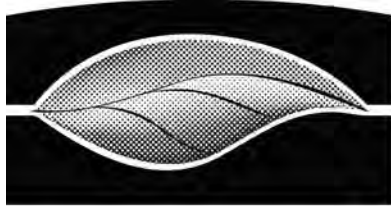
- Public Meeting 2: Initial Concepts – Wednesday, September 14, 7-9 PM
- Committee Meeting 5: Draft Master Plan – Wednesday, October 5th, 7-8:30 PM

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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
	Upper Moreland Township		
Location:	Meeting Room	Meeting Date/	09.14.2022
	117 Park Ave,	Time:	7:00 – 9:00 PM
	Willow Grove, PA 19090		
Re:	Public Meeting #2 – Initial	Issue Date:	xx.xx.2022
	Concepts		

ATTENDEES:

Sarah Leeper, RLA, Simone Collins (SC)

Michelle Armour, SC

Jack Nichols, SC

See attached sign in sheet.

NOTES:

1. Sarah L. reviewed the master plan process. Michelle A. reviewed a summary of the public process to date.
2. Sarah L. presented overall program elements being considered, and four (4) initial concepts for park layout.
3. The public was encouraged to ask any questions to clarify the concepts:
 - a. Regarding Concept 2, an attendee asked if residents along Woodlawn Ave. would be competing for the 45 angled parking spaces on Woodlawn Ave. Sarah L. noted that the spaces would be open to both residents and park users. Parking may be difficult at times during peak times and/or during events, but SC will confirm that this option adds more parking spaces compared to existing conditions.
 - b. An attendee asked about lighting in each of these concepts. Sarah L. spoke about the possibility of timed lights on the basketball courts and low lighting along the walking paths, both to extend hours of park use in the winter months and to help with wayfinding through the park. Sarah noted that the idea of field lighting has come up; that modern lighting makes it possible to light a very focused area and avoid light spill-over into neighboring properties, but the lights would still be visible, and some neighbors have concerns about this so it is unlikely that field lighting would be pursued.
 - c. Regarding Concept 2, a resident from Krewson Terrace expressed concerns about changing Woodlawn Ave to a one-way street: traffic may be redirected up Krewson Terrace, many children live on and play in the street, poor sight lines. Sarah L. clarified that this design is conceptual, and that changes to

traffic would not come to fruition without a traffic engineer conducting a traffic study to understand the impacts and safety concerns.

- d. Regarding Concept 2, a resident from Krewson Terrace expressed concerns about narrowing Division Ave, and pointed out that because of the slope, there is a blind spot on Division Ave between Abbeyview Ave and Woodlawn Ave. Sarah L. explained that the road would be 20' across, accommodating two 10' travel lanes – a width similar to a typical lane on township roads. The raised crosswalks would further serve to slow traffic. As for sight lines, any changes would need to accommodate sight lines, and they would be looked at closely by a traffic engineer should the option be implemented.
 - e. A resident asked if the parking could be placed in the park itself. Sarah L. explained that this has been discussed during early input sessions, and that some parking may be placed in the park for the final design. However placing the total amount of parking needed for this design (parking spaces, driveways, travel lanes) would take up a large amount of space.
 - f. Regarding planting buffers, an adjacent neighbor asked if the buffers would prevent neighbors from being able to access the park directly from their back yards. Sarah L. explained that one-on-one conversations between the Township and individual neighboring households would serve to clarify what kind of buffers each neighbor would like: for example, maintaining an open view and access to the park through a few shade trees and mown area.
 - g. An attendee asked when the one-on-one conversations would happen. Sarah L. explained they would happen during Design and Engineering, which would likely take place late 2023-early 2024 at the earliest.
 - h. An attendee asked if these concepts are drawn to scale. Sarah L. clarified that they are all drawn to scale.
 - i. An attendee asked if trees on the site will be maintained by the Township. Sarah L. responded that, yes, one of the aspects of the Master Plan report will include the required Township maintenance and associated costs, as well as recommendations for security concerns.
4. Attendees were each given two sticker “dots” and invited to place them on their favorite concepts – whether placing both on one favorite or dividing them between two different concepts. The order of concepts from most to least number of stickers was as follows: 4 (in a clear lead), 1, 3, 2. Comments from attendees regarding their likes and dislikes about specific concepts followed.
5. Concept 4
- a. Likes
 - i. No basketball court by our back yard (Forest Ave)
 - ii. Looks natural
 - iii. not invasive to the neighborhood in regards to parking
 - iv. Community center is a great idea, but not in this residential area
 - v. Maintains the structure (topography) of the park
 - vi. Lawn spaces – can see my son with a soccer ball
 - vii. Low parking demand
 - b. Dislike
 - i. Too passive, not enough flexibility of use

- ii. Not enough going on in the park
- iii. Like this concept, but the playground is too nestled in, isolated, not visible – keeps it in the same situation as current condition which is problematic for surveillance

6. Concept 1

a. Likes

- i. Bridges the gap between sports, children, other programs. Building is appropriate size for the site.
- ii. Like 1 and 4, but 1 seems to have more to do. Like open areas in 4, but a little too “sleepy”

b. Dislikes

- i. Baseball doesn’t get that much use year-round for it to dominate the park.
- ii. Placement of baseball field - looks massive and too close to houses. Also, concerns about field lighting being an issue for people who live there. (note field lighting is not being recommended)

c. Questions/Comments:

- i. How large is the building in concept 4 be? For example, could you take concept 4’s building and place it in concept 1?
 - 1. Sarah L.: To add the recreation center to all other elements in Concept 1, there would need to be parking along the street / edges of the park as it could not all fit within the park.
- ii. In this, and all concepts with a baseball field, what is being done to protect residences from baseballs?
 - 1. SC is providing a larger outfield than currently exists. The setback from the back fence of the field to adjacent back yards is an additional 50’. Also the new orientation, will help to reduce chances of foul balls going onto Division. This concept moves the ball field further from back yards than the current field.
 - 2. Pat S.: Regarding the distance of ball field from homes, the ball field is 380’, and the buffer is an additional 50’, which makes 430’. Very few major leaguers hit the ball 400’, so this will certainly contain the balls.

7. Concept 2

a. Likes

- i. Aesthetically pleasing, walking trails, no baseball field, recreation center would benefit community, programming. Could use another open field space. Not as passive as 4, and a lot that the community can take advantage of.
- ii. Like the ideas in this concept, not necessarily the configuration
- iii. Splashpad, rec center, parking in park for good access

b. Dislikes

- i. Playground too close to street
- ii. Basketball court too close to backs of houses
- iii. Woodlawn as a one-way street

- iv. Neighborhood rec center – traffic, and area is too small. Would be better at Pileggi Park – more space and buildings already there.
- v. Parking on Woodlawn Ave.
- c. Questions/Comments
 - i. Sarah L.: The idea of moving the basketball courts in this concept back out toward the street has come up in Committee discussions.
 - ii. Woodlawn as a one-way street
 - 1. Presents a challenge. Woodlawn and Silver is a crazy intersection as is. Even if one-way in the other direction, would present a challenge.
 - 2. Challenging to bus traffic. Division and Woodlawn are both on school bus routes.
 - 3. Woodlawn and Silver, cars get hit.
 - 4. Woodlawn and Silver is not a 3-way stop.
 - a. Sarah L.: Maybe a recommendation for the Township would be to look at the possibility of putting in a 3-way stop.
 - iii. Regarding a community center, a resident expressed objection to the idea of creating a destination here, and that this should be a neighborhood park.
 - 1. Sarah L: To clarify, a **neighborhood recreation center** (vs. a community center), would have low-impact, very specific programming targeted to the community. Not an all-day in-and-out of traffic, and not during peak hours. For example, adult evening programming or morning senior programming.
 - iv. A resident asked if it was considered to carve out more area from the green space to create room to pull the parking on Woodlawn Ave further off the street to maintain two-way traffic.
 - 1. Sarah L.: Yes, but as it pulls into the site, there is more need for a retaining wall to hold back the grade which would increase cost.
 - v. Regarding site access, an attendee expressed concern about the impacts of this concept on traffic on Forest Ave. The recreation center and court area are close to the Forest Ave entrance. Forest Ave is 2-way, cars park on both sides. A traffic study was done in the last few years because people fly around the blind curves. Neighbors from Forest Ave are very concerned about increased traffic and parking.

8. Concept 3

- a. Likes
 - i. Keeps baseball field, playground and pavilion together
- b. Dislikes
 - i. Basketball too close to houses
 - ii. Playground area too close to street
- c. Questions/Comments
 - i. A resident likes the idea of keeping a baseball field, but expressed concern about how much room it takes.

1. Sarah L. explained that in this concept, the area past the outfield slopes down to the field, so when the field is not in use it could be seen as an open lawn with a southwest-facing slope for people to sit out on a nice day.

9. General Questions/Comments

- a. A resident noted that the baseball field is well-used and asked where player would go if the field here is removed.
 - i. Sarah L.: The Draft Plan will likely show two alternatives – one with the baseball field in a place that does not prevent the rest of the park from being developed, and then one without the field in the case that the Township finds an alternate location to replace it.
 - ii. Pat S.: Regarding the baseball field at Woodlawn Park, it is permitted April-June every day of the week (not used every day). Used most days in April. When the season starts, it is not used when there are away games. Later in the year (late May/early June), Warriors play 1-2x/week. In the past, during the fall, soccer used the field heavily; however, with the development of the synthetic field they have been using it less. Baseball is asking for permits for fall use of this field in the fall. Upper Moreland is short one (1) 90' baseball field according to national standards, and there is no 70' baseball field. Certainly, the Township need fields. If this field goes away, we need to find another location for it.
 - iii. Sarah L.: The skinned infield in these concepts could accommodate different sized basepaths.
 - iv. Pat S.: This field could accommodate soccer.
- b. Sarah L. explained that the orientation of the baseball field is placed per Department of Conservation and Natural Resources (DCNR) design standards, since the Township will be pursuing DCNR funds for this park. Once in design and engineering, there is some flexibility to shift things slightly to accommodate park design.
 - i. Pat S. noted that the Township just received a \$200K grant from DCNR for the purchase of the Woodlawn Park property.
- c. An attendee stated that the basketball courts never seem to be used. Another attendee stated that he and others do use it – perhaps not all three courts are needed for current use. Pat S. noted that these courts are not in good condition, and that if they were redone, they would likely see more regular use.
 - i. Sarah L. explained that if basketball is to be here, a recommendation would be to explore multi-use courts to maximize usefulness. For example, overlaid deck hockey. An attendee noted that hockey would extend usefulness of the courts into the wintertime.
- d. An attendee expressed surprise at the absence of dog-centric spaces in all concepts, considering community interest.
 - i. Sarah L. explained that any area less than two (2) acres would not suffice for a dog park and could become a maintenance issue, so Woodlawn Park is not an ideal location for one. A valid conversation to have with Township officials may be to explore the idea of allowing dog

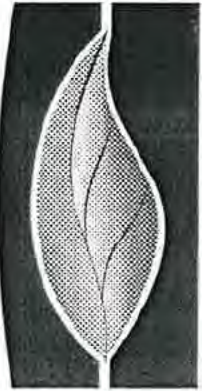
owners to walk their leashed dogs through the park (though this issue is out of the scope of this master plan).

- e. Regarding the pavilions/restrooms with concession stands, and attendee asked how the plans are being built and maintained.
 - i. Sarah L.: They are built into building costs for development, and then typically run by organizations who are using them. Some situations, there may be a township representative running a concession stand, but for the most part this would be done by youth groups as a fundraiser.
- 10. Attendees were each given one more sticker dot of a different color to place on their favorite concepts, post conversation, to either reinforce previous favorites or to change decisions.

This report represents the Professional's summation of the proceedings and is not a transcript. Unless written notice of any correction or clarification is received by the Professional within ten days of issue, the report shall be considered factually correct and shall become part of the official project record.

Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE


Sarah R. Leeper, RLA, ASLA
sleeper@simonecollins.com



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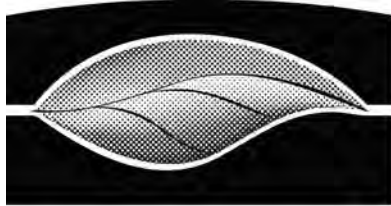
MEETING SIGN IN SHEET

Project: Woodlawn Park Master Plan Project No.: 21073.10
Location: Upper Moreland Township Date: 09.214.2022
Topic: Public Meeting 2 - Concepts Review and Feedback Time: 7:00-9:00 PM

ATTENDEE	STREET ADDRESS	EMAIL
1. Andrea Bartels	304 Woodlawn Ave.	ABartels412@gmail.com <input type="checkbox"/>
2. Nicole Bartels	304 Woodlawn Ave	nbartels17@gmail.com <input type="checkbox"/>
3. Steve Somer	108 FURRETT	STEVEN@GMAIL.COM <input type="checkbox"/>
4. Brian B. Blanton	342 Forest Avenue	bblanton@comcast.net <input type="checkbox"/>
5. David Forlini	520 Schoolhouse Ln	DAVE4L1N10 Comcast.net <input type="checkbox"/>
6. AnnMarie Mayan	81 Lookout Ln	amfmayan2@gmail.com <input type="checkbox"/>
7. Janet Jensen	308 Forest Ave	<input type="checkbox"/>
8. Vonn Jensen	1112 12th	normj62@verizon.net <input type="checkbox"/>
9. Max Blanton	412 Valley View Rd	mblantonmail@gmail.com <input type="checkbox"/>

NAME	STREET ADDRESS	EMAIL
10. DAVID WATSON	304 Forest Ave	watsondavid258@gmail <input type="checkbox"/>
11. Monique Watson	304 Forest Ave	<input type="checkbox"/>
12. Meg Holscher	3209 Blair Mill Rd	meg.s.holscher@gmail.com <input type="checkbox"/>
13. CHERYL LOCKARD	3925 REDWATER RD	LOCKARD@UPPERMEREIND.ORG <input type="checkbox"/>
14. Joe & Elaine Lockard	522 School House Ln	egleibs@comcast.net <input type="checkbox"/>
15. Jackson Bailey	912 Forest Ave	mayer-jackson@gmail.com <input type="checkbox"/>
16. Megan Gladner	346 Forest Ave	megan.schae@gmail.com <input type="checkbox"/>
17. John & Virginia Matthews	201 EVERETT AVE	Vamathews@GMAIL.COM <input checked="" type="checkbox"/>
18. Diana Lineback	18 Overlook Ave	dianaread6@aol.com <input type="checkbox"/>
19. GARY COLLEN	50 NIM ST	<input type="checkbox"/>
20. Rebecca Hiele	405 Woodlawn Ave	Rbexter@aol.com <input type="checkbox"/>
21. Alex Hiele	405 Woodlawn Ave	Alexhiele@aol.com <input type="checkbox"/>
22. David & Diane DeBalko	509 Manor House Lane	diane@deballophoto.com <input type="checkbox"/>
Harry & Jane George	510 Manor House Lane	<input type="checkbox"/>
24. LAURIE CHANG	316 FOREST AVE	1245 <input type="checkbox"/>
25. Phil Stan	535 School House LN.	PL1834@yahoo.com <input type="checkbox"/>
265		<input type="checkbox"/>

NAME	STREET ADDRESS	EMAIL	
27. Constantine Woznyj	501 Woodcrest Rd		<input type="checkbox"/>
28. Matt Cradley	117 P. M. Dr		<input type="checkbox"/>
29. Rick Witzel	177 Cambridge Ave		<input type="checkbox"/>
30. Lisa Mitchell	"		<input type="checkbox"/>
31. Denise Mottola	320 Kewson Terrace		<input type="checkbox"/>
32. Ellen McGrother	412 Woodlawn Ave	emcgrother@tsnai.com	<input type="checkbox"/>
33. Murren Wank	210 Lawton Rd		<input type="checkbox"/>
34. Tom Hasan	720 N. York Rd 19090	tomhasan@gmail.com	<input type="checkbox"/>
35. Monica + Art Marlin	402 Greenhill Rd W6	Mouser1216@gmail.com	<input type="checkbox"/>
36. Sandra Kaufman (attended virtually)			<input type="checkbox"/>
37.			<input type="checkbox"/>
38.			<input type="checkbox"/>
39.			<input type="checkbox"/>
40.			<input type="checkbox"/>
41.			<input type="checkbox"/>
42.			<input type="checkbox"/>
43.			<input type="checkbox"/>



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.10
Location:	Upper Moreland Township Meeting Room 117 Park Ave, Willow Grove, PA 19090	Meeting Date/ Time:	10.05.2022 7: 00-8: 30pm
Re:	Steering Committee Meeting #5	Issue Date:	xx.xx.2022

ATTENDEES:

Matt Duffey, Steering Committee	Pat Stasio (PSt), Steering Committee
Jeff Herb, Steering Committee	Nick Scull (NS), Township Manager
Chuck Jones, Steering Committee	Katie Kollar, Parks and Recreation
Annmarie Mangin, Steering Committee	Jennifer Hartigan
Phil Strybuc, Steering Committee	Marianne Watson
Dean Swedberg, Steering Committee	Peter Simone (PS), Simone Collins (SC)
James Torpey, Steering Committee	Sarah Leeper (SL), SC
Barbara Tuck, Steering Committee	Michelle Armour, SC

GENERAL NOTES:

- PS reviewed the master planning process and project schedule.
- SL presented an update on the public input process, including the public opinion survey responses (survey closed on 10/1); public meeting #2 feedback and discussion; and the park mission statement. SL then presented a Pre-Draft Plan for Woodlawn Park.

Open committee discussion

- Committee Member (CM): Out of the initial four concepts, there were things we liked and did not like about each. You listened – thank you. I like that there is a baseball field and rec center. This solves the problem of people in the township not knowing where to meet. Providing shade for community events would be great. Nailed it!
- Recreation center building
 - PS: Typically, with a building like this, we would provide a restroom that is accessible from outside of the building when it is closed.

- CM: Grading for the rec center – can you clarify?
 - SL: Parking lot is higher than the “green” on the other side of the rec center building (#5). The building would read as 2 stories from all sides.
 - CM: What is the grade on the sled hill?
 - SL: There is a 10-12 foot drop graded out at a 3:1 slope so it can be mowed.
 - PS: At the concept level, this is preliminary grading if the design were to advance there would need to be minor adjustments to balance cut and fill.
- CM: Parking lot to accommodate spaces required for the building size?
 - SL: Yes.
- CM: What will be in the rec center?
 - SL: This building could accommodate a multipurpose room (1 or 2), gym (full court w/ courts going across), first aid, office, storage for gym (no locker rooms), restrooms.
- CM: Princeton University has buildings with green space on rooftops – it is great. Space to allow people to sit and overlook the park.
 - PS: We should explore and include in master plan as an idea. They often get value engineered out, but it is a great idea.
 - CM: Nice plantings with glass around the edge of the roof so that people have a view out.
- CM: When do we start to see architectural plans?
 - PS: Our next step is to coordinate with the Architect to develop refined floor plans and conceptual elevation for the public meeting.
 - PSt: SC’s charge is to design the MP; then it is up to the board to move the plan forward.
 - PS: Bulk grading all in first phase – earth moving, fields, facilities. Maybe building is second phase.
- CM: In a 15K SF building, how will basketball ball be laid out?
 - SL: One tournament style with two cross courts.
 - CM: Why not go straight across where #3 is to get two courts in?
 - SL: That would require more parking spaces. If the rec center grows too large it does not fit on the site anymore.
- CM: Is a kitchenette part of this plan?
 - SL: Yes, that’s part of the discussion.
- CM: What is #3 next to the building?
 - SL: Seating area for gathering and not being right in the parking lot (ex. gather, read a book, garden space). Visually permeable metal fence, but can be secured at night to discourage off hours gathering.
 - PS: When you go to build this building, you will go through a more detailed design process. Maybe the garden connects to a room where birthday parties are held.
 - PSt: This courtyard may be a good place for teens to gather.
 - SL: And #9 will be a more “in the open” gathering space.
- Shade/Pavilions

- PSt: People have commented about needing trees in the park. This looks like a very vegetated plan – trees, shrubs, planting beds.
 - SL: We did not show freestanding pavilions, but maybe we should investigate shade sails to provide shade in areas like the basketball plaza
 - PS: Irrigation – maybe #5 lawn area could use a hose bib to keep green
- PS: Where could pavilions go?
 - CM: Up and down the field lines for parents to sit. Shade areas.
 - PSt: Rental pavilions would need to accommodate 50+ people
- PS: Should we include a shaded grandstand?
 - SL: We could shade the bleachers, maybe not a full grandstand
 - PSt: 50 fans, 25 on each side. A shaded area could work.
 - CM: Shade sails; spectators bring their own chairs and really sit in bleachers even when provided.
- CM: Teens need more than just a playground, and if a pavilion were for teens, separating the teens and young children would be good. The fitness area may serve teens well there is some great fitness equipment for teens.
 - SL: Within the fitness area, there could be teen and senior fitness equipment.
 - PSt: Rental pavilion should be near playground, but I am in favor of scattered shade around the park.
- CM: The idea of a hill slide is great. Also, #1 question we get is “How close is the pavilion to the playground?”
 - PS: The playground is close to the rec center building – maybe there could be a room in the building?
 - PSt: A room in the building would be useful at this time of year (fall), but in nice weather people will want an outdoor space.
 - SL: We can place a pavilion either to the east or west of playground.
- Outdoor basketball
 - CM: If having basketball courts inside, why have them outside as well? And was there consideration of a multipurpose field?
 - SL: From early on it, was made clear by residents that outdoor basketball is important, and it could also serve for other court games. Regarding multi use field, there was some discussion but, historically, soccer has shifted to using other fields
 - PSt: Also, if we went with a 90-foot field, we would lose other elements, and the field would be closer to the neighbors. We considered how we can fit everything that we want. Little league is excited about the idea of a 70-foot field.
 - CM: In the outdoor basketball court area, what is the low wall?
 - SL: the first 3-4 feet would be a masonry retaining wall the top portion would extend to serve as a tennis wall – it could be plexiglass to allow for clear site lines through the court areas.
- Outdoor Fitness / volleyball / synthetic turf
 - CM: What would be there, and would people use it? It could end up being a fad that people will not continue to use. Could we make a sand volleyball court there instead of the equipment?

- PS: Maybe the back gathering lawn (especially if synthetic turf) could become a play area with anchors for volleyball nets, wiffle ball, bocce, soccer. This area may be a better place for synthetic turf than even the ball field.
 - SL: If there is no other location in the township for sand volleyball, maybe this would be a good use.
 - PSt: If it were sand, it would be used – and one would not be enough. Would need two courts.
 - PSt: Is synthetic turf cost prohibitive? We should consider.
 - SL: the back lawn area and the infield could be synthetic. Will need hose bibs either way to cool down the area in summer and clean or to irrigate.
 - PSt: Can SC provide costs of each?
 - PS: Yes.
- Trails/Walkways
 - CM: What are the trails paved with?
 - SL: The trails are 10'-wide asphalt, for the most part, to maximize accessibility and limit maintenance. They are all under 5%, so they are completely accessible without the need for handrails.
- Lighting/security
 - PS: This park and rec center will bring people in the evenings. We need to think about lighting – bollard lights for pathways.
 - PSt: The public did say they would like to see a low-level lighting, maybe solar. Would like to see basketball courts lit – maybe close at 10. Not sure about any consensus on lighting the ball field. Will need security cameras throughout.
 - SL: Cameras should have good coverage.
- Traffic
 - CM: Will the traffic direction on Woodlawn change?
 - SL: Traffic patterns along Woodlawn will stay the same in this concept. We will add a bump out and crosswalk at the corner of Silver and Woodlawn to address traffic concerns in this area brought up a public meeting 2.
 - CM: Are you adding stop signs and Abbeyview and Division? There are none on Division.
 - PS: I do not think we would be adding them. The speed tables will slow people down.
 - SL: Traffic patterns in the overall neighborhood are unpredictable; 4-, 2-, and 3-way stops in this area have no pattern. The public has asked that this be looked at this at a larger scale.
 - PSt: We can discuss a traffic study with the Township.
- Plantings/buffers/fencing
 - PSt: Will the plan include Rain gardens and basin areas to catch rainwater?
 - SL: A “train” of BMPs along the edge of the site. Could use sub surface basin, pervious pavement in basketball area. Playground could use porous pavement with storage underneath. Due to space limitation there will need to be a mixture with sub surface storage, but we would like to get some at surface level for educational purposes.

- PSt: We will talk with each neighbor to discuss how much/what kind of buffering they would like.
 - PS: Maybe we should also reach out to the community at large and ask if they want to be looking into people's back yards.
 - SL: We need to look at whether we should replace the boundary fence at the south.
 - PSt: I think the fence on the driveway from Woodlawn at left needs to be completely replaced, and I think the neighbor there will be happy about that.
 - SL: What is the status of survey work for the Forest Ave access easement. Ideally this fence should be replaced / upgraded. However it appears that the path / fence and Neighbors' driveways are all tied closely to each other understanding the property boundaries in this area will be helpful.
- PS: Along Division, you could use a nice fence to control where people come into the park – may be a little safer. Could have openings where crosswalks are. Reduce wear and tear, and provide an obstacle to keep children from running into the street.
- Signage
 - PSt: Do you envision an entrance sign?
 - SL: Yes, probably at Division and Woodlawn, and at Division and Forest.
 - SL: Not sure about the path from Forest Ave – teenagers said they do not enter from Forest because it feels like walking on private property, we may want to consider a portal gateway at the park boundary to invite users into the park.
- Funding/Grants
 - PS: We will come back in 3 weeks and let you all know what the costs will be. We encourage the township to consider phases.
 - CM: Funding – Once this is done, and the board and commissioners approve it, what is the timetable?
 - PSt: Grants from DCNR open in April
 - PS: Could apply for \$1mil from (Land and Water Conservation Fund.
 - NS: Getting grants is a long process.
- General statement to all attendees – PSt: Please be clear in conversations/posts that this plan is still in process, and that it is not finished or finalized.

Next steps

- SC tasks:
 - Prepare for Public Meeting #3
 - Post Draft Plan for a 30-day review period
 - Refine Plan based on Committee and Public feedback
- Meeting notes and agenda to go out for public posting to website.

Upcoming Meetings

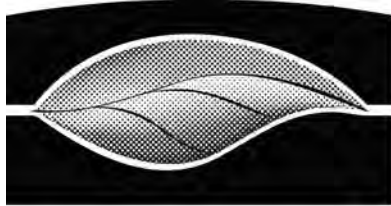
- Public Meeting 3: Draft Plan – Wednesday, October 26, 7-9 PM
- Committee Meeting 6: Final Plan Review – Wednesday, November 30, 7-8:30 PM
- Public Meeting 4 – Commissioners Meeting: Final Plan – Monday, December 19, 2022

This report represents the Professional's summation of the proceedings and is not a transcript. Unless written notice of any correction or clarification is received by the Professional within ten days of issue, the report shall be considered factually correct and shall become part of the official project record.

Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE



Michelle Armour



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Microsoft Teams Meeting	Meeting Date/Time:	08/17/2022 1:00 pm
Re:	Key Person Interview Kip McFatridge, President, Board of Commissioners	Issue Date:	[Date]

ATTENDEES:

Kip McFatridge, President, Board of Commissioners

Peter Simone, RLA (PS), Simone Collins Landscape Architecture (SC)

Sarah Leeper, RLA (SL), SC

Michelle Armour, SC

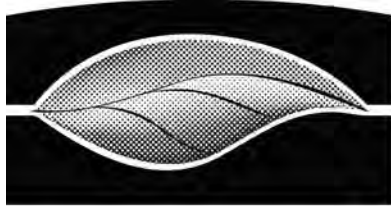
NOTES:

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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE

[Name]



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Microsoft Teams Meeting	Meeting Date/Time:	08/08/2022 2:30 pm
Re:	Key Person Interview Katie Kollar, Parks and Recreation, Program Coordinator	Issue Date:	[Date]

ATTENDEES:

Katie Kollar (KK), Upper Moreland Parks and Recreation Department, Recreation Program Coordinator

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

Michelle Armour, SC

NOTES:

1. KK has been at Upper Moreland Park and Recreation Department (P&R) for 17 years.
2. KK - Passive recreation, active recreation, open space – they are all important.
3. KK - In the area of Woodlawn Park, there is limited open space that is accessible without crossing a main road.
4. KK - Like ideas of trails (maybe lighted for use past dusk).
5. Community Center:
 - a. P&R, if growing how anticipated, will need an indoor space
 - b. Currently no indoor space besides Pileggi
 - i. Meeting room, bathroom, storage closet, capacity of 30 people
 - c. Currently need to rent space for programs
 - d. Community center is needed for special events, one-night programs

- i. The public wants a variety of affordable and quality programs, which is difficult to achieve when paying \$15 per person to rent a space for 2-3 hours
 - ii. Example: If offering a one-night wreath-making class at a school, the fee goes from \$20 to \$40.
- e. Community center does not necessarily need to go in at Woodlawn, but is a big discussion point that should be investigated
- f. Summer Camp
 - i. Would not use this program as a benchmark for the size of a community center.
 - ii. Could not realistically run the supervised playground program, as it stands today, out of a community center.
 - iii. Summer camp currently has 250 children – 375 at height
 - iv. Currently use 3 gyms reserved in schools and a cafeteria
 - v. The Department is comfortable with its relationship with the School District in providing space for this program. The \$15 incorporated into that fee over an eight-week fee is nothing.
- g. Multi-use space – very important
 - i. A gym space as multi-use space (gym, auditorium, drama).
 - ii. If you have a department that is willing to do research and learn how to use spaces multi-functionally, it makes for a happy community and successful department
- h. Classrooms – for arts, lectures, etc.
 - i. SL – Spaces could be designed to be divided and opened to convert between meeting space/rental space/classrooms/multi-use spaces/dance studio/etc.
 - ii. KK – Example: Crestmont in Abington
 - 1. Classroom (that is not a gymnasium), storage, outdoor space (covered), playground, open space/open fields.
 - 2. In a neighborhood hub – serves as a meeting center for the specific neighborhood. P&R department also programs summer camp, classes, etc.
 - 3. Beneficial to people who can walk there, as well as the entire community.
- i. Traffic
 - i. KK – Parking: Not planning for 200+ people at one time

- ii. SL - Residents have said that emergency services cut through through (Fire Department on Davisville, Abington and Upper Moreland Police Departments.
 - 1. KC – Believe that is to avoid the train crossing.
- iii. SL – Because of the location, there may be concerns about traffic coming through the neighborhood for even a medium-sized community center.
 - 1. KK – It would only be used/programmed at certain times of the day. Not drop in. For example:
 - a. The Township pays \$7-9K annually to reserve a meeting space for a 400-member senior citizen group that meets 1x/month for 2 hours. So, there may be parking/traffic issues on the 4th Thursday of the month from 10-12, but it would save the Township thousands of dollars to have it at a community center versus renting a facility.
 - b. The Township pays \$14K annually to use Upper Moreland School District spaces – all for programmed uses: summer camp, after school programs, evening programs, special events. Not drop-in.
- j. Logistically, not sure know how a community center at Woodlawn would benefit kids from the other side of town, but it would benefit kids in that neighborhood. Would need to figure this out if taking the community center route.
 - i. SL- Any location will have logistical issues
- k. There are things that have been suggested in past reports as community needs, including a community center. I would be pro-community center.
- l. SL – We will look at a community center in concepts in terms of how it would fit in the space and how the community looks at it from that point of view. Then, if the community is open to it, the next step would be a feasibility study, which would answer questions outside of the scope of the master plan: what is in the building, what the cost of building would be, what costs would be offset, and maybe traffic generation.
- 6. Baseball field – Is wanted and needed. Should it be here? I don't know; there may be a better place for it (considering parking). If adding lights (which I don't think is best here), we could get more use if it is elsewhere.
 - a. SL- current field configuration does not work. Whether upgrading or moving, will drastically change. We will look at removing or keeping in concepts (True 90' field vs. no field)
 - b. Could be a multi-use field.

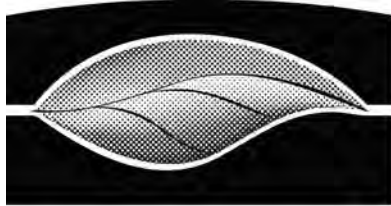
7. Something to think about with the walkability of this space – and which amenities to have (where kids/people can just meet up and play vs. organized sports).
 - a. Basketball is huge – kids meet up there
 - b. Gaga – can play with 4-5 people
 - c. Wall for wall ball / stick ball
8. Should be some passive recreation (ex. walking by and noticing a ball game – could tie active and passive uses together)
9. Useable outdoor space for gatherings/neighborhood events/programming
 - a. Pavilions (at Mason's Mill are very popular).
 - b. Concert shell
 - c. Connecting with nature
 - d. Natural play areas
 - e. SL – Basketball has come up in meetings as important. In the teens focus group, teens said they go here to gather and “hang out”
 - i. KK – Visible but not in the wide open.
 - f. SL – Open court area. Maybe half court and lines for other games (pickleball). Multi-use court.
 - i. The existing tennis courts could be turned into multi-use. Or the four basketball courts, maybe one becomes multi-use.
 - ii. SL – The existing tennis courts are a little too tucked away, but maybe we have a concept where they get reused.
- 10.KK – This is the highest point in Eastern Montgomery County – has the community shown interest is that?
 - a. SL- It ranges. It has come up in most meetings. Maybe we can incorporate a flagpole at the high point to incorporate history.
- 11.KK – People think the site looks much better and are glad the building is gone. There are mixed opinions about what should go there. I like moving quickly to come up with a plan and not letting the site sit idle.
12. Water play –
 - a. SL -is there a need to have a spray play pad?
 - b. KK – If community wants that, I think it would be utilized.
 - c. If they realized how many people it would attract and are worried about traffic, maybe it is more of a simple spray pole, vs. a destination.
 - d. There is a website that lists splash pads in eastern PA

- e. SL – Maybe something in the middle. Have a civic space. Not quite a destination but gives opportunity for water play. When not active, can be a seating plaza.
 - f. KK – With safety surface ground. Warwick Township has one with streams of water with a retaining wall around it for parents to sit while children play.
 - g. Need to look at how cost effective, and which certifications needed.
 - h. SL – If small, may not be worth it to recirculate water, but may be seen as wasteful.
 - i. SL – Can discuss pros and cons with public.
- 13.KK – I am focused on programming, and do not mean to omit anything else (for the record)
- 14.KK – Great that there is so much community involvement, and that neighbors are vocal – so want to make sure to appease everyone as much as possible.
- 15.KK to provide program numbers for the report.

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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE

[Name]



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Phone Call	Meeting Date/Time:	08/09/2022 1:00 pm
Re:	Key Person Interview Nick Scull, Chairperson of the Parks and Recreation Committee of the Board of Commissioners	Issue Date:	[Date]

ATTENDEES:

Nick Scull (NS), Chairperson of the Parks and Recreation Committee of the Board of Commissioners

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

Michelle Armour, SC

NOTES:

1. NS worked with the Upper Moreland Historical Association (UMHA) for many years in the 2000s.
2. NS is helping UMHA to research William W. Frazier
3. Ferdinand Hassler
 - a. The survey marker on the site was established by Hassler in 1841
 - b. Hassler was Swiss. He came to America in 1805
 - c. Taught math at West Point
 - d. Thomas Jefferson appointed him Superintendent of US Coastal Survey
 - e. Survey was used to make charts for boats/ships – plot out triangles – the outset of commerce
 - f. This site was the highest point between Willow Grove and the seashore
 - g. Set up and signaled with mirrors
 - h. Took measurements in summer, drew maps in DC in winter

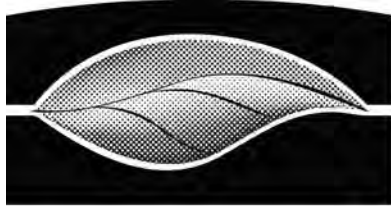
- i. Became head of the Bureau of Standards. There is a platinum inch there (where?)
 - j. Hassler died in 1862 and is buried at Laurel Hill Cemetery
- 4. Frazier hill
 - a. Named after William W. Frazier
 - b. Frazier was a sugar baron
 - c. Wealthy, owned many acres here and in Abington
 - d. Home was down the street from the park
 - e. Civil War officer
 - f. Held Civil War reunions on his estate – Veterans came out by train to WG, got in wagons, went to his dairy farm and drank bottles of milk, and went up to the hill to picnic, drink beer and smoke cigars – did this until 1916(?)
 - g. Frazier died in the 1920s
- 5. Woodlawn School
 - a. Suggestion – call it “Woodlawn Park on Frazier Hill”
 - b. There was a date stone on the building
 - c. Most likely up in the 1950s, closed in the 80s
 - d. Many people worked and went there
- 6. Houses, garages...(?)
- 7. (?).....Dates from turn of the century
- 8. The site was formerly called Overlook Farm – Frazier owned several plots of land/farms
- 9. USGS Marker:
 - a. SL- Way to denote the history/benchmark? Does it need to be at the benchmark? (vs. high point of the site)
 - b. SL – Signage is interesting but does age out, and USGS marker is meant to be permanent but gets covered by grass cuttings etc. Perhaps mount the marker on a paved pad?
 - c. NS – The marker was decommissioned, and the marker has disappeared. You will see a piece of cement with a tube/pipe. It is way out in left field, near the sidewalk.
- 10. Acknowledge housing developments different periods? WWI, WWII, ...(?)
 - a. Maybe too obscure to show in park
 - b. Ask UMHA what they might want to do with that.

11. The tower is there for the same reason (high point) – for the Turnpike – it was connected to one in KOP. Now owned by Verizon for communications.
12. *People and Past of Willow Grove*, Joe Thomas – good historical reference book.
13. Diagram of surveying in the meeting presentation was good.
14. Surveying - They climbed towers and signaled with mirrors, cleared trees.
15. SL – Name of the park is difficult to address in a master plan. We can note that it came up in interviews and that it was a suggestion.
 - a. SL – Consider: maybe the park name stays the same and there is an element like “Frasier Hill Playground at Woodlawn Park” or vice versa.
 - b. NS – Good idea. I’m not sure that anyone would be opposed to the name change. The Board of Commissioners would likely vote in favor of a resolution.
16. There is a lot of local sports history – maybe investigate it
17. SL – interpreting history. Idea: playground with two towers with mirrors
 - a. NS – Have something at the marker and something at the playground to signal back and forth.

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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Phone Call	Meeting Date/Time:	08/10/2022 4:00 pm
Re:	Key Person Interview Steven Worthington, Upper Moreland Historical Association	Issue Date:	[Date]

ATTENDEES:

Steven Worthington (SW), Upper Moreland Historical Association

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

Michelle Armour, SC

NOTES:

1. SW is presently active with historical signs around twp.
2. The school was built in 1953 and closed in 1983 (or the late 80s)
 - a. Became a Korean church for about 10 years
3. Survey Marker
 - a. Original marker is in the Township building next to tax collector's office
 - b. Survey marker was found in that field - PECO or someone in 1979 dug it up
 - i. Little metal disc around where sign is
 - ii. Original marker looked like an open clay pot
 - iii. Was in Woodlawn School, then went to some survey company, now in twp. bldg.
 - iv. Hassler or Rogers – who put it there?
4. Hassler
 - a. Cannot find concrete info that he was on the hill – not certain that he was here

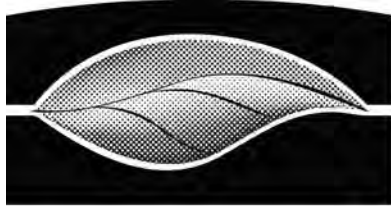
- b. Was active at that time
 - c. Info came from a book – Theodore Bean, *History of Montgomery County*, 1884
 - i. P. 982: 1840-41 Hassler was camped here.
 - d. If can't get concrete info, maybe say it is "alleged"
- 5. Henry D. Rogers
 - a. Professor of natural history
 - b. Was here in 1851 and did do surveys in this area
 - c. Published a book in 1859 – goes into detail of Willow Grove and surroundings, stones, lay of the ground
- 6. Frazier
 - a. Very wealthy
 - b. Refined sugar, maybe chemicals as well
 - c. Manor House Ln (Manor House Apartments currently)
 - d. Owned almost all of Lower Moreland, a lot of Upper Moreland
 - e. Owned the whole hill from Edge Hill and Moreland Rd to Terwood Rd, to Davisville Rd, to York Rd, to Moreland Rd.
 - f. Frazier Ave was an access road to his house – was put in around 1893. Manor House Ln was also access, and Woodland Rd was also used by him
 - g. Held reunions
 - h. Old paper was The Public Spirit – have copies at the historical society – Frazier and his reunions were mentioned
 - i. From Manor House, to Greenhill, make a right, first street on right there is a house, looks like an old Second Empire. I believe that is part of his complex. (Where?)
 - j. He bought an old farmhouse and improved on it – built maybe 1840s
 - k. Reunions included members of the GAR (Grand Army of the Republic) – union veterans, very active in politics, their heyday in 1890s
 - i. Hatboro post 101 GAR
 - ii. Rush's 6 - PA Calvary
- 7. Geology & Lore
 - a. The Rocks
 - i. Division and Overlook
 - ii. Large glacier rocks with quarts and fossils

- iii. Mentioned in Theodore Bean book
 - b. Half mile to the east of Willow Grove, there is an area composed of a very hard conglomerate of pebbles of blue quartz, Cambrian
 - i. Legend that a devil crossed over from NJ and stones fell out of his pocket.
 - c. Turner Rd – A large stone called the Fox den.
 - i. Said that there are footprints of a dinosaur
 - ii. Story that old timers told children – those were the devil’s footprints
 - d. I played on the large boulders off Overlook Ave, in the area that today is in the back yards of the houses on the north/east side of overlook (between Division Ave and Greyhorse Rd?)
 - e. Legend – an invisible monster lived on this hill. There would be a swirl of leaves 15-ft-high and a roaring noise as it came past you.
 - f. “Horse Heaven” – when horses died they were buried on the slope of the hill
8. Overlook is an old road
 9. Farms surrounded the edge of the hill
 10. May have been a cornfield where the school was at one time, as early as the 1950s
 11. Ball field – not sure when it was put in
 - a. I was told there was one at New St and Overlook Ave, but this may have been mistaken – it may have been this field
 12. 2 major taverns in the area: the Fountain House (knocked down in 1967) and the Mineral Springs (Mineral Springs Memorial Park)
 13. Historical resources say that fossils have been found in the creek beds. This area must have been an old beach or underwater a million years ago
 14. Resource – www.historicmapworks.com – and put in “Moreland”
 - a. Before 1917 this was known as Moreland, after 1917 it was Upper Moreland
 - b. Map years: 1893, 1909...

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LANDSCAPE ARCHITECTURE

Michelle Armour



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Phone Call	Meeting Date/Time:	08/11/2022 2:30 pm
Re:	Key Person Interview Elaine Leibrandt, Upper Moreland Historical Association	Issue Date:	[Date]

ATTENDEES:

Elaine Leibrandt (EL), Upper Moreland Historical Association

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

Michelle Armour, SC

NOTES:

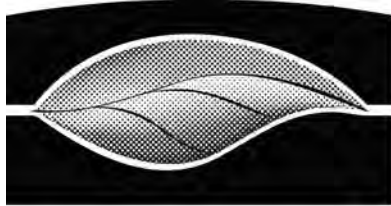
1. Thought "The Rocks" were on (where?)
2. Since Woodlawn School was demolished, and with interest in the Woodlawn Park Master Plan, people have come forward with photos of people/classes who went to the school
3. At the first public meeting, there was an amazing amount of ideas
4. We have discussed ("we" = husband and I, neighbors), and general feelings below:
 - a. Not in favor ("too far out"):
 - i. Pickleball
 - ii. Community center building (most people I've talked to would not like to see that)
 - b. In favor (needs/wants):
 - i. Bathrooms – ADA access
 - ii. Baseball field to stay

- iii. Lighting – How will that work? Scheduled?
 - iv. Pavilions for picnicking (covered or otherwise)
 - v. Tennis courts need to be redone
 - 1. SL – has not come up as a community need/want. Tennis is the most expensive to develop per person served.
 - vi. Playground – needs updating.
5. Geodetic markers – 2 of them – will they stay there? (In favor of them staying)
- a. In twp. building – clay jar – where it was is marked on the gravel path off of Division Ave.
 - b. There is one marker on Division itself, on the curb.
 - c. There is a second marker inside the playground in grass.
 - d. SL – If they were disturbed during site development, they would be put back.
6. Large trees that go way back along Woodlawn to stay? (In favor of them staying)
- a. SL – The idea is to preserve the trees. One is in decline and needs to be removed, but the others just need some maintenance
 - b. EL – One was there but taken down years ago, there is still a stump
 - c. SL - The area where the driveway was and the basketball courts are – there may be some development that will make it difficult to save those trees. The playground may move – will replace trees removed

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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Microsoft Teams Meeting	Meeting Date/Time:	08/17/2022 10:30 am
Re:	Key Person Interview Brett Guerin, President WG Bears Youth football	Issue Date:	[Date]

ATTENDEES:

Brett Guerin (BG), President Willow Grove Bears Youth football

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

Michelle Armour, SC

NOTES:

1. We need a turf field. All sports organizations; especially WG Bears
2. The turf field gets used up by the organizations with the money to pay the School District
3. Field lighting is important
4. Currently use Masons Mill field. Gets sloppy/muddy in rain
5. If the top field of Masons Mill were all one turf field, that would be great
6. SL- We have not considered turf field in Woodlawn Park – needs a lot of space, and neighbors are a big consideration
7. BG – Agreed. Not the right place. Woodlawn is not big enough for a football field.
8. There are other areas of township-owned land that have significant acreage. (Are the below two descriptions of the same site, or two different locations?)
 - a. Davisville Rd next to the railroad tracks. Down Terwood, past the high school on right, make a left. It is wooded land – 30-something acres. The previous president indentified this site for WG Bears' use, and it went to the twp.

- b. On the other side of tracks from Masons Mill. There is a camp on the right going up Davisville, and a medical facility. The road turns and goes over the railroad tracks, and a little road goes down there.
- 9. We have access to the turf field for one day out of the season (homecoming). We pay the SD over \$1K for use of the field for the day.
- 10.SL – If a new turf field were put in, it would likely be a pay-to-rent field
 - a. BG - So taxes will not go up?
 - b. SL- Taxes typically do not go up for recreation facilities. There is a return on the investment.
 - c. BG – What kind of return? (BG runs financial models for assets.)
- 11.Where does the money come from?
 - a. SL – The Master Plan will enables the twp. to pursue grant funding.
 - i. DCNR: Can apply through state fund – max out at \$250K, 50/50 match. Other 50% can be from the twp. budget or matched with other state grants.
 - ii. DCED: Focus on trail improvements, parking, community development.
 - iii. Other grants: NFWF (?).
 - iv. Can apply to recreation funds, but once funds are spent, that land needs to be maintained as a recreation facility. If sold, would need to find equal land, and replace amenities elsewhere.
- 12.Has the community center conversation continued?
 - a. SL – We have gotten good feedback. Bond referendum (?). There is only so much to leverage as a twp. Looking at medium scale model – gym space, etc.
 - b. At Woodlawn?
 - i. SL - One concept shows it at Woodlawn. Survey results – 40% of respondents said it would be good. Scale – could fit, but a question of whether people perceive it as creating too much traffic. Next step would be a feasibility study – looking into membership tiers, economics. We are not looking at economics in the master plan process - looking at scale and getting community feedback.
 - ii. SL – Could be good on this site –would lose the baseball field. Would keep basketball, playgrounds.
- 13.We try to minimize SD facility use to keep registration costs down. About 200 kids – cheerleading, flag and tackle football.

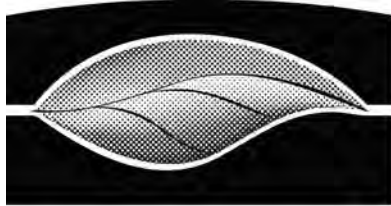
14. SL – We discussed submission of a status letter to the township at the active recreation focus group – provide info such as members served, how much money organizations are paying the School District

- a. SL – Discussed all organizations writing a letter together to get this info in front of the Twp to show needs. Would be good to have it before the next meeting. The draft will be out in October.
- b. BG – Busy season - football season, every weeknight besides Fridays. Will see what I can pull together.

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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Microsoft Teams Meeting	Meeting Date/Time:	08/18/2022 10:30 am
Re:	Key Person Interview Pat Stasio, Parks and Recreation Department	Issue Date:	[Date]

ATTENDEES:

Pat Stasio (PSt), Parks and Recreation Department

Peter Simone, RLA (PS), Simone Collins Landscape Architecture (SC)

Sarah Leeper, RLA (SL), SC

Michelle Armour, SC

NOTES:

1. Would love to do synthetic field at Masons Mill
2. Better if the sports organizations' info comes from them. They give us that info... (when? registering?)
3. Did not suggest a neighbor for KPI because there was a neighbors focus group and we did not want to single one out – better to keep them all as a unit
 - a. SL – We had identified the neighbor who has a child with disabilities as a candidate if we did interview one neighbor
4. Site boundaries – Need to go back through and check status of survey
 - a. SL – We will use parcel maps, just need info with an update
 - b. PSt to get an update to SC today or tomorrow
5. Concepts preview
 - a. Concept 1
 - i. The USGS marker is up in the top right where the path comes off of Division

- ii. Do not want to keep the field here, but if we cannot find another location for one, we need to keep it here. Would need to get it irrigated.
- iii. Parking/raised tables/traffic calming – like it. Public works may have a hard time with it, but good. Want to keep parking out of the park. No one knows why parking is not currently allowed on Division, may be because balls are hit over there.
- iv. SL – Could probably have parallel parking on the opposite side of Division as well.
- v. Need water on field, security cameras, trails, trees, benches, restrooms (neighbors want restrooms, will be different for twp.)
- vi. Restrooms
 - 1. SL – Automatic locks help with security/maintenance
 - 2. PSt – If someone gets locked in, they could get out and rig it open/cause trouble
- vii. Benches, in plazas and along trails
- viii. Pavilion – for rental?
 - 1. SL- Smaller, 4 tables. Could add a rental pavilion.
 - 2. PSt – If renting, could get the Board to authorize an attendant to monitor bathrooms as well

b. Concept 2

- i. I like this – a great design
- ii. Can we shift everything to left to get courts away from residents?
- iii. PS – Could also put courts to the left above the ellipse in area shown as berm
- iv. PSt – People would not mind play equipment in back yards as much as courts
- v. PSt – I like this – more passive. Building is half in the ground and with lots of trees, it will be a bit hidden.
- vi. SL – 10K SF footprint. Gym, and then split level of classrooms
- vii. PS – The big ellipse could be artificial turf – all weather, informal play. Could be SWM facility with stone underneath. T-ball.
- viii. PSt – Is that patio raised for performances? That would be great
 - 1. SL – Could place steps to raise it.
 - 2. Art shows, harvest festivals

- ix. SL – Spoke with Katie Kollar – classes in the evening, after school programs, adult classes during day.
 - 1. PSt – Majority of use would be after 6pm. 10pm could be kill time if we want it.
- x. PS – With no baseball field, there is so much passive green space – almost would not know there is a building there.
- xi. PSt – This would be a great neighborhood park that would also be used by others for the building.
- c. Concept 3
 - i. PS – Would not be out of the question to put up a sound wall
 - ii. SL – Or sound netting
 - iii. PSt – Some neighbors like looking out on the park and some do not. Maybe we could reach out to neighbors to see who wants buffering and who does not
 - iv. PS – Trees do not buffer sound
 - v. SL – Soft buffer of deciduous and evergreen trees. We can see who wants evergreens or not, while keeping the buffer looking uniform
 - vi. PS- Could make this building a little bigger to include a meeting room
 - 1. SL – None of these concepts show a club house facility, but it would make the most sense in this concept
- d. Concept 4
 - i. This large lawn space would give an opportunity to work with this space
- e. PSt – I like Option 2. Need to find an alternate location for a field. If not, I like Option 1.
- f. Lights – Can envision neighbors not wanting lighting
 - i. SL – Concept 4 would be best in that regard, since the field is pulled away from residents
- g. Pst – Good to have 4 options for the public to weigh
- 6. PS – Will present concepts to the public, and then the township needs to make decisions
- 7. Field – Township is looking at another location.
 - a. Landowner adjacent to this alternate location/field is a major contributor to Pennypack, and may not want fields in his back yard

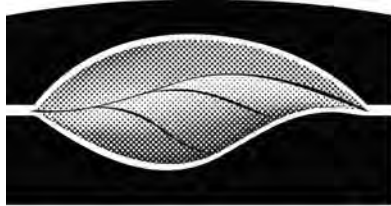
- b. \$4 mil cost estimate for 3 fields, trying to lower number (restrooms)
- c. County will probably help with funding.
- d. Opportunity to partner with Lower Moreland Twp – shared use
- e. Will know by end of September if we can relocate the field. Board meeting 9/14.
- f. PS – Good to pause after this next public meeting so as to not waste time.
 - i. PSt – Future meeting dates will need to move
 - ii. PS – Can still complete the plan in time for grant applications
- g. PS - 18K SF building – about \$4.5 million. We can create a design that does not commit to the entire thing right away. Develop a park with a building placeholder (ex. concept 2: community plaza space, sledding hill)
- h. PS – We suggest that it is time for the twp. to make a commitment on a building, even if it is a few years out
- i. PSt – Kip McFatridge wants the building here and has support of some board members. Placeholder could work out well (concept 2)
- j. PS – At the public meeting, we can share with the public that the twp. is looking at other field locations
 - i. PSt – Yes, I can make a statement
 - ii. Explain that we will take a 6-week pause to investigate the opportunity of relocating the field
 - iii. We want 3 fields, and they can fit. We can build in stages. All will be discussed with the Board. Trying to get down to \$3.5 mil. First field will cost \$1-1.5 mil (tree clearing, etc.)
- k. Building a new police station is being discussed. The Township Manager wants to renovate instead. Will be figured out soon.
- l. PS – If eliminating the field at Woodlawn, we would suggest building a new field first so that you do not lose a season
- m. PS – If including the field here, you would still lose a season for construction.
 - i. SL – Most elements are where the old school was, so the field could potentially be maintained while those are installed.
- n. PSt – Want to take over maintenance of the school fields – they are not used when not during school year.
- o. PS – Suggest keeping SC/Sarah involved in construction of Woodlawn, to work with Gilmore and keep the design intact

- i. PSt – I want to keep you on project. Board may want to pass off to engineers.
- ii. PS – SC has worked with Gilmour in past. We can work with them to keep the design on track.
- p. SL – Draft – Money in the budget for phase 1 - Can we have that number?
 - i. PSt – Between \$1.4 and \$1.7 mil
 - ii. SL- Leverage against land and water funds from DCNR
 - iii. PSt – Yes. Want to double the money through various agencies. Should be more than enough to build this park.
 - iv. PS – I think you can get \$1 mil from land and water conservation
 - v. PSt - Can SC write the grants? Want an expert for an amount this large
 - vi. PS – SC can write. We will want to talk to Drew before end of year.
- q. SC – To create a tentative schedule for date changes/pause after 9/14 PM. Hold the dates.
- r. PSt – To get survey information to SC

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Sincerely,
SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE

Michelle Armour



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MEETING NOTES

Project:	Woodlawn Park Master Plan	Project No.:	21073.00
Location:	Woodlawn Park	Meeting Date/Time:	08/19/2022 8:00 am
Re:	Key Person Interview Jim Murphy, Parks and Recreation, Park Maintenance Foreman	Issue Date:	[Date]

ATTENDEES:

James J. Murphy, Jr. (JM), Upper Moreland Parks and Recreation Department, Park Maintenance Foreman

Sarah Leeper (SL), Simone Collins Landscape Architecture (SC)

NOTES:

1.

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SIMONE COLLINS, INC.
LANDSCAPE ARCHITECTURE

[Name]

From: [Stasio, Patrick](#)
To:
Cc: [Peter Simone](#); [Sarah Leeper](#)
Subject: RE: Children's focus groups [Filed 26 May 2022 09:47]
Date: Thursday, May 26, 2022 8:24:41 AM

Great ideas! Thank you. Let me speak with the consultant, I think the targeted group of teens that live around the park would be a great group to speak with. And, the playgrounds program will work as well. If you could organized a group of 10-12 teens in that area that would be most beneficial - please let me know. thank you

Patrick Stasio, C.P.R.P.
Director of Parks and Recreation
Upper Moreland Township
215-659-3100 ext. 1039
www.uppermorelandrec.com

-----Original Message-----

From: Jolie Price
Sent: Wednesday, May 25, 2022 10:04 PM
To: Stasio, Patrick <PStasio@uppermoreland.org>
Subject: Children's focus groups

Hi Pat,

I attended the Woodlawn Park Meeting this evening, and would like to help with focus groups for children. I'd be open to organizing meetings for children to solicit feedback, specifically on June 8/9, as school will have just concluded.

Alternatively, I think there's great potential in collecting feedback from Supervised Playground groups, where Parks & Rec already have access to children in a range of ages.

What are your thoughts?

Thanks!
Jolie Price
Ward 6-1 Resident

Sent from my iPhone

From: [Stasio, Patrick](#)
To:
Cc: [Peter Simone](#); [Sarah Leeper](#)
Subject: Re: Woodlawn Park Ideas, Suggestions, and Comments [Filed 26 May 2022 09:40]
Date: Wednesday, May 25, 2022 9:31:34 PM

Thank you for the comments, I am forwarding them to the consultant as well.

The hockey rink in Menorial Park is now closed. In 2020 SEPTA had planned to move their train station into memorial park. As part of that plan SEPTA will build the township a new roller hockey rink and a skate park will be constructed. With that in mind, the Township decided not to commit tens of thousands of dollars to repair the rink when it would be removed a new one constructed. Then COVID came and SEPTA delayed the project to 2021 and now is delayed to the end of 2022 to begin the project.

We expect to have a new roller hockey rink and skate park in the fall of 2023 in Memorial Park.

Hope this information is helpful.

Thank you for attending and the comments.

Be well.

Sent from my LG V40 ThinQ, an AT&T 5G Evolution capable smartphone

----- Original message-----

From: Aiden Croce
Date: Wed, May 25, 2022 9:06 PM
To: Stasio, Patrick; psimone@simonecollins.com;
Cc:
Subject: Woodlawn Park Ideas, Suggestions, and Comments

Hello

My name is Aiden Croce. I attended and observed a majority of the first public meeting that was held today. My family and I have lived in the area and within walking distance of Woodlawn Park for five years now and I have some points and ideas that I would like to share that could contribute to this master plan.

1. I strongly disapprove of the community center idea. I feel that some people may not realize how big the park actually is and to enlighten those who don't know, it isn't that big. I feel that a community center would completely take away a majority of space that the park could cater to other things.

2. It was mentioned during the meeting that even though the park is visited by other 'out-of-town' individuals (away teams for soccer and baseball) I would also like to express the statement that the park is going to be well used by the individuals that live within the neighborhood.

3. With the previous point mentioned, most of the neighborhood consists of lots of children, teens, and young adults who, in my opinion, are the ones that use the park to its fullest out of any age group.

4. Someone had mentioned the idea of an Inline Hockey Rink. I would like to strongly second this idea due to the one that we had, located near the SEPTA train station in town, is in very

From: [Stasio, Patrick](#)
To: [Peter Simone](#); [Sarah Leeper](#)
Subject: Fw: Suggestion for : Community center at Woodlawn Park-- Abington's Old Welsh rd Sample --pic attached
Date: Wednesday, May 25, 2022 3:59:44 PM

Sent from my LG V40 ThinQ, an AT&T 5G Evolution capable smartphone

----- Original message-----

From: John Weinrich - Remax Action
Date: Wed, May 25, 2022 3:08 PM
To: Stasio, Patrick;
Cc:
Subject: Suggestion for : Community center at Woodlawn Park-- Abington's Old Welsh rd Sample --pic attached

Hi Pat,
I will be attending the meeting tonight, but I wanted to convey my idea for a critical part of the Park's development.
Having spoken to many residents, they have a desire to make a community center for the township's use.
Please add these pics to the record of ideas for the grand plan.
Thank you for your assistance,
John

Sent from my iPhone

--

John Weinrich

Re/Max Action Realty
Hall of Fame Member
BA Villanova University

*Referrals are the heart of my business. A personal referral is the best compliment you can give me.
Have friends or family outside PA? I can find them a great agent. Thank you!*

poor condition, almost to the point that it is unrecoverable. The inline rink at that park was very well used and always had people using it and playing on it. I believe that an inline rink would not only cater to teens and others that play the sport, but would also bring in more people outside of the neighborhood to the park as well. I say this as a man that plays high-level hockey and knows the hockey community in the area fairly well.

5. The tennis courts should definitely be kept, but they should also be repaired or replaced. I believe Mr. Simone had made a point about the tennis courts being in 'good condition.' I would strongly have to disagree as the fencing encasing the courts is bent and worn, the nets used at the courts are constantly either broken or not maintained properly, the tennis court itself is crowned and rounded, and the tennis posts are being pulled out of the ground.

6. An individual mentioned the idea of a skate park. I would second this notion as well. There are no skate parks within a walkable distance in the community so an addition of a skate park would be both unique and would cater to the youth.

7. An idea I do have is the installation of water fountains. With how active the people using the park are I believe this would be a necessary addition.

8. The basketball 'courts' that are currently in the park are very poor and in my opinion wouldn't even be considered as 'courts' as it is literally just a blacktop with painted lines that tends to be mistaken as a parking lot. I would advise possibly building new basketball courts.

9. At the Wissahickon High School they have timed lights with an automatic shut-off. I would suggest possibly adding these to both improve lighting and usage at night. Maybe make them solar powered to be more eco-friendly?

10. I vote to completely get rid of the baseball field in its entirety. There are plenty of baseball fields around the area that could be used. A 90 foot baseball field, in my opinion, takes up too much space in a public park.

These are all the ideas, suggestions, and comments that I have for now. I apologize for the obscene length of this email, but since my family and I live near this park and use it a lot I would like you to take these points into greatful consideration. I thank you for your time.

Best Regards,
Aiden Croce

From: [Stasio, Patrick](#)
To: [Peter Simone](#); [Sarah Leeper](#); [Michelle Armour](#)
Subject: RE: Last Night Steering Meeting
Date: Thursday, October 6, 2022 1:04:48 PM

Thanks for the comments Phil. I'll let the team respond to your questions

Patrick Stasio, C.P.R.P.
Director of Parks and Recreation
Upper Moreland Township
215-659-3100 ext. 1039
www.uppermorelandrec.com

From: Phil Strybuc
Sent: Thursday, October 6, 2022 1:00 PM
To: Peter Simone <psimone@simonecollins.com>; Sarah Leeper <sleeper@simonecollins.com>; Michelle Armour <marmour@simonecollins.com>; Stasio, Patrick <PStasio@uppermoreland.org>
Subject: Last Night Steering Meeting

Hi All,

I wanted to say thank you for last night's meeting and latest plan. It is definitely hitting a lot of boxes and you have been doing a great job in listening to the community. It is not an easy job with opinions coming from everywhere. In the end not everyone is going to be happy. But if it does come to fruition and be implemented with what you have shown in the latest, it will be exactly what the township and especially the neighborhood needs.

Not sure if the township is allowed to play the lottery or not but both the Powerball and Megamillions are \$400 million. Money problems solved!

I do have a question that me and Dean were talking about after the meeting. For the artificial turf discussed in the open lawn area at the rec building, how resistant is this type of material to staining? Having a field like this in a public park would be a little different than a sports field at a school. Many more people would be on and off of it with many different beverages. Will the turf be compromised by soda or gatorade spills? Would it cause staining? Not too familiar with it and wanted to see if that should be a concern. Are there downsides to doing turf in this area? How durable is the material? Guessing there's going to be levels of quality over time.

That was really it. Liked the plan a lot. All the ancillary items like path lighting, shade structures, seating, pavilions, etc seemed to be easy enough to get added and understand some of those things don't show up on a plan like this. Excited to see the tweaks and what the team is able to come up with for the rec building.

Thanks again!

Phil

From: [Stasio, Patrick](#)
To: [Peter Simone](#); [Sarah Leeper](#); [Michelle Armour](#)
Subject: FW: Woodlawn Draft Master Plan 10-28-2022
Date: Friday, October 28, 2022 1:41:02 PM
Attachments: [WOODLAWN PARK Thu Oct 27 0 28 05 AM 2022.docx](#)

This is from Barry, the last person to speak at the meeting on Wednesday night. His comments should also be included in the final report, but not necessarily in the final plan. That will be for the Steering Committee to decide. Thank you

Patrick Stasio, C.P.R.P.
Director of Parks and Recreation
Upper Moreland Township
215-659-3100 ext. 1039
www.uppermorelandrec.com

From: Barry
Sent: Friday, October 28, 2022 1:34 PM
To: Stasio, Patrick <PStasio@uppermoreland.org>
Subject: Woodlawn Draft Master Plan 10-28-2022

From: [Sarah Leeper](#)
To: [Sarah Leeper](#)
Subject: FW: Woodlawn [Filed 29 Nov 2022 09:33]
Date: Tuesday, November 29, 2022 9:33:26 AM

From: Michael Chauveau
Sent: Monday, November 14, 2022 1:13 PM
To: Peter Simone <psimone@simonecollins.com>
Cc: PStasio <PStasio@uppermoreland.org>
Subject: Woodlawn

Good morning, Peter:

Just for introduction (although we have met) I am Michael Chauveau, a member of PRAC as well as on the steering committee for Woodlawn. I commend and compliment you on the masterful and respectful way you handle input when facing questions at these planning meetings.

Before he left the building I snagged the final speaker at the October 26 public meeting. What he said caught my attention, as he put into words some ideas that I'd been ruminating about but not yet coalesced. He seemed a tad jaded about how much of an impact his statement would make after reading his notes and I asked if he would send me a copy so that I might reinforce them to the wider group. He agreed. They were sent. I believe a copy has made its way to you.

With Pat's permission I shared an edited version of this resident's words to PRAC at our last meeting. We're a friendly group and have the rare ability (in these times) to listen and disagree respectfully. Unlike what *sometimes* happens when you lead a public discussion PRAC members listened and benign discussion ensued. That same edited delivery is included below and highlighted in color.

Over the weekend I received another email from a different neighbor. I'm guessing she got my contact points either from neighbor #1 or via the township. As with neighbor #1 I committed to sharing her thoughts with the relevant folk and they are copied below. These are sent verbatim.

I recognize, that as with neighbor #1 and having thoroughly read her email, there are some ideas that won't fly for practical reasons. She has said that I might yet receive emails from other neighbors. If such do come I plan to simply forward them to you, copying Pat, as this would seem to be more logical.

From last week's PRAC meeting.

"Thanks for the program slot, Pat." I'll be brief because it's the end of the

evening and what I have to say doesn't need a huge amount of time.

Along with some of you I'm on the committee for the planning of what comes next with Woodlawn Park. I've missed just one of those steering committee meetings and, playing catchup, I'm not overjoyed at what seems to be headed to the final draft.

At the public meeting of October 26 the last speaker came up with something of a long statement that caught my attention. I asked him to formalize and share his thoughts and he did. I'll summarize them now with my editorials as well and distribute his written original in just a moment. Following, are his ideas.

1. Re-set the park's topography by moving and/or adding fill to make one level area. I.M.O. (Michael) too huge of an expense and has the potential of the need for a high retaining wall along Woodlawn.
2. No entry steps on the diagonal at the corner of Woodlawn and Division. **Explanation:** Steps were suggested at that location for entry to the park and are potentially dangerous. His suggestion: build an entry from Division opposite Abbeyview or Everett. I agree.
3. Move the hardtop courts to the center of the park. I'm not clear on how this could work and still leave a baseball field. I have no comment.
4. He doesn't care for the speed bump and related street narrowing on Division. I sympathize. He lives at the corner of Woodlawn and Division and often notes speeding cars as well as drivers blowing through Stop Signs. On this idea, though, I believe speed bumps and the narrowing will slow traffic. He further recommends a pedestrian operated crossing signal flashing light. I agree.
5. He recommends a larger play and splash area. No comment from me.
6. He sent a brief addendum to me recommending that any lighting be photo-voltaic combined with storage batteries.
7. Only one new building on the property, mainly for bathroom. This one is a thorny topic and I'll ask your patience while I throw my 2 cents in.

My comments.

I've researched much of the background for a so-called Rec/Community Center on this property. I'm talking meeting place, senior center, indoor

gym, practice area, teams meeting place, performance stage, summer camp base for activities, equipment storage, a discussion I know that's been on the table for more than 15 years. I'm strongly against such a building for several reasons. A/. Cost. I don't want to be part of a \$5 million dollar monster that will inevitably raise my taxes. B/. Esthetics. An ugly blight (the school) has finally been removed from the neighborhood. C/. To accomplish some of the desires just noted would need such a big structure that it would replace the old ugly with a new ugly...albeit with modern gingerbread. Totally out of balance. In fact, right now, there are no locations in the township - parks or Real Estate - that could comfortably handle such a structure. D/. A rec/community center already exists in the twp. It's called the Y and it's on Davisville. E/. Neighborhood. My opinion, here. This is a **neighborhood** park, almost a little island of sanctity in a desert of development. I don't want to see non-township folk encouraged to the area; not all of whom respect property. For example, I'm thinking of the smashed glass doors of the 'little libraries' in our town or the damage and graffiti to the school structure before demolition.

I have a couple of thoughts of my own regarding a building on the property. I advocate a smaller, multi-use clubhouse structure. This could serve several functions, yet to be explored, and won't cost anywhere near the idea presently and conditionally on the plan. Willow Grove Patch notes that a new Police building is to be built behind their existing one on the vacant lot, there. That vacates a decent piece of infrastructure already in place that could, and should, be seized for any number of uses. Finally, and this, potentially, would require even more waiting time for a building. Willow Grove Mall is more than rumored to be headed towards the end of its useful life. It's located in both our township and Abington. I'd bet dollars to donuts that developers are already figuring ways to build another cutesy shopping/living thing. How about we, the township, plan ahead (shocking, I know) for either the chunk that's in Upper Moreland or partner with Abington to build an appropriate structure there.

Thanks for your patience

Neighbor #2 email:

My name is Beth and I am writing in regards to the Woodlawn Park Plan. My family and I have lived in Upper Moreland for over 26 years and live very close to the park. While listening to and viewing the plans for the park, I feel that some of the residents have some really good ideas while others not so much. Being that this is a residential area, my feelings are that it should stay that way. Some of my concerns or objections are as follows:

1. I don't feel that a multi-level park is necessary.
2. I don't feel that the park should have big pavilions, which would

entice "outsiders" into the neighborhood, creating more traffic.

3. Being that this is a residential area, I don't believe that there should be any kind of stage for entertainment. I believe Masons Mill Park already has that feature.
4. I definitely do not want any kind of speed bumps or humps in the road. They were never here before and are not needed now. I think they would be more of a hindrance than anything.
5. Parking is already a big problem in the neighborhood. Not sure how you would handle that but I don't think people should be able to park on the neighboring streets, nor should streets become one-way etc.
6. Although a community center was not definite, I am truly against it.
7. As far as any kind of hockey rink, there is already one in War Memorial Park. It is my understanding that it was locked for some reason but it was perfect for those who wanted to play roller hockey.

In stating the above, I feel that it should be kept simple. Keep it one level, keep the playground off to the side, keep the baseball field, basketball courts but move them back so residents won't be affected by the noise. Leave a walking trail around the perimeter of the park and maybe plant some trees for shading. Of course, an American Flag should be flown somewhere in the park!! All in all, leave as much open space as possible. Keep it simple! Let's not have people coming from all over. There were enough issues when the school building was there. Kids were vandalizing it and breaking in all the time. I believe they were even vandalizing the playground. The area should be lit up at night so that kids will not be able to make it a hang out. Just a couple of thoughts, thanks for listening.

Thanks,

Beth

Thanks, Peter.
Michael C.

From: [dean swedberg](#)
To: [Sarah Leeper](#)
Subject: Woodlawn
Date: Wednesday, November 16, 2022 9:42:38 AM

Hello Sarah,

I am on the Woodlawn steering committee and the UM parks and Rec. committee. I just wanted to let you know that this plan will work for me. I know I stated to you I would like to see a bigger building with 4 inside basketball courts, but since you informed me that the parking lot for that building would be much larger, my plan would not work. This 10 acre property is an excellent property to host everything on the latest Woodlawn property plan.

On this plan, you have just about everything on it that is there now or was there and now removed.

Example; on this plan there is a building, outside basket ball courts, baseball field and playground. This park would be a great park for the neighborhood and for the Upper Moreland Township community.

This would be the largest neighborhood park inside Upper Moreland Township by 8 acres, most neighborhood parks are between .5 to 2.0 acres. That's why it would be great for Upper Moreland Township community to invest money to build this park as to the latest plan you presented.

dean swedberg

From:
To: [Sarah Leeper](#)
Subject: Re: Woodlawn Meeting Reminder - Wednesday, November 30, 2022 7:00 PM
Date: Tuesday, November 29, 2022 11:34:27 AM

Hello Sarah,

I am on the steering committee as well as a member of the Parks and Rec Advisory Committee. To give a very brief insight into my professional background; I had been in law enforcement for over 24 years, 18 years in the Philadelphia Police Dept. and almost 6 years for Penn State University, in charge of campus Police at several satellite campuses, Abington being the last. I currently work for Motorola as an Analyst.

I have responded previously and kept it short and sweet. I like the final draft plan very much! I didn't see the need for any or much change to it other than maybe the zig zagging of the entrance at the corner of Division Avenue. Hey if a kid decides to skateboard or rollerblade off of there, that's on them. Parents need to be Parents. My only issue is if there eventually were to be a building, it would be great if the one large basketball court could also accommodate "half courts" within the footprint of the main court. They would go across the main court, and would be primarily for younger athletes who don't necessarily need a full court.

I have lived in the area since 2011 and actually lived on Inman terrace, near Frazier avenue for 5 years which is a very short walk to Woodlawn park. I still live in the area but am .5 miles away, a 5 minute walk(give or take) and 2 minute drive. In my opinion, traffic now is not "crazy", it's not like "frogger" as someone had mentioned in a previous meeting, but I'm originally from Philly so maybe I'm desensitized. Speed bumps would actually be helpful NOW. The problem currently is not volume of traffic, but speed of the current traffic. Any vandalism is more than likely the acts of some kid(s) in the neighborhood. People (Outsiders) aren't driving or going out of their way to go to Woodlawn to vandalize it. Once the park is improved, whether there is a building or not, "outsiders" will come....so what! If it's nice and I am sure it will be, it will attract residents and non-residence. The same thing occurs and Masons Mill. It seems there are folks who think that other alternatives were not considered. I don't know why. At the public meetings, or at least the ones that I have attended, my perception is that there always is a glass half empty mindset from some. It's the whole, "I don't want anything to change, no matter what" attitude. There will always be those who will not be happy and I am sure you already know this. Yes it impacts the adjacent neighbors the most, however, while taking their concerns into consideration are important, there are many who live nearby and even farther who matter as well. In the words of a famous Vulcan, "**the needs of the many, outweigh the needs of the few (or "the one")**".

In addition ; The YMCA is **NOT a community center for the township, period**. Taxes are always a concern, however, most residents are ignorant to the fact that our taxes are being mishandled/mismanaged by a certain entity **within** the township, not the township itself. Grants will be an obvious resource and there are plenty from what I've seen on the state and county websites.

To reiterate, I am in full support of the latest (attached) draft plan.

Thank you,

Anthony Benvenuti

On Tue, Nov 29, 2022 at 9:48 AM Sarah Leeper <sleeper@simonecollins.com> wrote:

Hello All,

Hope everyone enjoyed their Thanksgiving.

We will be meeting tomorrow in the main meeting room at the township building. The main goal will be to review your feedback on the draft plan. I have attached the plan for your reference along with committee/public feedback that we have received to date.

See you tomorrow,

Sarah

Sarah R. Leeper, RLA, ASLA

sleeper@simonecollins.com

SIMONE COLLINS, INC.

LANDSCAPE ARCHITECTURE

119 East Lafayette Street

Norristown, PA 19401

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www.simonecollins.com



Please consider the environment before printing this e-mail.

From:
To: [Sarah Leeper](#)
Subject: Re: Woodlawn Meeting Reminder - Wednesday, November 30, 2022 7:00 PM
Date: Wednesday, November 30, 2022 12:31:31 PM

Hi Sarah,

Looking forward to tonight's meeting. It's been a very interesting process to see how you came up with this final plan. It's impressive how much input you received and how well you have responded to so many requests. Your vision for the park looks wonderful and I am sure residents will enjoy all it has to offer.

Woodlawn is my neighborhood park and we have used it often over the years. However, as my kids have grown up (now 12) they utilize the park less. I love how there will be more opportunities for all ages in your plan.

And it goes without saying, any indoor facility is so needed. We are already feeling the crunch of winter as basketball teams, Girl Scouts and basic gathering space is at a premium or simply not available.

Thanks again! See you tonight!
Annmarie Mangin

On Tue, Nov 29, 2022 at 9:48 AM Sarah Leeper <sleeper@simonecollins.com> wrote:

Hello All,

Hope everyone enjoyed their Thanksgiving.

We will be meeting tomorrow in the main meeting room at the township building. The main goal will be to review your feedback on the draft plan. I have attached the plan for your reference along with committee/public feedback that we have received to date.

See you tomorrow,

Sarah

Sarah R. Leeper, RLA, ASLA

sleeper@simonecollins.com

SIMONE COLLINS, INC.

LANDSCAPE ARCHITECTURE

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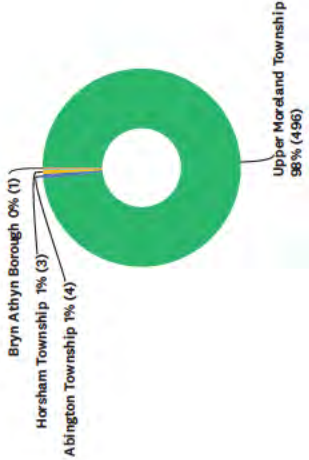
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Q1 What is the name of the municipality you live in?

Answered: 505 Skipped: 6

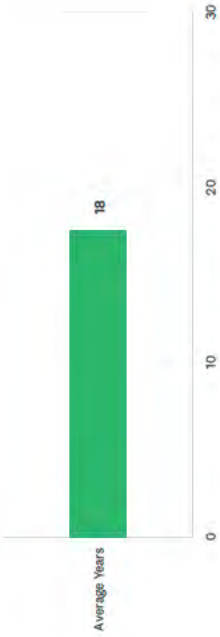


ANSWER CHOICES		RESPONSES
Upper Moreland Township		98%
Abington Township		1%
Horsham Township		1%
Hatboro Borough		0%
Bryn Athyn Borough		0%
TOTAL		505

#	OTHER (PLEASE SPECIFY):	DATE
1	Woodlawn Avenue	9/18/2022 4:24 PM
2	Willowgrove	7/27/2022 2:34 PM
3	Warrington (grew up in UM- dad went to school at Woodlawn)	5/26/2022 9:37 PM

Q2 How many years have you lived in your current municipality?

Answered: 506 Skipped: 5



	0-5	6-14	15-29	30+	TOTAL	WEIGHTED AVERAGE
Average Years	18.58%	24.70%	30.43%	26.28%	506	17.61
	94	125	154	133		

Q3 What is your age?

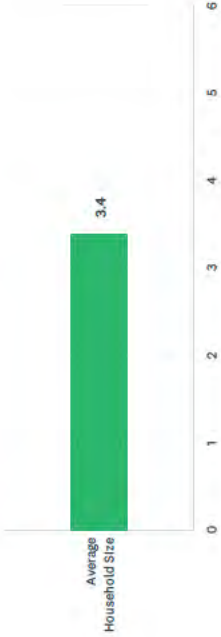
Answered: 504 Skipped: 7



	UNDER 12	13-18	19-24	25-44	45-64	65+	TOTAL	WEIGHTED AVERAGE
Average Age	0.00%	2.18%	2.98%	44.44%	38.49%	11.90%	504	46.01
	0	11	15	224	194	60	504	

Q4 How many people currently live in your household?

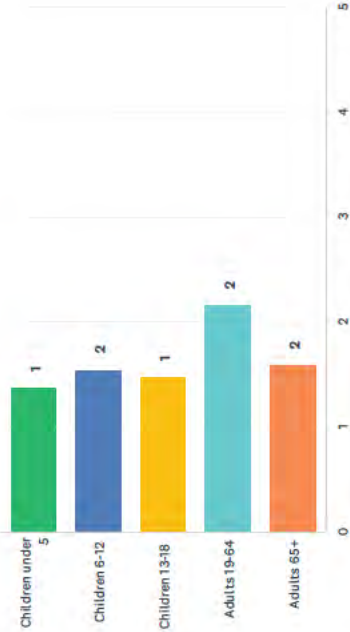
Answered: 504 Skipped: 7



	1	2	3	4	5	6+	TOTAL	WEIGHTED AVERAGE
Average Household Size	2.78%	24.60%	26.19%	29.37%	11.31%	5.75%	504	3.39
	14	124	132	148	57	29	504	

Q5 Please indicate how many people of each age group currently live in your household?

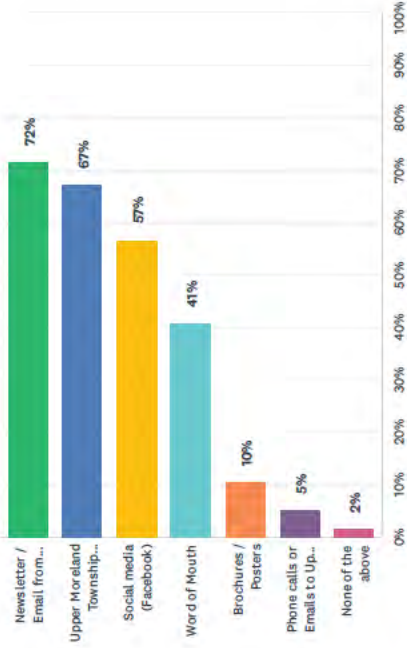
Answered: 504 Skipped: 7



	1	2	3	4+	N/A	TOTAL	WEIGHTED AVERAGE
Children under 5	23.19% 80	8.12% 28	1.74% 6	0.29% 1	66.67% 230	345	1.37
Children 6-12	25.07% 86	13.70% 47	4.37% 15	0.58% 2	56.27% 193	343	1.55
Children 13-18	25.32% 80	14.56% 46	1.56% 5	0.63% 2	57.91% 183	316	1.47
Adults 19-64	11.98% 55	63.18% 290	13.73% 63	6.75% 31	4.36% 20	459	2.16
Adults 65+	15.27% 42	21.82% 60	0.00% 0	0.00% 0	62.91% 173	275	1.59

Q6 Currently, how do you obtain information about Upper Moreland Township park activities and programs? (check all that apply.)

Answered: 487 Skipped: 24



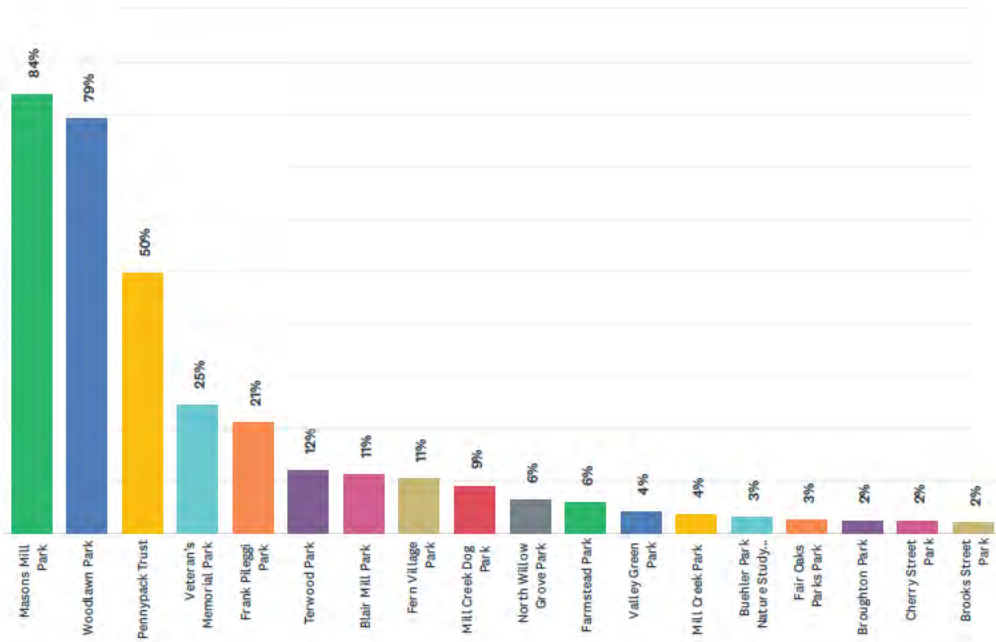
ANSWER CHOICES		RESPONSES
Newsletter / Email from Upper Moreland Township		72% 349
Upper Moreland Township Website		67% 328
Social media (Facebook)		57% 276
Word of Mouth		41% 198
Brochures / Posters		10% 51
Phone calls or Emails to Upper Moreland Township		5% 26
None of the above		2% 8
Total Respondents: 487		

#	OTHER (PLEASE SPECIFY)	DATE
1	I have gotten emails from Nick Skull but rarely	9/27/2022 11:27 AM
2	Quarterly mailed newsletter	9/14/2022 11:37 PM
3	Pat Stasio	7/30/2022 1:17 PM
4	The patch	7/29/2022 11:49 AM
5	Emails from ward commissioner	7/14/2022 12:19 PM
6	Text from twp	6/24/2022 9:40 PM

7	My Dad who is on the steering committee	6/22/2022 4:58 PM
8	Sam Valenza emails, occasionally Nick Scull emails	6/14/2022 9:13 AM
9	commissioner	6/12/2022 12:04 PM
10	ECA	6/9/2022 8:02 PM
11	Sam Valenza's emails	6/9/2022 3:20 PM
12	E-mails from Sam Valenza	6/2/2022 1:34 PM
13	Email from my Commissioner. Sam Valenza	6/1/2022 6:48 PM
14	Mailed to me	5/30/2022 7:14 PM
15	Ward Commissioner	5/29/2022 2:30 AM
16	In person at township building	5/27/2022 4:20 PM
17	My neighbors.	5/27/2022 3:10 PM
18	Emails from UMT	5/27/2022 9:55 AM
19	I think a Facebook page for UMPFR would be a good way to reach more people	5/26/2022 11:10 PM
20	Text	5/26/2022 8:10 PM
21	Commissioner	5/26/2022 4:35 PM

Q7 Which Upper Moreland Township parks do you visit? (Check all that apply.)

Answered: 484 Skipped: 27



Woodlawn Park Master Plan Public Opinion Survey



Woodlawn Park Master Plan Public Opinion Survey

#	OTHER (PLEASE SPECIFY)	DATE
1	With all these parks in proximity, what is the point of making a big park out of woodlawn park. People on the committee do not live in proximity of this park, so why do they have a say. War memorial park is barely used and it is 2 minutes from this park. There were also drug issues/crime issues years back with this park, so this will just cause more issues throughout the neighborhood that we don't need.	9/18/2022 4:29 PM
2	In previous years when children were in the house, we also visited Pileggi. Many of the parks are small and our children wanted to be able to play with others.	9/17/2022 9:18 PM
3	Dog parks in Hosham and Abington	5/26/2022 7:44 PM
4	We live a block from Woodlawn	5/26/2022 4:58 PM

ANSWER CHOICES	RESPONSES
Masons Mill Park	84%
Woodlawn Park	79%
Pennypack Trust	50%
Veteran's Memorial Park	25%
Frank Pileggi Park	21%
Tenwood Park	12%
Blair Mill Park	11%
Fern Village Park	11%
Mill Creek Dog Park	9%
North Willow Grove Park	6%
Farmstead Park	6%
Valley Green Park	4%
Mill Creek Park	4%
Buehler Park Nature Study Area	3%
Fair Oaks Parks Park	3%
Broughton Park	2%
Cherry Street Park	2%
Brooks Street Park	2%
None of the above	1%
Dawson Manor Park	1%
Whitehall Park	1%
Pioneer Woods	1%
Total Respondents: 484	

Q8 In the past 12 months, have you visited any Upper Moreland Township Parks?

Q9 Within Upper Moreland Township parks, which recreational activities do you enjoy most? (Check all that apply.)

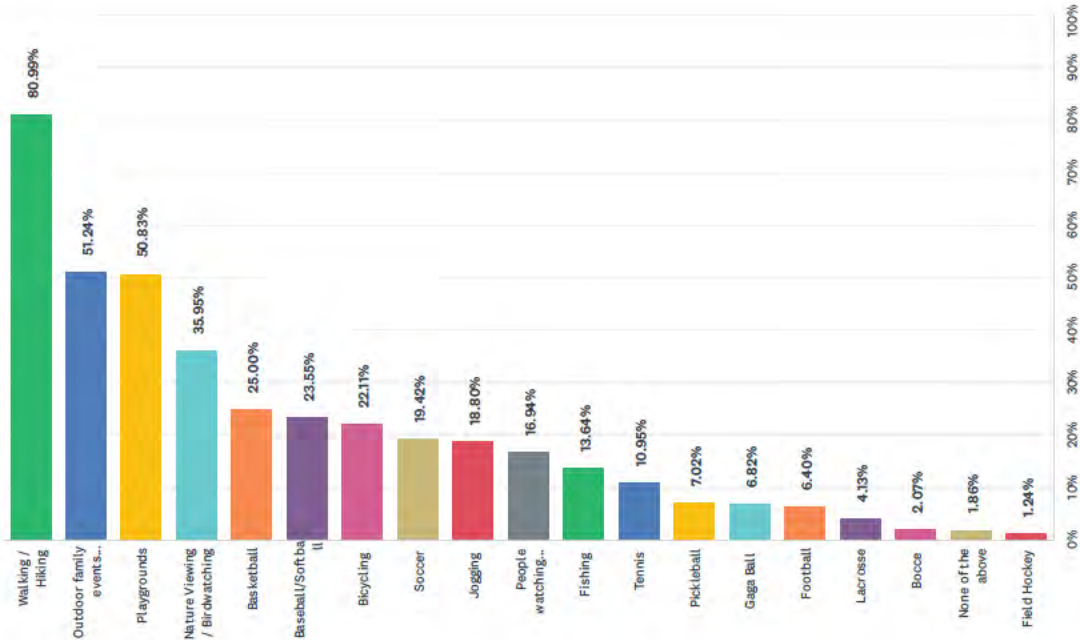
Answered: 486 Skipped: 25

Answered: 484 Skipped: 27



ANSWER CHOICES	RESPONSES
Yes	455 93.62%
No	31 6.38%
TOTAL	486

Woodlawn Park Master Plan Public Opinion Survey



Woodlawn Park Master Plan Public Opinion Survey

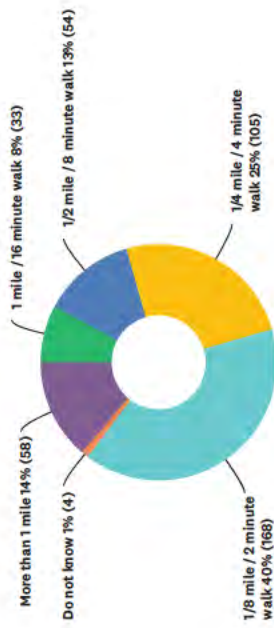
ANSWER CHOICES	RESPONSES
Walking / Hiking	80.99% 392
Outdoor family events (picnicking, playing at the park)	51.24% 248
Playgrounds	50.83% 246
Nature Viewing / Birdwatching	35.95% 174
Basketball	25.00% 121
Baseball/Softball	23.55% 114
Bicycling	22.11% 107
Soccer	19.42% 94
Jogging	18.80% 91
People watching (non-structured)	16.94% 82
Fishing	13.64% 66
Tennis	10.95% 53
Pickleball	7.02% 34
Gaga Ball	6.82% 33
Football	6.40% 31
Lacrosse	4.13% 20
Bocce	2.07% 10
None of the above	1.86% 9
Field Hockey	1.24% 6
Total Respondents: 484	

#	OTHER (PLEASE SPECIFY)	DATE
1	Take grandchildren to the park.	9/18/2022 4:38 PM
2	Basketball nets there already are barely used. We are going to waste tax payer dollars to fund something we already have. Why don't you just build homes to increase the value of homes around here	9/18/2022 4:29 PM
3	practicing disc golf, playing with dog	9/18/2022 2:45 PM
4	Where is Bocce in Upper Moreland?	9/17/2022 9:18 PM
5	Guided art activities	8/25/2022 3:50 PM
6	Dog walking/ playing	8/19/2022 4:16 AM
7	Walking my dogs.	7/31/2022 11:31 AM
8	FISHING IN THE PENNYPACK CREEK	7/29/2022 11:48 AM
9	Swimming	7/27/2022 2:35 PM
10	Dog walking	7/24/2022 7:18 AM
11	Dog walking and playing	6/25/2022 10:24 PM
12	Dog parks	6/25/2022 2:48 PM

13	Dog walking	6/25/2022 8:25 AM
14	Roller Skating, we really need a space to skate.	6/19/2022 8:59 PM
15	Street hockey	6/15/2022 8:31 PM
16	Dog walking	6/14/2022 9:44 AM
17	Dog walk/ park	6/13/2022 10:40 AM
18	dog walking	6/10/2022 3:15 PM
19	Wiffleball	6/9/2022 2:55 PM
20	Archery	6/4/2022 2:22 PM
21	Dog walking	6/2/2022 3:30 PM
22	Bring a Frisbee to throw	6/1/2022 9:21 PM
23	Dog walking	6/1/2022 8:47 PM
24	Ultimate Frisbee	6/1/2022 11:59 AM
25	Dog park	5/31/2022 8:27 AM
26	Dog areas / park	5/30/2022 8:45 AM
27	Outdoor concerts	5/27/2022 10:06 PM
28	Frisbee, Wiffle ball, kite flying, Pokémon	5/27/2022 4:20 PM
29	Archery	5/27/2022 8:42 AM
30	Dog walking	5/27/2022 6:13 AM
31	Take grandchildren to playground	5/26/2022 10:06 PM
32	Many kids is the neighborhood play hockey, but the closest rink at veterans park is closed, and incredibly run down. They usually play in the tennis court at Woodlawn Park.	5/26/2022 9:47 PM
33	Volleyball	5/26/2022 8:45 PM
34	Disc golf	5/26/2022 8:44 PM
35	Water play activities	5/26/2022 8:29 PM
36	Parks that you are allowed to walk a dog	5/26/2022 7:44 PM

Q10 Where do you live in relation to Woodlawn Park?

Answered: 422 Skipped: 00

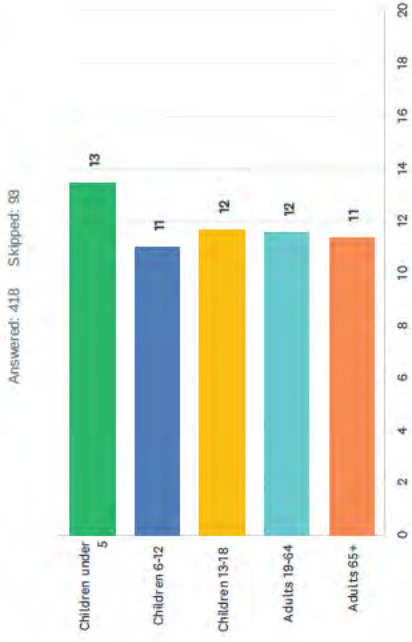


ANSWER CHOICES	RESPONSES
1 mile / 16 minute walk	8%
1/2 mile / 8 minute walk	13%
1/4 mile / 4 minute walk	25%
1/8 mile / 2 minute walk	40%
Do not know	1%
More than 1 mile	14%
TOTAL	422

Q11 Please rate how well the existing recreation facilities (ballfields, trail, playground, etc.) within Woodlawn Park are maintained.



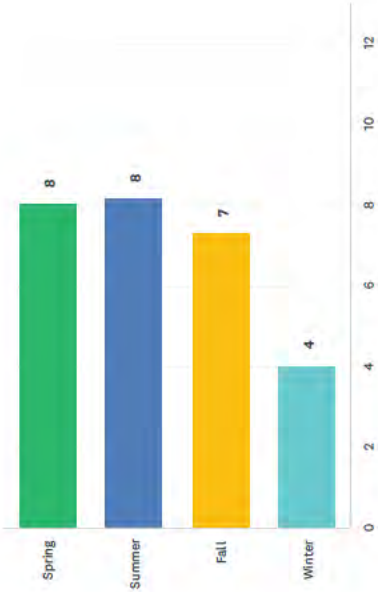
Q12 Thinking about members of your household who are in the age groups below, how many trips in total have the members of your household made to Woodlawn Park in the past 12 months? Note, If you and your 10 year old child visited that is one check in in Children 6-12 row and a second check adults 19-64 row.



	1-5	6-10	11-20	20 OR MORE	N/A	TOTAL	WEIGHTED AVERAGE
Children under 5	18.48% 17	14.13% 13	21.74% 20	38.04% 35	7.61% 7	92	13.44
Children 6-12	28.23% 35	19.35% 24	16.13% 20	26.61% 33	9.68% 12	124	11.01
Children 13-18	22.52% 25	18.02% 20	21.62% 24	25.23% 28	12.61% 14	111	11.70
Adults 19-64	25.42% 91	16.48% 59	15.92% 57	28.21% 101	13.97% 50	358	11.56
Adults 65+	23.60% 21	7.87% 7	5.62% 5	24.72% 22	38.20% 34	89	11.40

Q13 How often and during what seasons do you use the facilities at Woodlawn Park?

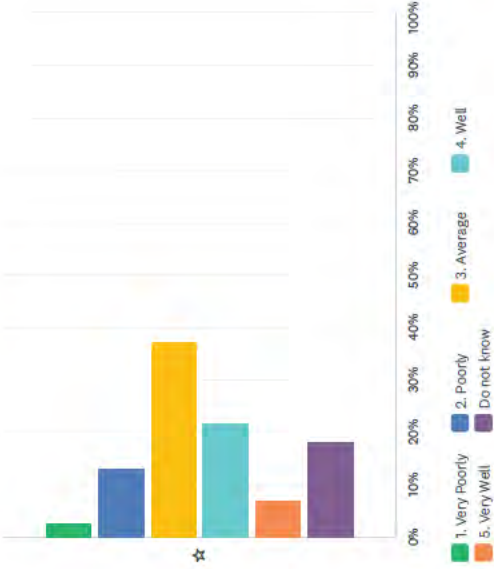
Answered: 423 Skipped: 88



	RARELY (1/SEASON)		OCCASIONALLY (1/MONTH)		FREQUENTLY (1/WEEK)		NEVER		TOTAL		WEIGHTED AVERAGE	
Spring	14%	57	29%	122	49%	206	8%	35	420		8.05	
Summer	19%	63	26%	110	50%	211	8%	34	418		8.17	
Fall	19%	61	33%	139	42%	174	10%	43	417		7.33	
Winter	34%	138	25%	103	14%	58	27%	108	407		4.02	

Q14 Please rate how well do you think children under the age of 5 are served by Woodlawn Park.

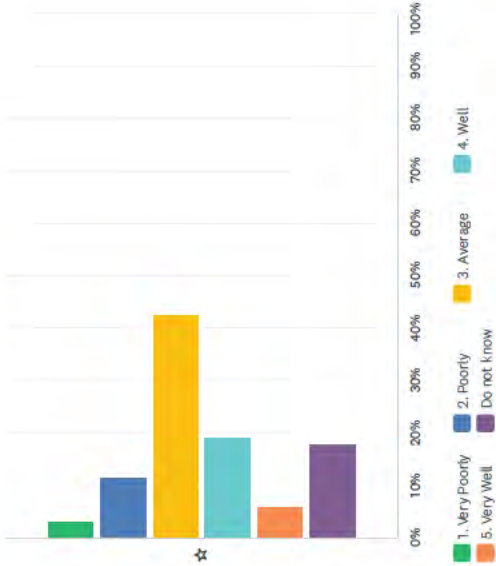
Answered: 418 Skipped: 93



	1. VERY POORLY	2. POORLY	3. AVERAGE	4. WELL	5. VERY WELL	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
☆	2.87%	12.92%	37.32%	21.77%	6.94%	18.18%	418	3.21

Q15 Please rate how well do you think children ages of 6-12 are served by Woodlawn Park.

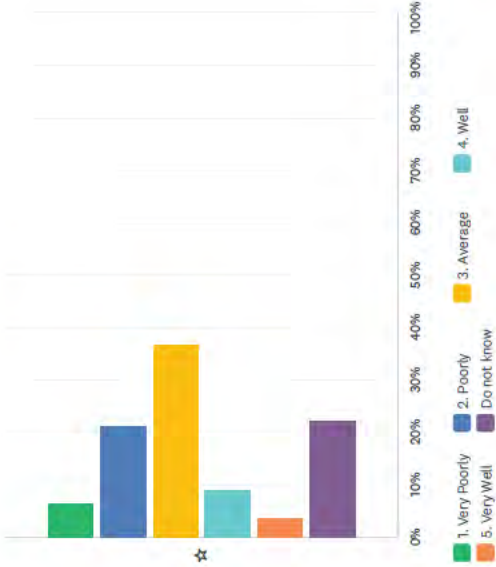
Answered: 422 Skipped: 89



1. VERY POORLY	2. POORLY	3. AVERAGE	4. WELL	5. VERY WELL	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
☆	3.08%	11.61%	42.42%	18.96%	18.01%	422	3.16
	13	49	179	80	76	422	

Q16 Please rate how well do you think children ages of 13-18 are served by Woodlawn Park.

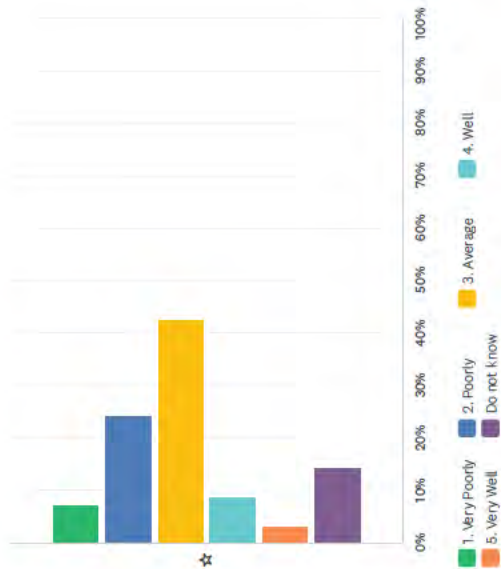
Answered: 420 Skipped: 91



1. VERY POORLY	2. POORLY	3. AVERAGE	4. WELL	5. VERY WELL	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
☆	6.67%	21.43%	36.90%	9.05%	22.38%	420	2.76
	28	90	155	38	94	420	

Q17 Please rate how well do you think adults ages of 19-64 are served by Woodlawn Park.

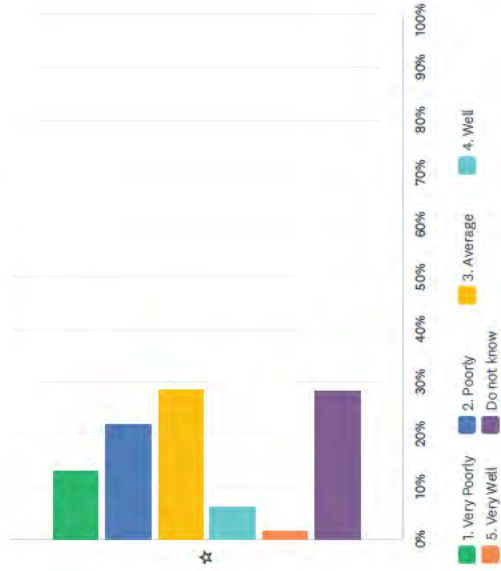
Answered: 420 Skipped: 91



1. VERY POORLY	2. POORLY	3. AVERAGE	4. WELL	5. VERY WELL	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
7.14%	24.29%	42.38%	8.81%	3.10%	14.29%	420	2.73
30	102	178	37	13	60	420	

Q18 Please rate how well do you think adults ages 65 and up are served by Woodlawn Park.

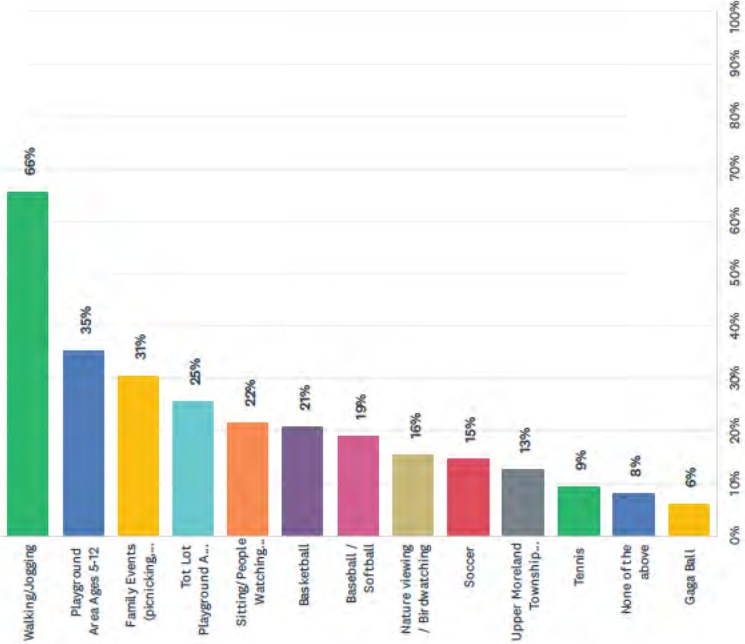
Answered: 419 Skipped: 92



1. VERY POORLY	2. POORLY	3. AVERAGE	4. WELL	5. VERY WELL	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
13.13%	21.96%	28.64%	6.21%	1.67%	28.40%	419	2.46
55	92	120	26	7	119	419	

Q19 What are your favorite activities at Woodlawn Park? (Check all that apply.)

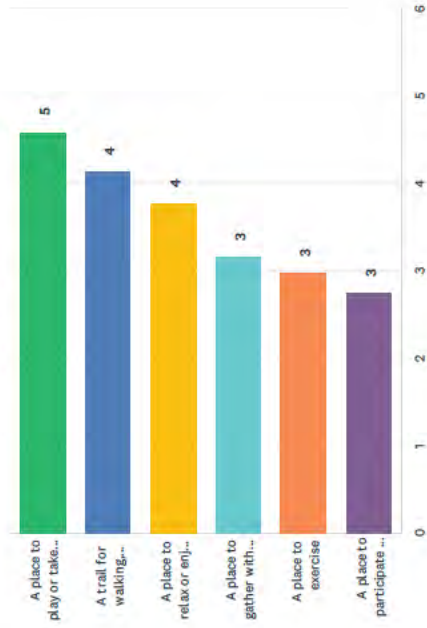
Answered: 416 Skipped: 95



ANSWER CHOICES		RESPONSES
Walking/Jogging		66%
Playground Area Ages 5-12		35%
Family Events (picnicking, playing at the park)		31%
Tot Lot Playground Area Ages 2-5		25%
Sitting/People Watching (non-structured)		22%
Basketball		21%
Baseball / Softball		19%
Nature viewing / Birdwatching		16%
Soccer		15%
Upper Moreland Township Programs/Events		13%
Tennis		9%
None of the above		8%
Gaga Ball		6%
Total Respondents: 416		
#	OTHER (PLEASE SPECIFY)	DATE
1	Taking grandchild to the playground.	10/1/2022 11:43 AM
2	None, you already have most of these amenities and no one uses these. Noise ordinance will be issues, especially for us working people.	9/18/2022 4:36 PM
3	disc golf (use my own basket)	9/18/2022 2:59 PM
4	Watching sports teams outside	9/15/2022 5:24 PM
5	Free Library box for book exchanges.	9/11/2022 9:41 PM
6	Wish the playground was better suited for kids under 5 as well. Mommy and me swings, splash pad, etc...	9/7/2022 10:41 PM
7	Walking dog	6/14/2022 10:03 AM
8	What is Gaga ball?	6/9/2022 11:02 AM
9	Dog walking	6/2/2022 3:37 PM
10	Dog walking	6/1/2022 8:52 PM
11	When my children were younger we used the playground often	5/27/2022 6:21 PM
12	Watching space launches	5/27/2022 4:30 PM
13	Get together with other moms and friends.	5/27/2022 3:25 PM
14	We walk the dog around the park	5/27/2022 10:32 AM
15	We play hockey in the tennis court.	5/26/2022 9:54 PM
16	My nieces and nephew enjoy going there for the playgrounds and Gaga pit	5/26/2022 9:08 PM
17	Woodlawn has the most beautiful view of sunsets and stare at night. My children love the tennis courts for riding bikes, scooters, roller skates and skateboards. Many others do the same. I also run the track daily. Both are a highlight of living on the park.	5/26/2022 8:31 PM

Q20 Rank, 1 through 6, the recreational opportunities you want from Woodlawn Park in order of preference, 1 being your most preferred quality?

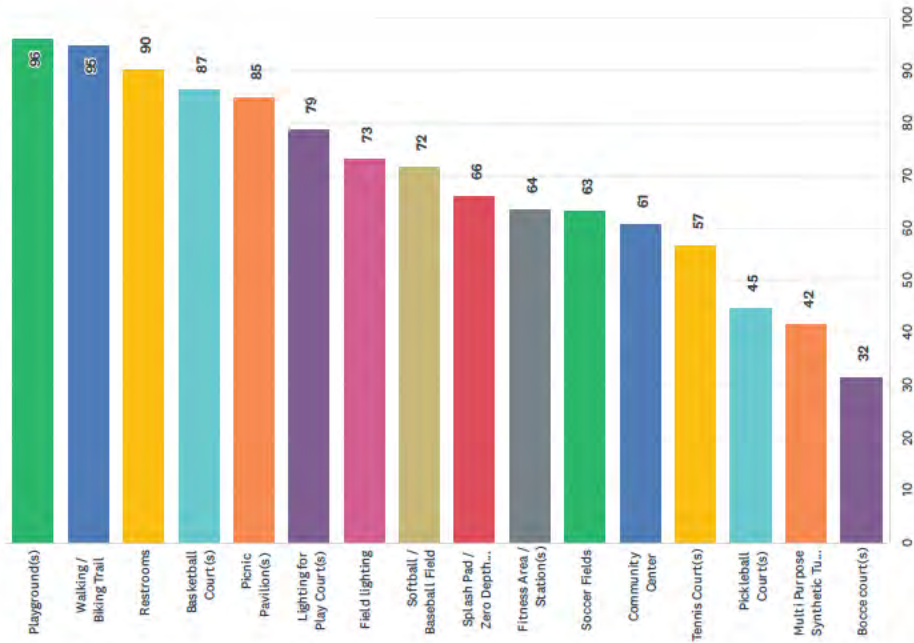
Answered: 425 Skipped: 86



	1	2	3	4	5	6	N/A	TOTAL	SCORE
A place to play or take children to play	41.34%	17.82%	12.13%	9.16%	8.66%	5.84%	4.95%	404	4.59
A trail for walking, jogging, or bicycling	27.07%	20.73%	16.10%	14.15%	14.39%	5.85%	1.71%	410	4.15
A place to relax or enjoy the outdoors	12.96%	22.00%	21.27%	18.34%	14.43%	7.82%	3.18%	409	3.77
A place to gather with neighbors, friends, and/or family	6.11%	14.67%	17.85%	22.00%	21.52%	13.94%	3.91%	409	3.17
A place to exercise	4.43%	15.02%	17.73%	17.49%	18.72%	21.92%	4.68%	406	2.98
A place to participate in or watch sports	9.81%	9.09%	13.16%	13.40%	16.03%	34.45%	4.07%	418	2.75

Q21 Specifically regarding the master plan for Woodlawn Park, which new or additional facilities and activities do you think should be considered?

Answered: 422 Skipped: 89



	YES	NO	DON'T KNOW	TOTAL	WEIGHTED AVERAGE
Playground(s)	93.00% 372	3.75% 15	3.25% 13	400	96.12
Walking / Biking Trail	91.53% 378	4.84% 20	3.63% 15	413	94.97
Restrooms	86.03% 351	9.31% 38	4.66% 19	408	90.23
Basketball Court(s)	77.02% 305	11.87% 47	11.11% 44	396	86.65
Picnic Pavilion(s)	77.14% 307	13.57% 54	9.30% 37	398	85.04
Lighting for Play Court(s)	70.41% 276	18.88% 74	10.71% 42	392	78.86
Field lighting	65.90% 259	23.92% 94	10.18% 40	393	73.37
Softball / Baseball Field	58.14% 225	23.00% 89	18.86% 73	387	71.66
Splash Pad / Zero Depth Water Play	58.31% 228	29.92% 117	11.76% 46	391	66.09
Fitness Area / Station(s)	51.55% 199	29.53% 114	18.91% 73	386	63.58
Soccer Fields	50.77% 198	29.49% 115	19.74% 77	390	63.26
Community Center	52.03% 205	33.50% 132	14.47% 57	394	60.83
Tennis Court(s)	45.83% 176	34.90% 134	19.27% 74	384	56.77
Pickleball Court(s)	33.77% 130	41.82% 161	24.42% 94	385	44.67
Multi Purpose Synthetic Turf Field	33.25% 128	46.23% 178	20.52% 79	385	41.83
Bocce court(s)	22.83% 84	49.46% 182	27.72% 102	368	31.58

#	OTHER (PLEASE SPECIFY)	DATE
1	Dog park Space for fairs	9/18/2022 4:45 PM
2	Why waste all this money. Mason's mill is 5-10 away from woodlawn park and away from residential area. Pileggi park is never used, put it there. We do not need these features at Woodlawn park. It will cause disturbances to the neighborhood and would be better suited for single family properties.	9/18/2022 4:36 PM
3	Single, residential family homes	9/18/2022 4:33 PM
4	This is a residential area. Nothing that is going to bring a lot of outsiders into the area.	9/18/2022 3:47 PM
5	1. Dog park - Most people already walk their dogs in the park, which drives me crazy seeing the rule infraction, but you don't have anyone there to enforce it. With a dog park, maybe people would at least target their dog activity there. 2. A couple holes of disc golf - the sport has really been growing in popularity and this would be a great neighborhood destination for people to come throw discs from different distances. 3. I cannot emphasize loudly enough: PLEASE DO NOT MAKE THIS A COMMUNITY CENTER or "destination spot". I have an issue with all 4 concepts presented, because all of them involve creating extra parking. This is	9/18/2022 3:30 PM

Woodlawn Park Master Plan Public Opinion Survey

6	dog park area, non sense too many parks are not dog friendly. There are a significant number of households within this neighborhood that have dogs. Our backyards are small. Having a large area that is close by/walking distance is favorable for a majority of residents here. Additionally, any type of community center/performing area should NOT be considered. Division Rd is bad enough with traffic from the residents with near accidents and constant traffic violations. Inviting more people to a smaller park will only cause more issues.	9/18/2022 2:59 PM
7	A community pool would be great for the kids and adults in the area. Some cannot afford the UM swim club membership	9/16/2022 11:43 AM
8	Ability to walk leashed, licensed dogs in the park. (Even if UM wants to have them registered for a fee)	9/15/2022 12:28 PM
9	Pool	9/14/2022 11:44 PM
10	Splash pad would be a dream for younger children. Pleaseeeee add one! Also bathrooms for the kids.	9/14/2022 7:22 PM
11	Dog Park/Dog Run	9/2/2022 12:07 PM
12	Any lights in place should be installed with environmental impacts in mind	9/1/2022 2:06 PM
13	Dog park	8/28/2022 8:32 AM
14	possibly a dog park.	8/18/2022 8:10 AM
15	A dog park so that the people will not walk their dogs on the playing fields which they have been doing for over thirty years.	8/17/2022 5:13 PM
16	Field lighting may be disruptive to the immediate neighbors of the park. Temp. soccer field when baseball is not in season.	8/12/2022 1:32 PM
17	horseshoe court and/or shuffleboard court maybe 1 picnic pavilion (for shade) and/or a couple more picnic tables and/or benches	8/9/2022 8:48 PM
18	Leashed dog walking should be allowed.	7/31/2022 11:55 AM
19	This really needs to also be about teenagers in our community. Maybe skateboarding ramps or bike ramps.	7/30/2022 1:30 PM
20	SNACK STAND OR VENDING MACHINES	7/29/2022 12:04 PM
21	A small parking lot along middle fence to allow / invite people into the park first and foremost. If you don't bring people into the park and make them park on neighborhood streets or walk up hills to get to park then I think park will not get much use.	7/26/2022 3:40 PM
22	I do not think dogs should be off limits completely - allow them in the early morning hours from dawn until 9 or 10am.	7/24/2022 7:28 AM
23	No community Center. More trees. Move playground equipment. Too isolated and away from visibility.	7/19/2022 9:42 AM
24	Woodlawn Park is part of my daily walking route. I want to make sure that the ability to use it for that purpose is preserved and that it is not overrun with facilities for group sports activities.	7/14/2022 11:08 AM
25	It already looks better 7/13/22 w/o the school. Leave as open space do not put any more buildings. Fix up existing tennis and basketball courts.	7/13/2022 8:44 PM
26	Dog park area	6/25/2022 11:11 PM
27	Dog park too	6/25/2022 3:01 PM
28	Some empty green space and some shade trees. I've attended yoga classes at a park in Hatboro. Held under the trees with birds chirping and woodpeckers above us it was glorious - would love to do the same at Woodlawn so I can walk rather than drive to class.	6/24/2022 10:19 AM
29	Picnic Pavilion with grilles, benches, and bathrooms for families is the best idea hands down. Complement green space while keeping costs lower than a whole community center building.	6/23/2022 2:35 PM

Woodlawn Park Master Plan Public Opinion Survey

30	Local community membership pool.	6/19/2022 11:37 AM
31	More grass field are would be perfect	6/19/2022 11:15 AM
32	Nature / trees / sitting area	6/11/2022 11:33 AM
33	Pump track/bike skills area	6/10/2022 3:20 PM
34	Community center with basket ball courts	6/9/2022 8:23 PM
35	Can you have the pickle ball and tennis on same playing area	6/9/2022 7:03 PM
36	A community center where older adults could go during the day would be great. An after school program would generate funds. Sport courts for nights & weekends	6/9/2022 3:08 PM
37	A water bottle fill-up station would be AMAZING	6/9/2022 3:03 PM
38	The children in the neighborhood really need a splash zone or a pool. Willow Grove doesn't have a public pool anywhere and this is a concern for me as I have no way to teach my child how to swim. And for the older crowd a water featured garden or walking trail would be nice.	6/9/2022 11:02 AM
39	Dog Park	6/7/2022 6:34 AM
40	Regular security patrols or on-site park guard 24/7/365. Noise barrier for direct neighbors whether it be building, parkinging lots or trees on exterior if property Please leave the flag tower and add some kind of memorial to Woodlawn School	6/5/2022 12:22 PM
41	I work for ELED lights on Davisville road in Hatboro we do indoor and outdoor lighting Please call 215-355-7200 and we can help with any lighting needs or questions.	6/2/2022 11:08 PM
42	Parking lot with some parking restrictions on Division Ave.	6/2/2022 8:51 AM
43	Splash Pad would be my number one suggestion!	6/1/2022 12:02 PM
44	Little free library (small weatherproof cabinet with shared books)	5/31/2022 9:22 PM
45	Community Pool	5/31/2022 2:37 PM
46	A splash pad in the summer would be great, with a picnic area too.	5/30/2022 7:59 PM
47	Dog park area	5/30/2022 8:51 AM
48	No Pool!!	5/30/2022 8:15 AM
49	Dog park	5/28/2022 4:54 PM
50	I think lighting and restrooms would be my top priority upgrades.	5/28/2022 11:37 AM
51	Pool	5/27/2022 11:14 PM
52	Stage for music and movies in the park.	5/27/2022 8:13 PM
53	Community center would be a nice addition. Bathrooms would also be a great addition, especially for children who are using the playground	5/27/2022 6:21 PM
54	Wildlife habitat!	5/27/2022 5:45 PM
55	Skateboard area, dog park area	5/27/2022 5:44 PM
56	Area for dogs to be walked or play	5/27/2022 4:40 PM
57	Gaga Pit rededicated to the Girl Scout troop 7285 who initially used the cookie money they earned to buy the supplies and helped the township put it together	5/27/2022 4:30 PM
58	I would LOVE picnic tables and trees. Maybe a small open walls pavilion where the library could host story times, and a couple restrooms attached.	5/27/2022 3:25 PM
59	STRONGLY recommend hiring a guard to patrol the park during off hours - we live adjacent to the park and have to endure a lot of concerning behavior from teens and young adults in the park after dark	5/27/2022 12:55 PM
60	Biking pump track.	5/27/2022 12:22 PM
61	Dog Park! Or at least the ability to walk the dog through the park. There are SO MANY dogs in	5/27/2022 10:32 AM

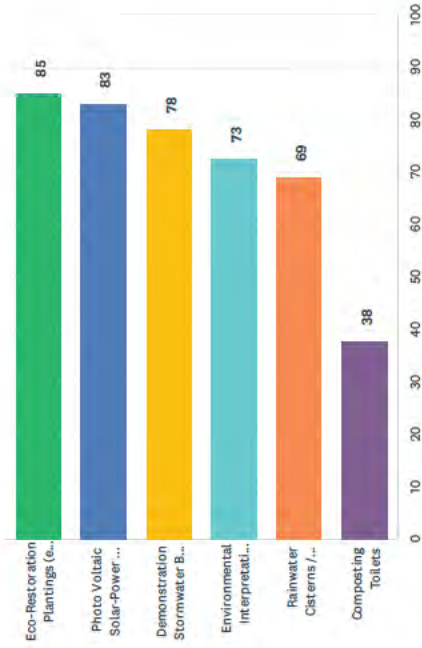
Woodlawn Park Master Plan Public Opinion Survey

the neighborhood!		
62	Dog park	5/27/2022 8:01 AM
63	Is a community pool something that would be feasible?	5/26/2022 11:23 PM
64	A place for the Upper Moreland parks and rec kanate program to continue year round.	5/26/2022 10:36 PM
65	Would like bigger walking track	5/26/2022 10:04 PM
66	seperate fenced area for under 5 playgrounds	5/26/2022 9:48 PM
67	Volleyball	5/26/2022 8:51 PM
68	Dog park	5/26/2022 8:23 PM
69	Safety townbike scooter area	5/26/2022 8:17 PM
70	Sunshade over playground, natural play structure	5/26/2022 8:15 PM
71	Would love for this to stay a neighborhood/township park where it is mostly used by people who can walk/bike to the park unlike masons mill which is massive and brings in people from all over.	5/26/2022 8:10 PM
72	More swings and large play areas for children and picnic tables with a shaded area for young children. Pls make it unacceptable for people to let dogs run loose, which now happens every day, as the owners disregard signs.	5/26/2022 8:10 PM
73	Out door pods/swim club	5/26/2022 8:05 PM
74	I would like to see this stay a small community park - not an attraction for people to drive to from all over Montgomery county.	5/26/2022 8:04 PM
75	Dog park Skate park	5/26/2022 7:50 PM
76	Roller hockey rink	5/26/2022 7:31 PM
77	Place to bring my pet	5/26/2022 6:50 PM
78	I'll give you an idea that should be passed around. It could be a bit and at least deserves to be talked about. How about a building with desks for people who work from home to rent? They have places like this in the city. It would need desks, electric, water. People in the neighborhood could rent a desk monthly or on a daily basis. It would generate revenue and serve freelancers and other work-at-home types.	5/26/2022 6:18 PM
79	Swimming	5/26/2022 5:03 PM
80	DOG PARK!	5/26/2022 4:49 PM
81	A public pool!	5/26/2022 4:17 PM
82	Parking so people stop blocking the roads	5/26/2022 3:24 PM

Woodlawn Park Master Plan Public Opinion Survey

Q22 In regards to Woodlawn Park which of the following ecologically-driven facilities and activities should be considered for the park?

Answered: 419 Skipped: 92



	YES	NO	DO NOT KNOW	TOTAL	WEIGHTED AVERAGE
Eco-Restoration Plantings (e.g. Wildflower Meadows, Tree Canopy Planting)	71.26%	12.56%	16.18%	414	85.01
Photo Voltaic Solar-Power for Building or Lighting	63.66%	13.17%	23.17%	410	82.86
Demonstration Stormwater Best Management Practices Garden (e.g. rain garden, vegetated swale, porous paving)	57.60%	15.93%	26.47%	408	78.33
Environmental Interpretation (e.g. watersheds; plants; nature study; bird watching)	58.09%	21.81%	20.10%	408	72.70
Rainwater Cisterns / Harvesting for reuse	49.75%	22.28%	27.97%	404	69.07
Composting Toilets	25.19%	41.48%	33.33%	405	37.78
#	OTHER (PLEASE SPECIFY)			DATE	
1	Nothing that will attract mosquitoes or other bugs. Section for wildflowers may be nice because there i a lack of bees around for pollination.			9/18/2022 3:47 PM	
2	I work for a municipality - I'm aware stormwater and sustainability measures often have added cost. However, the implementation rarely has detriment, so I wouldn't vote it down.			9/18/2022 3:30 PM	

Woodlawn Park Master Plan Public Opinion Survey

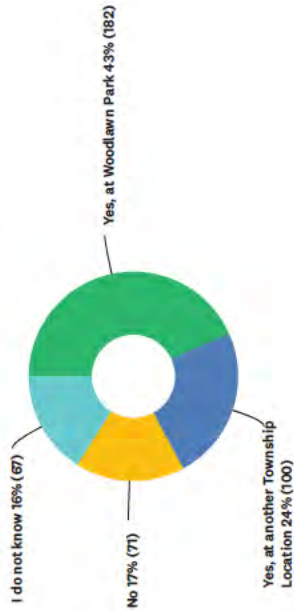
3	Careful consideration with water based eco ideas. Its a friendly invitation to buggy areas in which quickly become overgrown and not cared for.	9/18/2022 2:59 PM
4	We should be incorporating nature and the environment into all of our public plans. Ushering in an environmentally-sensitive park would be great not only for guests but for residents and the entire community.	9/1/2022 2:06 PM
5	I believe that the park is not large enough to incorporate most of these facilities.	8/9/2022 9:48 PM
6	hilltop location seems impractical for most rainwater purposes	8/3/2022 8:24 PM
7	Anything we can do to be good stewards of nature and our environment through this opportunity would be appreciated. I'd like to see this be a model for parks/community recreation and community building - a place for fostering kindness, unity and healthy lifestyles, and healthy civil dialogue. Let's make Woodlawn and Upper Moreland a model that other communities seek to emulate.	6/24/2022 10:19 AM
8	A Coy pond would be a good addition	6/17/2022 10:07 AM
9	Natural sound barriers between park and street.	6/14/2022 9:09 AM
10	Eco preservation should be a priority.	6/9/2022 9:31 PM
11	native plantings	6/1/2022 8:09 PM
12	Against anything that would require staffing and increased taxes. No pool!!! No community center - thats ridiculous	5/30/2022 8:15 AM
13	Every small space preserved for bird and pollinator habitat makes a huge difference with all of the bird and pollinator population loss we have realized in recent years!	5/27/2022 5:45 PM
14	Native perennial plants that help pollinators and birds.	5/27/2022 3:25 PM
15	Native plantings to the Northeast	5/27/2022 7:31 AM
16	Music	5/27/2022 6:18 AM
17	It's at the top of a hill. Not sure if any of these make sense besides solar.	5/26/2022 10:36 PM
18	A paved area for very young bike riders would be great! Add a play area for handicapped children like they have in Horsham at "Everybody's Playground" on Drieshtown Rd.	5/26/2022 8:10 PM
19	A splash pad would be a wonderful addition as I'm not aware of any in the surrounding area. Lighting would be nice but I don't know how disruptive it would be to the surrounding homes. The top suggestions from the list provided are a community center and splash pad.	5/26/2022 4:21 PM

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Q23 If you would you like to see a community Center in Upper Moreland, please select the answer that best represents your opinion.

Answered: 420 Skipped: 91



ANSWER CHOICES	RESPONSES	
Yes, at Woodlawn Park	43%	182
Yes, at another Township Location	24%	100
No	17%	71
I do not know	16%	67
TOTAL		420

#	IF YOU ANSWERED, "YES, AT ANOTHER TOWNSHIP LOCATION", PLEASE SHARE ANY IDEAS YOU HAVE REGARDING POTENTIAL LOCATIONS:	DATE
1	Would need more parking.	9/18/2022 4:45 PM
2	Mason's mill, pilegg park, war memorial park. All parks within 5-10 minutes from each other	9/18/2022 4:36 PM
3	Masons Mill Park	9/18/2022 4:33 PM
4	Masons Mill Park	9/18/2022 3:47 PM
5	Activities will exist for my future children whether at a community center or elsewhere, so I don't really care if you plan for one - just PLEASE, NOT at Woodlawn.	9/18/2022 3:30 PM
6	I don't want a community center to take away some important features that will serve children and youth. If not Woodlawn, I don't know which other park.	9/17/2022 9:36 PM
7	The open lot across from the library would be good-what about a senior center like all the other townships?	9/16/2022 11:43 AM
8	community center should be located where there's a lot of space so no issues with parking. Masons Mill business center right near the park has a lot of parking and a lot of space available to me that makes more sense because it's also close to the park. It should not be located within a neighborhood where parking is already an issue	9/15/2022 5:24 PM
9	As someone who has lived with that eyesore of a school building for the past 30 years, I would	9/15/2022 12:28 PM

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10	prefer NO buildings at Woodlawn Park	9/14/2022 7:22 PM
11	Not sure specific location, but probably one with more space.	9/14/2022 9:50 AM
12	Mason's Mill Park	9/14/2022 12:57 AM
13	An area with ample parking	8/12/2022 1:32 PM
14	I view Woodlawn as a neighborhood park, a Community Center will bring significant traffic into an already dense, poorly lit neighborhood. I feel a Community Center fits more in a destination park/area that isn't considered to be residential. I would like to see a Community center in an area where land is being redeveloped that can handle the traffic (think along Davisville Rd with the YMCA, New Station Apt. buildings, & new Retirement home going in).	8/9/2022 8:48 PM
15	Mason Mills Park or another larger park	8/4/2022 11:40 AM
16	Mason mill park back beyond the football fields	8/3/2022 8:24 PM
17	something more urban / accessible	7/20/2022 3:49 PM
18	Woodlawn Park is too small for a community center.	7/13/2022 8:44 PM
19	No do not want center that we have pay for and maintain. Leave Woodlawn as open space. Near the Township Building/police station/library, ball field near Davisville & Pennypack Road, or anywhere that is not in the middle of a residential area	7/11/2022 10:45 PM
20	Senior center?	7/1/2022 2:35 PM
21	Frank Pileggi Park	6/29/2022 7:55 PM
22	Somewhere that has a larger amount of unutilized space or maybe a park that isn't more popular.	6/25/2022 4:04 PM
23	How large of a building is the Township considering? Possibly the fire house at Davisville on County line when it closes permanently.	6/24/2022 9:54 PM
24	I really like the idea of a community center. I even like the idea of it at Woodlawn so it is within walking distance. However, I don't want to see a community center at the expense of the park and green space. I'd want to see the integration of underground parking or other sustainable options to accommodate community center parking needs without creating community congestion or compromising green space. If that's not possible then I'd welcome other location ideas. 1921 Old York (looks like an old auto car lot) and the Ajile building have both been seemingly vacant the 4 years I've lived here...	6/24/2022 10:19 AM
25	War Memorial Park	6/23/2022 2:35 PM
26	at the old office Max location in Willow Grove	6/14/2022 9:25 AM
27	Pileggi park this park is not used.	6/12/2022 12:29 PM
28	Possibly Woodlawn if space based on other priorities. Want it to be somewhere that many can walk to, so not Masons Mill Park.	6/11/2022 11:33 AM
29	Mason mill park	6/10/2022 2:20 PM
30	Mason Mill	6/9/2022 4:11 PM
31	At the old Savers/Office Max store	6/7/2022 8:07 PM
32	Masons mill park they already have parking.	6/6/2022 7:29 AM
33	Senior center , not rec center...at Woodlawn Park... the kids have the rest of the park to use	6/5/2022 12:22 PM
34	Somewhere like Masons Mill or War Memorial Park...where it is not directly in a dense residential area	6/3/2022 8:11 AM
35	Veterans memorial park.	6/2/2022 11:08 PM
36	In the area near the Davisville Road baseball field	6/2/2022 1:42 PM
37	Close to the Township bldg as it is in the center of the township for all to access	6/1/2022 8:30 PM

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38	mason mill park or next to library	6/1/2022 8:11 PM
39	Masons Mill Park	5/31/2022 5:36 PM
40	Mason Mill has more space and parking	5/31/2022 2:37 PM
41	Masons mill	5/30/2022 11:24 AM
42	Somewhere near a main road. A center will bring too much unwanted traffic into the neighborhood	5/30/2022 8:51 AM
43	Masons mill	5/29/2022 9:01 AM
44	Woodlawn is not large enough for a community center and it could be an obstruction to neighboring homes.	5/29/2022 2:42 AM
45	Unsure of area but not Woodlawn as there is insufficient parking there.	5/28/2022 10:58 AM
46	It just doesn't feel like Woodlawn is big enough to host a community center plus enough other good activities.	5/27/2022 8:13 PM
47	Near the train station	5/27/2022 4:30 PM
48	Maybe next to the library/ the township building. Or around Pileggi Park. I would not want anything build at Woodlawn, besides some restrooms. We want trees, and green areas.	5/27/2022 3:25 PM
49	Not sure but mason's mill	5/27/2022 8:58 AM
50	The woods behind the football field at Mason's Mill Park. Undersused space now.	5/27/2022 6:58 AM
51	Not sure what a "community center" entails, maybe at Masons Mill?	5/27/2022 6:33 AM
52	I think a central location like Veterans Park.	5/26/2022 11:23 PM
53	War memorial park	5/26/2022 10:46 PM
54	It seems as though Mason's Mill has more room to build a community center for the township.	5/26/2022 10:23 PM
55	Pileggi park or veterans park	5/26/2022 10:04 PM
56	Mason Mill Park has the space and facilities for a Community Center. Woodlawn Park is in the middle of a neighborhood and all available space should be used for outdoor recreational space. A gym does not belong in the middle of a neighborhood, especially when Mason Mill has that available space, parking and is not in the middle of a neighborhood	5/26/2022 9:00 PM
57	I think Mason Mill	5/26/2022 8:41 PM
58	Downtown - old Marshalls (outdoor mall) across from police station	5/26/2022 8:31 PM
59	Any available space would be great to add a community center for youth and for seniors.	5/26/2022 8:16 PM
60	By the Giant where there currently is a unused skate park situation and random helicopter memorial. This will have ZERO neighbor impact and have space for parking	5/26/2022 8:15 PM
61	Anywhere else--all the parks for kids sports practices are currently on the other end of the district, and I'd love the ability for my kids to have any sports practice at their local park for once. Instead of always to drive over to the elementary center area. The community center would make that impossible and take away the only public green space in the woodlawn area.	5/26/2022 7:54 PM
62	See my idea above. Rentable office space for freelancers and work from home types. Another idea, a large room that could be used for medium sized parties/barquets.	5/26/2022 6:18 PM
63	Along Woodlawn, similar to the location of the school. There should be bathrooms attached that allow for 24/7 access.	5/26/2022 5:03 PM
64	mason mill	5/26/2022 4:25 PM
65	Masons Mill	5/26/2022 4:22 PM
66	Masons Mill	5/26/2022 4:22 PM
67	Mason Mill or Pileggi	5/26/2022 4:22 PM
68	I recognize the cost and undertaking of a community center, but I think it would be amazing if	5/26/2022 4:17 PM

one were to be included in the redevelopment.

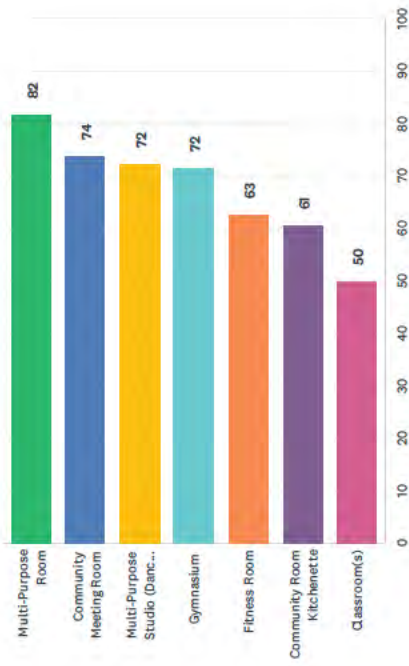
Somewhere better suited to traffic/parking

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5/26/2022 3:24 PM

Q24 If a community center is considered, what facilities do you think should be included in the building?

Answered: 400 Skipped: 111



	YES	NO	DON'T KNOW	TOTAL	WEIGHTED AVERAGE
Multi-Purpose Room	72.92%	16.41%	10.88%	384	81.63
Community Meeting Room	64.86%	22.74%	12.40%	387	74.04
Multi-Purpose Studio (Dance, Fitness Classes, Etc.)	64.51%	24.61%	10.88%	386	72.38
Gymnasium	60.31%	23.97%	15.72%	388	71.56
Fitness Room	52.99%	31.69%	15.32%	385	62.58
Community Room Kitchenette	49.34%	32.02%	18.64%	381	60.65
Classroom(s)	37.93%	38.20%	23.87%	377	49.83

#	OTHER (PLEASE SPECIFY)	DATE
1	Stop wasting tax payers' dollars on useless shit. Repave roads that need repaving, fix the neighborhood to make it better. We do not need another big park that rarely gets used. You put single family homes, you get more tax dollars from more residential homes.	9/18/2022 4:36 PM
2	No community center at Woodlawn Park.	9/18/2022 4:33 PM

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3	Should not be considered. There are no areas large enough to consider sufficient parking. It will only be useful for a small portion of the year. It will cause more issues between the residents near Woodlawn park with the township.	9/18/2022 2:59 PM
4	Who will supply instructors if a multi-purpose studio is part of the plan?	9/17/2022 9:36 PM
5	Would love to have a community center here!	9/2/2022 12:07 PM
6	Rooms for art activities, group discussions, healing programs/counseling	8/25/2022 3:55 PM
7	Indoor basketball courts, our township does not have any indoor basketball spaces available for team or individual use.	8/10/2022 1:29 AM
8	Scout meeting room and storage (Girl Scouts and BSA)	8/4/2022 6:34 PM
9	Trips	7/29/2022 11:53 AM
10	Indoor Basketball courts are needed	7/18/2022 8:40 PM
11	Art Gallery with rotating exhibits by local artists	6/24/2022 10:19 AM
12	If there's a community center my concern is that it will just be another locked up building rarely used. The only way I see a community center building successful is if there are scheduled daily events for people to attend to. Like art classes, or summer camps. Even still I feel as though our schools can be used for activities like these. Evenings after school days, it can be opened for adult art classes, teaching dance classes for couples, adult sports clubs, open the pool in the winter weekends for free swims for the public with a \$5 entry to raise mo way to support maintenance cost for the pool. Our schools represent a community already. Again I don't see a point to another locked up building to rarely be used.	6/23/2022 2:19 PM
13	Since this neighborhood has no Commercial Business companies a center would bring way too many cars up and down the streets.	6/20/2022 11:27 AM
14	Indoor pool?	6/14/2022 9:25 AM
15	Internet and charging stations	6/14/2022 9:09 AM
16	WiFi enabled	6/10/2022 1:59 PM
17	Stated above.	6/9/2022 3:08 PM
18	The ability to rent out a space with kitchen for gatherings.	6/9/2022 11:31 AM
19	Two multi purpose rooms would be a good solution to fit many uses if set up properly. They could be used as classrooms, fitness rooms, or even banquet rooms. An indoor pool would be an added plus as it would give a great chance for older ones to get low impact exercise and young ones the chance to learn to swim. This feature would greatly fill a large gap in the community and the current Township's Parks and Recreation programs.	6/9/2022 11:02 AM
20	Senior gathering events during the day as most don't stay up late.	6/5/2022 12:22 PM
21	Place to rent out for parties would be fantastic	5/30/2022 7:19 PM
22	No UMTP staff	5/30/2022 8:15 AM
23	Schools and library and township building are available for meetings and night school, there are plenty of spaces if a group wants one. Ben Wilson center in Warminster is a great center but it takes a huge amount of volunteers, a full time paid staff, and dues paying members...not sure if upper Moreland would support that commitment	5/29/2022 12:15 AM
24	Something similar to Hosham's community center would be nice	5/27/2022 6:21 PM
25	Honestly, the YMCA is around the corner for all these fitness and activity purposes... unless the costs would be free, it's going to be hard for us to support a space like that. The library has multipurpose rooms. The Giant has a bunch too.	5/27/2022 3:25 PM
26	Day care	5/27/2022 12:22 PM
27	Pool	5/27/2022 12:19 PM
28	I think the community meeting room & the multi-purpose room are one in the same!! yes to one but not both.	5/27/2022 7:31 AM

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29	Night lighting and badge security entrance	5/27/2022 6:18 AM
30	Doesn't the Y already fill many of these type of community needs? I'm pretty sure they give away gym memberships to people with a financial need. There's also a planet fitness by the mall that is a really inexpensive place to work out. Don't think a gym is needed at the community center.	5/26/2022 11:23 PM
31	Don't want one at this location.	5/26/2022 9:50 PM
32	No community center please	5/26/2022 9:08 PM
33	No room for parking on streets that a community center will generate. Parking lot will take away green space.	5/26/2022 9:06 PM
34	Please do not put a community center here. Traffic would become horrible and there would be a loss of green space in the community.	5/26/2022 8:52 PM
35	I would not be pleased with a community center in the neighborhood. The Y is close enough.	5/26/2022 8:10 PM

Q25 What do you like most about Woodlawn Park?

Answered: 311 Skipped: 200

#	RESPONSES	DATE
1	Location and playground for children.	10/1/2022 9:40 PM
2	The playground for young children.	10/1/2022 11:45 AM
3	Just seeing the open grass area undisturbed is enough for me - the more unused the better.	9/29/2022 3:20 PM
4	proximity, seeing children and families play, meeting up with neighbors, green space, tennis courts	9/27/2022 11:41 AM
5	Close by my home.	9/18/2022 4:45 PM
6	How it doesn't get used	9/18/2022 4:37 PM
7	The fact that the school is no longer there and it's opened up.	9/18/2022 3:51 PM
8	It is a quiet, open green space for the neighborhood families to go. I grew up in this neighborhood, playing on the play equipment, learning to ride my bike on the basketball courts, shooting hoops with my dad, and tubing down the hill from the tennis courts in the snow. Now, my husband and I recently bought a house in the neighborhood and are starting a family, and would be happy to give our children the same experiences. Plus, as an adult, I've taken quiet walks there with friends, used the Free Library, or relaxed on the swings. It's a nice green open haven.	9/18/2022 3:30 PM
9	Open space. Can go throw around and hang out there at anytime.	9/18/2022 3:12 PM
10	convenient to our home, well-maintained	9/17/2022 9:37 PM
11	Walking and the peacefulness	9/16/2022 8:32 PM
12	It's mostly people who live in the area. Less random foot traffic	9/16/2022 4:41 PM
13	Good location for that section of the township	9/16/2022 11:44 AM
14	It's location. It's a quiet, safe little place where neighborhood people can go to walk or take their children to play.	9/15/2022 8:35 PM
15	Watching outdoor sports	9/15/2022 5:33 PM
16	Open	9/15/2022 2:07 PM
17	The ability to cut through to friends homes on the other side of Division Ave., walking the perimeter, watching families play on the playground. Sitting on the bench watching the wildlife.	9/15/2022 12:32 PM
18	Playground for my children. And walking distance from my house	9/15/2022 11:30 AM
19	I like the large open feel to the park.	9/15/2022 8:11 AM
20	Location	9/14/2022 10:20 PM
21	Playground for young kids	9/14/2022 7:23 PM
22	Walking distance from my home, size of park	9/14/2022 3:33 PM
23	It is a neighborhood park. It is well maintained. I like to watch the baseball games. I enjoy hear the children having fun in the park playing soccer, basketball and on the play equipment. It is nice have let my children grandchildren play at the park.	9/14/2022 10:00 AM
24	Walking trail	9/11/2022 9:42 PM
25	Location, legacy	9/11/2022 9:54 AM
26	The walking track	9/10/2022 4:33 PM

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27	The playground	9/8/2022 5:20 AM
28	Location, only a 15 minute walk from home.	9/7/2022 10:44 PM
29	convenient	9/7/2022 12:58 AM
30	Central in community	9/6/2022 10:05 PM
31	Location and proximity to my house.	9/2/2022 12:12 PM
32	How central and accessible it is to so many communities	9/1/2022 2:09 PM
33	Close	8/28/2022 8:33 AM
34	Nature, grass, trees, benches, little book stand	8/26/2022 2:13 PM
35	Convenient to multiple neighborhoods in immediate area	8/25/2022 6:56 PM
36	The space. An open field for children to run and play	8/25/2022 3:56 PM
37	The amount of space there is	8/24/2022 11:14 PM
38	The location in the community. It is walkable for families. Older kids use it as a meeting place in the neighborhood.	8/19/2022 11:47 PM
39	lots of open space	8/19/2022 5:50 PM
40	The location is the best feature	8/18/2022 8:19 AM
41	The neighborhood feel to Woodlawn. Love seeing baseball games and soccer practices in the field. The playground area is perfect for young kids	8/12/2022 1:38 PM
42	This is the closest park to my house. I like that I can walk to it and it has a nice walking path around it and space for my kids to play.	8/10/2022 1:40 AM
43	Beautiful open park so close to home.	8/9/2022 9:28 PM
44	Playground for small children and proximity to homes.	8/8/2022 9:18 AM
45	Openess	8/7/2022 2:56 PM
46	Proximity, safe place to play	8/4/2022 6:36 PM
47	It close and it has a little bit of everything.	8/3/2022 10:51 PM
48	Location Proximity and it's off main roads	7/31/2022 1:27 PM
49	Baseball Location Tennis Courts It's in walking distance of my home. It has baseball field, basketball court and a tennis court.	7/31/2022 12:06 PM
50	Blank Slate Location Its open fields and right now its a clean slate so it can be anything. And its nice and close to my home.	7/30/2022 1:44 PM
51	Location In the center of the Township	7/29/2022 12:08 PM
52	Location Close	7/27/2022 2:40 PM
53	Basketball Courts Open Space Playground Walking Trail Walking trail, basketball courts, playground, open space	7/26/2022 3:54 PM
54	Safe / Maintained Tennis Courts Its clean, safe, open and inviting. Plus it is a great space to relax with your family + friends while taking in a ball game.	7/20/2022 3:52 PM
55	Peaceful Quiet Safe / Maintained A peaceful safe setting.	7/18/2022 9:44 AM
56	Location location and size	7/14/2022 12:28 PM
57	Walking Trail I like the partial walking trail and the fact that that trail provides a detour from my neighborhood walking route.	7/14/2022 11:12 AM
58	Open Space That it is open green space.	7/13/2022 8:45 PM
59	There is activities for all ages	7/12/2022 6:14 PM
60	Peaceful Quiet Quiet, neighborhood park	7/11/2022 10:50 PM

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61	Open space	7/10/2022 9:20 PM
62	Across the street from my home.	7/7/2022 5:14 PM
63	Its a place I grew up going to school, playing, playing basketball, riding bikes	7/6/2022 8:44 PM
64	Tennis courts	7/6/2022 8:30 AM
65	size and location.	7/5/2022 12:52 PM
66	The open space	7/1/2022 3:21 PM
67	I like the hill and the trees. Please keep the hill	7/1/2022 2:37 PM
68	convenience to home, open space and walking, kite flying area. Watching a ball game every now and then, gathering with friends and having coffee or pizza at bench.	6/29/2022 7:59 PM
69	The well maintained lawn and easily accessibility for the neighborhood. Enjoy that it's not too crowded and also enjoy all the basketball hoops though they need to be updated. My favorite part is the walking trail	6/29/2022 7:22 PM
70	Well maintained	6/25/2022 11:12 PM
71	Tennis courts, park where many local families can walk to, a place for teams to play sports	6/25/2022 4:05 PM
72	I like that I can walk their and around, taking children to the playground and seeing people playing basketball and baseball	6/25/2022 3:06 PM
73	Small	6/25/2022 8:30 AM
74	Location and the open fields	6/24/2022 9:57 PM
75	It's close and it's right in the heart of the township	6/24/2022 2:42 PM
76	Quiet green space to walk	6/24/2022 10:20 AM
77	Close proximity to my home	6/24/2022 8:51 AM
78	Family oriented, multi sport accommodating	6/23/2022 2:37 PM
79	The location is great, along with the neighborhood that surrounds it. I like that it's never too crowded with a ton of people like masons mill can sometimes be. The gazebo pit is a cool installation too.	6/23/2022 2:27 PM
80	Green space, walking trail	6/23/2022 2:08 PM
81	Having kids play with out large crowds	6/22/2022 9:04 PM
82	It's close to my house and easy access to fields	6/22/2022 5:00 PM
83	Basketball courts	6/22/2022 4:59 PM
84	It is a place for kids to play basketball and the playground for the younger children. It was the empty	6/20/2022 11:30 AM
85	The location is ideal as it is close to our house	6/20/2022 11:06 AM
86	Proximity to our home	6/20/2022 10:20 AM
87	The amount of space.	6/19/2022 11:40 AM
88	I like that is I open and very grassy and beautiful the perfect way to experience the nice weather outside, it is always kept very well nice and clean, very green and the nice trees to sit under and chill with friends and just have a fun time	6/19/2022 11:24 AM
89	Easy Park to walk to. Nice to practice sports with the kids but has a lot more potential for that purpose	6/19/2022 10:14 AM
90	It's peaceful setting and walking the trail	6/17/2022 10:08 AM
91	Location for that community	6/17/2022 6:54 AM
92	It's local	6/16/2022 12:53 PM

Woodlawn Park Master Plan Public Opinion Survey

93	Its location. Right in a great neighborhood	6/16/2022 10:28 AM
94	I can walk there, it's open, well maintained	6/16/2022 10:06 AM
95	Street hockey court - very easy to do, just blacktop, paint, and fence	6/15/2022 8:37 PM
96	It's close to my house.	6/14/2022 4:46 PM
97	It's the only really green space for a few miles	6/14/2022 4:43 PM
98	The open space, no cars	6/14/2022 4:33 PM
99	proximity and big open area	6/14/2022 9:27 AM
100	Location and size	6/14/2022 9:10 AM
101	The playgrounds	6/13/2022 10:15 PM
102	close to my house	6/13/2022 5:00 PM
103	Playground and Baseball Field	6/13/2022 3:01 PM
104	hardball baseball field I wish it would be used more	6/12/2022 12:46 PM
105	Central location	6/11/2022 1:00 PM
106	Near so many residents.	6/11/2022 11:35 AM
107	Walking trails	6/10/2022 3:44 PM
108	surrounding neighborhood	6/10/2022 3:21 PM
109	Openness and proximity to the neighborhood	6/10/2022 2:21 PM
110	The potential for a ref center	6/10/2022 2:01 PM
111	Location	6/10/2022 10:40 AM
112	Baseball fields and playground	6/10/2022 9:33 AM
113	It serves the greatest Upper Moreland Community. Of just the residents of Woodlawn	6/9/2022 10:30 PM
114	Possibility of new facilities	6/9/2022 9:38 PM
115	Playground and open space for play	6/9/2022 9:32 PM
116	The proximity and playground	6/9/2022 7:44 PM
117	It's community centered, take the kids over and play or watch a game, take a walk	6/9/2022 7:08 PM
118	Baseball field and playground	6/9/2022 6:05 PM
119	In the neighbor hood. When kids were younger, walked there daily	6/9/2022 5:12 PM
120	Ease of access. Close to home. Seating in shaded areas	6/9/2022 4:19 PM
121	Able to watch kids play sports	6/9/2022 4:11 PM
122	Nice space in a good neighborhood	6/9/2022 3:22 PM
123	Neighborhood centered	6/9/2022 3:18 PM
124	It's close	6/9/2022 3:03 PM
125	the location	6/9/2022 11:33 AM
126	The playground for my kiddo.	6/9/2022 11:05 AM
127	Location in the neighborhood	6/9/2022 6:32 AM
128	It's open and close.	6/7/2022 8:08 PM
129	Location, unassuming space (simplicity).	6/7/2022 6:36 AM
130	Proximity	6/6/2022 1:55 PM

Woodlawn Park Master Plan Public Opinion Survey

131	The walking trail and tennis courts	6/2/2022 1:29 PM
132	Location to my house	6/2/2022 8:16 PM
133	Multi-purpose and good location.	6/4/2022 7:02 PM
134	Availability for team sports- high school baseball, youth soccer	6/4/2022 2:35 PM
135	Walking trail	6/4/2022 12:23 PM
136	I like walking my dog there, its a nice place to spread out and have some quiet	6/3/2022 8:55 AM
137	I like that it is a quiet community park without so much hustle and bustle. I frequently walk or run there as I find it peaceful and relaxing.	6/3/2022 9:23 AM
138	Proximity of the facilities to the neighborhood	6/3/2022 8:45 AM
139	I enjoy having an open space for people to enjoy the outdoors.	6/2/2022 11:11 PM
140	The trail. Its quiet and a nice neighborhood park.	6/2/2022 11:05 PM
141	We are able to walk to it from my house.	6/2/2022 8:33 PM
142	How clean and open while being close to home	6/2/2022 3:38 PM
143	I love its openness.	6/2/2022 3:25 PM
144	The ability to walk there versus having to drive to a location like Mason Mill.	6/2/2022 1:45 PM
145	Nice open space. Cleanliness. Location.	6/2/2022 8:52 AM
146	Nice quaint neighborhood hub for kids to play, open space to run or bike through.	6/1/2022 8:36 PM
147	Open space, walkable	6/1/2022 8:53 PM
148	It is a safe place for the children to play. Open space should be a priority going forward for this township.	6/1/2022 7:58 PM
149	Location	6/1/2022 6:55 PM
150	well kept, spacious, friendly vibe, proximity to home, options for play and recreation	6/1/2022 12:03 PM
151	Play area for children	5/31/2022 10:17 PM
152	Playground and benches	5/31/2022 9:23 PM
153	Intimate neighborhood park. Not too large.	5/31/2022 5:37 PM
154	It is in walking distance from my home.	5/31/2022 3:43 PM
155	Proximity to Home. Smaller Park so rarely feels crowded or at least feels very much part of my direct neighborhood/community	5/31/2022 2:37 PM
156	Location	5/31/2022 1:41 PM
157	The grass	5/31/2022 1:15 PM
158	It is very close to our home.	5/31/2022 8:31 AM
159	It's a nice park in my neighborhood. Once it is revitalized I think more of the neighborhood will benefit and use it more.	5/31/2022 8:08 AM
160	Close to my house and a decent playground and ball field.	5/30/2022 8:04 PM
161	How close it is	5/30/2022 7:19 PM
162	Place for kids to play	5/30/2022 1:34 PM
163	I like the playground and it's not overly crowded	5/30/2022 11:28 AM
164	Safe place for kids to play	5/30/2022 10:48 AM
165	It's quiet and neighborhood people who care about the property.	5/30/2022 8:54 AM
166	highest point in eastern montgomery county	5/30/2022 8:18 AM

Woodlawn Park Master Plan Public Opinion Survey

167	It's fun for my toddler and we can walk from our house.	5/29/2022 8:22 PM
168	Close to home, good place to walk for exercise	5/29/2022 4:47 PM
169	That it is situated within the neighborhood. It is a location that our grandchildren can go when the come to visit.	5/29/2022 2:47 AM
170	Close and not crowded	5/29/2022 12:16 AM
171	Very close to our house	5/28/2022 7:59 PM
172	Basketball	5/28/2022 4:55 PM
173	Location	5/28/2022 11:37 AM
174	the setting is great for the neighborhood, playgrounds for all of my grandchildren and walking trail for me	5/28/2022 11:00 AM
175	Close proximity to the house; easy walk to visit. Open space. Cleanliness. We'll maintained fields.	5/28/2022 10:08 AM
176	Walking trail, open space	5/28/2022 9:00 AM
177	playground, proximity to my house	5/27/2022 11:19 PM
178	Playground and bike friendly for kids. Proximity to my house	5/27/2022 8:21 PM
179	Playground	5/27/2022 7:04 PM
180	Proximity to my home	5/27/2022 6:22 PM
181	Not open to more development in a township with not a lot of preserved open space.	5/27/2022 5:47 PM
182	Baseball field	5/27/2022 5:17 PM
183	I enjoy going on walking with friends and family, I also enjoy taking my dog on the path and socializing him.	5/27/2022 4:57 PM
184	Location	5/27/2022 4:41 PM
185	The neighborhood feel. Without the craziness that Mason mill has	5/27/2022 4:34 PM
186	I like Woodlawn I go their a lot	5/27/2022 4:25 PM
187	Baseball and softball field and basketball Courts	5/27/2022 4:24 PM
188	Walking through it. The big open field. Seeing kids playing. The community library. The quiet. Open space to play catch or other games.	5/27/2022 4:16 PM
189	Close by	5/27/2022 4:08 PM
190	The playground	5/27/2022 3:57 PM
191	I like that it's a small park where you can meet your neighbors. I like that the people that come to the park, mostly walk, it's not a destination or a crowded spot. I like that the trees give us shade, and that there is a spot to park if we decide to. I like that we can walk there and not drive.	5/27/2022 3:30 PM
192	The walk ability to our home. We love having a nice park so close by.	5/27/2022 3:19 PM
193	We have three kids under five and we love having a neighborhood playground and open field area to run down the kids. We've met lots of awesome neighbors over the years and meet our friends there / ask family to join us there. The basketball and tennis courts are fun for us as well.	5/27/2022 3:03 PM
194	Playground for my toddler	5/27/2022 2:34 PM
195	Location	5/27/2022 1:37 PM
196	Nice space to walk to in the neighborhood. adequate room for activities	5/27/2022 1:26 PM
197	Playground, tennis courts	5/27/2022 1:03 PM
198	It feels safe	5/27/2022 12:23 PM

Woodlawn Park Master Plan Public Opinion Survey

199	Proximity and quiet	5/27/2022 11:12 AM
200	Walking trail	5/27/2022 10:44 AM
201	Location	5/27/2022 10:33 AM
202	Openness; walking trail.	5/27/2022 10:29 AM
203	It's close to home	5/27/2022 10:26 AM
204	Distance to my and local residents.	5/27/2022 10:11 AM
205	I like the location and playground at Woodlawn Park	5/27/2022 9:51 AM
206	The proximity to my house	5/27/2022 9:38 AM
207	Place to hang out with friends and play when I was small	5/27/2022 9:01 AM
208	The open space, courts and sports fields allow my kids to play the sports they love close to home.	5/27/2022 8:27 AM
209	Sports fields and courts	5/27/2022 7:59 AM
210	Green space	5/27/2022 7:49 AM
211	It is a small community park in a safe area that kids and adults in that area can walk to.	5/27/2022 7:35 AM
212	It is an oasis in the middle of a densely populated neighborhood.	5/27/2022 7:01 AM
213	Distance from my house, relatively not crowded, playgrounds for kids.	5/27/2022 6:38 AM
214	Proximity	5/27/2022 6:24 AM
215	Open space	5/27/2022 6:20 AM
216	Proximity to our home. We are next to border neighbors. Small sledding hill for child (next to tennis court) the play ground. The open space for running.	5/27/2022 6:00 AM
217	Closeness	5/27/2022 5:53 AM
218	Location and convenience	5/27/2022 5:26 AM
219	growing up, my children enjoyed the playground and then practicing soccer and baseball at the fields. We don't use the park so much more that they are adults.	5/27/2022 4:24 AM
220	It is in walking distance from my house	5/27/2022 12:23 AM
221	Access, clean of debris	5/27/2022 12:02 AM
222	Location	5/26/2022 11:46 PM
223	It's the closest township park to my home.	5/26/2022 11:28 PM
224	Close by	5/26/2022 11:23 PM
225	Open space	5/26/2022 11:22 PM
226	Close to home, playground, walking path	5/26/2022 11:07 PM
227	Location. Nice views. Easy to get to.	5/26/2022 10:47 PM
228	It was fun for little kids. Lots of space for team practices or to let your dog run.	5/26/2022 10:40 PM
229	Proximity	5/26/2022 10:37 PM
230	That it's close	5/26/2022 10:33 PM
231	When I was younger I enjoyed shooting hoops at night. The courts are pretty beat up these days. As I've gotten older I enjoy watching sporting events (baseball games) at the park.	5/26/2022 10:25 PM
232	Proximity to my home & view of surrounding areas	5/26/2022 10:22 PM
233	Walking distance	5/26/2022 10:18 PM
234	Playground	5/26/2022 10:13 PM

Woodlawn Park Master Plan Public Opinion Survey

235	It's a nice multipurpose field, playground, and neighborhood park	5/26/2022 10:06 PM
236	The playground for my children to play, a lot of older people in the neighborhood use the walking trail, but it is not lit so it cannot be used year round, it would be nice to have somewhere to walk during the colder months.	5/26/2022 10:04 PM
237	The trails, playground, and fields	5/26/2022 10:03 PM
238	Location to my house	5/26/2022 10:02 PM
239	Playground for kids	5/26/2022 9:56 PM
240	Close to home	5/26/2022 9:56 PM
241	It is right outside my yard.	5/26/2022 9:52 PM
242	Family friendly atmosphere	5/26/2022 9:51 PM
243	proximity to home	5/26/2022 9:49 PM
244	In my neighborhood	5/26/2022 9:41 PM
245	It's central to our neighborhood and a great meeting place.	5/26/2022 9:38 PM
246	Close to home	5/26/2022 9:23 PM
247	It is a large space within walking distance of our home	5/26/2022 9:14 PM
248	Open space and watching people enjoying themselves	5/26/2022 9:09 PM
249	Playgrounds and open fields	5/26/2022 9:09 PM
250	It's open, clean, friendly and safe. It is well maintained and well patrolled keeping the trouble makers out.	5/26/2022 9:08 PM
251	Location, playground, space	5/26/2022 9:02 PM
252	The outdoor recreation space in our neighborhood. Our children play at that park all the time and to put a building or community center in that space and limit the outdoor space would be a travesty	5/26/2022 9:02 PM
253	Location	5/26/2022 8:59 PM
254	Proximity of the neighborhood, jogging trail and swings	5/26/2022 8:55 PM
255	A place to take my children to and enjoy being outside	5/26/2022 8:49 PM
256	Location close to friends in our community	5/26/2022 8:45 PM
257	Open spaces in the Woodlawn neighborhood! It seems other facilities are on the other side of town!	5/26/2022 8:42 PM
258	Proximity to my home	5/26/2022 8:42 PM
259	It's a neighborhood park	5/26/2022 8:37 PM
260	Location	5/26/2022 8:34 PM
261	Playgrounds	5/26/2022 8:32 PM
262	Sunsets, Stargazing. Also, it's relatively quiet, accessible, walking trail, safe place for children biking.	5/26/2022 8:31 PM
263	Openness, full size baseball field	5/26/2022 8:23 PM
264	It's close to my home and I can take my kids to play without crowds.	5/26/2022 8:21 PM
265	Great updated playground, updated maintained tennis courts, maintained basketball courts. Updated baseball backstop. Walking path with benches	5/26/2022 8:17 PM
266	The fields and playground equipment.	5/26/2022 8:16 PM
267	No traffic, except when kids have soccer or baseball practice on the fields. No noise, and no bathrooms to bring the wrong element to this residential area.	5/26/2022 8:15 PM

Woodlawn Park Master Plan Public Opinion Survey

268	It's a safe place for kids to bring their basketball/football to and play with friends. It's not often crowded and seems to mostly be used by people in this area.	5/26/2022 8:12 PM
269	The open ground	5/26/2022 8:10 PM
270	It is walking distance from my house	5/26/2022 8:06 PM
271	Location	5/26/2022 8:02 PM
272	I love having a safe public place for my kids to play (yards can be too small around here for kids to play any sort of game like soccer or baseball or even flag football). It is literally the only walkable non backyard green space on this corner of the district, and I'm glad to have it.	5/26/2022 8:02 PM
273	I like the playgrounds but I wish they were taken care of better. The grass is always over grown and the slides are broken. I have seen poison ivy there.	5/26/2022 7:56 PM
274	It's so close to my house.	5/26/2022 7:48 PM
275	How close it is to my house	5/26/2022 7:43 PM
276	Close to home	5/26/2022 7:40 PM
277	It's a nice place where kids can go to play ball. And the baseball team that plays there is a nice thing to see..	5/26/2022 7:31 PM
278	Playground for young children.	5/26/2022 7:20 PM
279	Walkable, mostly only local (not crowded), playgrounds	5/26/2022 7:15 PM
280	Nice place for my kids to play	5/26/2022 7:10 PM
281	That it has space to grow	5/26/2022 6:52 PM
282	The trees and ball fields	5/26/2022 6:48 PM
283	Short walk from my home. Playground I can take my granddaughter	5/26/2022 6:34 PM
284	It's shaded, fun for young kids, clean	5/26/2022 6:19 PM
285	location	5/26/2022 6:19 PM
286	I am an old head, so probably different than most. The courts for hoops have not been taken care of for 20 years. Love to see it reduced to only two courts, but with regulation size. Current courts are extra long.	5/26/2022 6:19 PM
287	Wide Open	5/26/2022 5:54 PM
288	Convenient	5/26/2022 5:27 PM
289	Location	5/26/2022 5:25 PM
290	The openness	5/26/2022 5:24 PM
291	Lots of green grass and open field!	5/26/2022 5:18 PM
292	It's size and location	5/26/2022 5:06 PM
293	The proximity to our house	5/26/2022 5:05 PM
294	A convenient location for residents in that vicinity	5/26/2022 5:04 PM
295	The playgrounds	5/26/2022 4:59 PM
296	Proximity to my house	5/26/2022 4:50 PM
297	Wide open space in the middle of my neighborhood is better than more buildings!	5/26/2022 4:45 PM
298	Easy access to neighbors living in the area.	5/26/2022 4:44 PM
299	Location	5/26/2022 4:34 PM
300	It is right in the middle of family neighborhoods	5/26/2022 4:34 PM
301	Size, baseball ballfield	5/26/2022 4:31 PM

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302	The closeness to my home.	5/26/2022 4:24 PM
303	Close to home	5/26/2022 4:23 PM
304	View and Baseball	5/26/2022 4:23 PM
305	It's a nice large space and easily walkable.	5/26/2022 4:22 PM
306	Location	5/26/2022 4:21 PM
307	Large space. Easily accessible.	5/26/2022 4:20 PM
308	Within walking distance to my house	5/26/2022 3:43 PM
309	Open space	5/26/2022 3:26 PM
310	the many different opportunities to recreate	5/26/2022 2:29 PM
311	The proximity to my home and the area for my toddler to play.	5/26/2022 1:07 PM

Woodlawn Park Master Plan Public Opinion Survey

Q26 What do you like least about Woodlawn Park?

Answered: 268 Skipped: 223

#	RESPONSES	DATE
1	No picnic shelter or restrooms.	10/1/2022 9:40 PM
2	No picnic pavilion	10/1/2022 11:45 AM
3	the dilapidated dangerous building that has always been in that condition for 20+ years. Basketball courts are shabby, rough paved and no nets or just chains.	9/27/2022 11:41 AM
4	Lack of parking	9/18/2022 4:45 PM
5	When people light fireworks there on township property (illegal) and cause a disturbance throughout the neighborhood	9/18/2022 4:37 PM
6	No dogs are allowed.	9/18/2022 3:51 PM
7	It just needs some TLC, and a restroom! Basketball nets rarely get replaced, giving a rundown feel. Keep it simple and take care of the facilities you have. For years there have been graffiti issues at the park - you don't need reason for it to become even more of a place for delinquents via the broken window theory.	9/18/2022 3:30 PM
8	"No Dogs allowed" It is in need of a large dog friendly area.	9/18/2022 3:12 PM
9	currently the playground is small and there is very little other than the playground and basketball courts that can be used regularly - it is convenient for some team sports	9/17/2022 9:37 PM
10	The walking path is short and not well paved/graveled	9/16/2022 8:32 PM
11	Needs lighting	9/16/2022 4:41 PM
12	Nothing	9/15/2022 8:35 PM
13	Lack of parking area on site.	9/15/2022 5:33 PM
14	The fact that dogs are not permitted (even if they are leashed).	9/15/2022 12:32 PM
15	Terrible parking lot. And lack of parking overall	9/15/2022 11:30 AM
16	The walking trail did not connect. There was not much shaded seating areas.	9/15/2022 8:11 AM
17	Not enough lighting, feels unsafe in evenings	9/14/2022 10:20 PM
18	No bathrooms	9/14/2022 7:23 PM
19	No walking trails, not a lot for an adult to do there	9/14/2022 3:33 PM
20	I have no major dislikes. It is difficult to see the playground areas from the perimeter of the park because it sits lower than the ballfield. No low, mellow night lighting. No bathroom.	9/14/2022 10:00 AM
21	N/A	9/11/2022 9:42 PM
22	Dated amenities	9/11/2022 9:54 AM
23	The large number of unused old basketball courts	9/9/2022 5:20 AM
24	Playground, needs to be upgraded for kids under 5 - more mommy/daddy and me things.	9/7/2022 10:44 PM
25	drug paraphernalia poor lighting no parking	9/7/2022 12:58 AM
26	Under utilized resource	9/6/2022 10:05 PM
27	That dogs arent allowed and there's no bathroom other than a portapotty.	9/2/2022 12:12 PM
28	How natural it is; there aren't many native/beneficial plantings or environmental attractions. Having more of these would be an amazing feature for UM	9/1/2022 2:09 PM

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29	Needs a dog park	8/28/2022 8:33 AM
30	Sports areas except for tennis	8/26/2022 2:13 PM
31	Not enough options for use	8/25/2022 6:56 PM
32	There's no bathrooms and the playground area is very small. No lighting	8/25/2022 3:56 PM
33	Tennis courts are not well kept	8/25/2022 10:35 AM
34	How empty it feels/lack of vegetation and trees	8/24/2022 11:14 PM
35	So much concrete. Not enough trees.	8/19/2022 11:47 PM
36	very run down	8/19/2022 5:50 PM
37	It is completely underutilized and the layout seems to have a lot of wasted space. The park is really a seasonal location, but with the right amenities it could see an increase in usage. I walk around the park daily and with the demolition of the school it does not appear that much was gained from this.	8/18/2022 8:19 AM
38	Old useless basketball, tennis, & volleyball courts on old cracked pavement. Dimly lit courts. lack of shade.	8/12/2022 1:38 PM
39	The lack of shade available and the run down feel of the area.	8/10/2022 1:40 AM
40	It definitely needs a recreation center or community center of some kind. But please keep the playgrounds for the kids.	8/9/2022 9:28 PM
41	Basketball hoops have no nets, graffiti in playground equipment, no parking, no lighting or security.	8/8/2022 9:18 AM
42	It's small portions of everything in the park not enough for everybody.	8/3/2022 10:51 PM
43	Unkept basketball courts	7/31/2022 1:27 PM
44	Basketball court needs better upkeep. Dogs should be allowed. Better lighting.	7/31/2022 12:06 PM
45	That it has taken so long to do something with this park...	7/30/2022 1:44 PM
46	Not enough shade	7/29/2022 12:08 PM
47	Not a lot to do	7/27/2022 2:40 PM
48	Not easy access to park for young and old people to get to without access to parking inside park	7/26/2022 3:54 PM
49	The fact that Upper Moreland will cave to the desires of a few and the park will be no more.	7/20/2022 3:52 PM
50	People in the park at all hours. I worry about the young girls alone there at night. Fireworks.	7/18/2022 9:44 AM
51	It's current state and possible asbestos contamination from old school building	7/14/2022 12:28 PM
52	There is nothing I dislike. I am pleased that the empty school/church building has been removed.	7/14/2022 11:12 AM
53	You just tore it down	7/13/2022 8:45 PM
54	Lack of parking and trees	7/12/2022 6:14 PM
55	Outdated playground, basketball court in terrible condition	7/11/2022 10:50 PM
56	No dogs allowed	7/10/2022 9:20 PM
57	Horrible basketball courts	7/7/2022 5:14 PM
58	There is not much to do	7/6/2022 9:44 PM
59	Baseball field. Big waste of space. Lots of fields to use in the area	7/6/2022 8:30 AM
60	lack of 'useable' adult offerings	7/5/2022 12:52 PM
61	The old school	7/1/2022 3:21 PM

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62	People that park on Woodlawn that are attending events at the park.	7/1/2022 2:37 PM
63	It was the building and trash that collected. the fact I cant walk my dog through the park.	6/29/2022 7:59 PM
64	Uneven paving near the playground, old basketball hoops, not dog friendly. Lack of trees	6/29/2022 7:22 PM
65	No dog park	6/25/2022 11:12 PM
66	Not well taken care of- ex: graffiti, not much shade	6/25/2022 4:06 PM
67	The trail to enter has been need of repair for years the landscaping of bushes and dead trees are not taken care of only lawn mowed	6/25/2022 8:30 AM
68	The trashcan filled with dog waste that overflows all over the ground on a regular basis.	6/24/2022 9:57 PM
69	Outdated, roads were dangerous. School was an eyesore	6/24/2022 2:42 PM
70	Poor condition of courts and some broken playground equipment	6/24/2022 8:51 AM
71	bad condition of sports fields, lack of shade	6/23/2022 2:37 PM
72	The conditions of the tennis and basketball courts	6/23/2022 2:27 PM
73	Basketball/ tennis courts are run down	6/23/2022 2:08 PM
74	not well kept	6/22/2022 5:00 PM
75	Lack of sports fields	6/22/2022 4:59 PM
76	It was the empty school which is not dermished and being cleaned up. it became an eyesore and a place for graffiti and other things	6/20/2022 11:30 AM
77	There are not many activities that you can do with family	6/20/2022 11:06 AM
78	Basketball courts are poorly set up.	6/19/2022 11:40 AM
79	I don't think there's anything that I don't like about it I think it's perfect the way it is now and if there was more land added to it that would be the perfect way to make it even better	6/19/2022 11:24 AM
80	Maintenance of basketball and tennis courts	6/19/2022 10:14 AM
81	Fields not well maintained	6/17/2022 6:54 AM
82	It's old	6/16/2022 12:53 PM
83	Walkin and running trail is not complete.	6/16/2022 10:28 AM
84	Not a lot to do there. Used it a lot when my kids were young.	6/16/2022 10:06 AM
85	Unkept at times	6/15/2022 8:37 PM
86	No bathroom facilities	6/14/2022 4:46 PM
87	Not really that large	6/14/2022 4:43 PM
88	Hot, no shade	6/14/2022 4:33 PM
89	you are currently removing it! hopefully now that everything is more open and visible, less trouble up there.	6/14/2022 9:27 AM
90	Dont see myself going as it is.	6/14/2022 9:10 AM
91	The basketball rims	6/13/2022 10:15 PM
92	the abandoned school which is no longer an issue.	6/13/2022 5:00 PM
93	Parking	6/13/2022 3:01 PM
94	walking trail. Needs to be improved	6/12/2022 12:46 PM
95	Hangout for disrespectful teenagers	6/11/2022 1:00 PM
96	Parking	6/10/2022 3:44 PM
97	lack of development	6/10/2022 3:21 PM

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98	Poor walking trail and maintenance should be better	6/10/2022 2:21 PM
99	No cument ref center	6/10/2022 2:01 PM
100	Out of date	6/10/2022 10:40 AM
101	Baseball field needs care, such as a tarp.	6/10/2022 9:33 AM
102	The school building and layout as is.	6/9/2022 10:30 PM
103	Parking	6/9/2022 9:38 PM
104	Not always maintained well, not a ton of activities, trail not really present.	6/9/2022 9:32 PM
105	There is nothing special about the park. The basketball courts and tennis courts are bad and the baseball field is not maintained and is almost unplayable. Not enough trees.	6/9/2022 7:44 PM
106	Not enough things to do there	6/9/2022 7:08 PM
107	Basketball courts	6/9/2022 6:05 PM
108	You have fixed the ugly old school. Dogs are not allowed on walking path.	6/9/2022 5:12 PM
109	Not much to do. Play equipment is outdated.	6/9/2022 4:19 PM
110	It is old and run down	6/9/2022 4:11 PM
111	Seemed forgotten about	6/9/2022 3:22 PM
112	Previously the abandoned building.	6/9/2022 3:18 PM
113	Dated playground	6/9/2022 3:03 PM
114	the short walking path in the park	6/9/2022 11:33 AM
115	It's too bare. Needs more gardens, water fountains or a man-made stream along the walking path with more seating areas for rests while walking.	6/9/2022 11:05 AM
116	Previously wasted space	6/9/2022 6:32 AM
117	Condition of area	6/7/2022 8:08 PM
118	Some of the nonsense that youth get into, but that's hard to address.	6/7/2022 6:36 AM
119	No dogs	6/6/2022 1:55 PM
120	There is not much tree shaded area	6/6/2022 1:29 PM
121	Tennis court and basketball court not well maintained	6/5/2022 8:16 PM
122	Not maintained as well as could be.	6/4/2022 7:02 PM
123	No parking lot No dogs allowed	6/4/2022 2:35 PM
124	Not enough shade	6/4/2022 12:23 PM
125	that the trail doesnt go all around the park	6/3/2022 9:55 AM
126	The trail goes "through" the basketball courts but not around them.	6/3/2022 9:23 AM
127	The tennis courts, they seem like they are not utilized.	6/3/2022 8:45 AM
128	The abandoned school	6/2/2022 11:11 PM
129	I didnt like the school. I wish it allowed dogs.	6/2/2022 11:05 PM
130	It's largely just an open field and the playground is small and outdated. The basketball court could also use some new lines and hoops.	6/2/2022 8:33 PM
131	Not dog friendly	6/2/2022 3:38 PM
132	Traffic!	6/2/2022 3:25 PM
133	How hot it gets with the sun	6/2/2022 1:45 PM
134	No parking lot. People parking on street so close to the corner and it's hard to see coming out	6/2/2022 8:52 AM

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135	Hate that tons of people exhibit blatant disregard for the "no dogs in park" rule (and I am a dog owner and lover). I don't like when there are rules that are not able to be enforced. I also think it had better play equipment for middle aged kids 20 years ago when my family moved into the neighborhood (I grew up here). I remember writing a petition when they changed the play equipment and did away with some of the better items to make way for a toddler section. I think adding a fitness center area would make up for that. The one at the power line trailhead is a nice consolidated example.	6/1/2022 9:36 PM
136	Undecided	6/1/2022 8:53 PM
137	The school which is finally being taken care of.	6/1/2022 7:58 PM
138	Maintenance	6/1/2022 6:55 PM
139	no bathrooms, eye-sore building (but that's gone now)	6/1/2022 12:03 PM
140	Lack of restroom facilities	5/31/2022 9:23 PM
141	Signage is not clear	5/31/2022 5:37 PM
142	Light pollution	5/31/2022 1:15 PM
143	the old building but that will change	5/31/2022 8:31 AM
144	Other than what was previously mentioned, not much do.	5/30/2022 8:04 PM
145	The school and the criminals that have used it to use drugs at	5/30/2022 7:19 PM
146	Needs to be updated	5/30/2022 1:34 PM
147	The abandoned school	5/30/2022 11:28 AM
148	Condition of tennis courts	5/30/2022 10:48 AM
149	Basketball courts need updating . Could use a few more benches in better condition	5/30/2022 8:54 AM
150	the possibility that the proposed re-use will require staffing and resulting in more taxes	5/30/2022 8:18 AM
151	It gets boring. There's not a ton to do other than the playground.	5/29/2022 8:22 PM
152	Old and outdated	5/29/2022 9:01 AM
153	not much shade and no bathrooms	5/29/2022 12:16 AM
154	The baseball field is not always taken care of	5/28/2022 7:59 PM
155	Not great courts	5/28/2022 4:55 PM
156	No bathrooms or lighting	5/28/2022 11:37 AM
157	lack of shade	5/28/2022 11:00 AM
158	No landscaping or native plantings. No gardens to visit or water features to relax around during the hot months.	5/28/2022 10:08 AM
159	Very sports heavy	5/28/2022 9:00 AM
160	That there isn't a variety of amenities that I use. Playground is standard and nothing special. Parking is poor. No bathrooms.	5/27/2022 11:19 PM
161	Facilities are in poor shape. Tennis courts should have tall nets. Playground is small. It entertains my 3 year old for about 20 minutes and he's done. He can spend hours at Lower Gwynedd's playground.	5/27/2022 8:21 PM
162	Basketball courts are too close to the street	5/27/2022 7:04 PM
163	No bathrooms, walking trail	5/27/2022 6:22 PM
164	Not enough natural habitat for birds and other animals.	5/27/2022 5:47 PM
165	Tennis courts. They are run down	5/27/2022 5:17 PM

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166	I feel that the tennis courts could use some work as they are run down.	5/27/2022 4:57 PM
167	Not dog friendly	5/27/2022 4:41 PM
168	The lack of tree shade	5/27/2022 4:34 PM
169	The tennis courts	5/27/2022 4:25 PM
170	ldk	5/27/2022 4:24 PM
171	The path is too short. Not enough natural habitats. Too much focus on sports fields. No place for a picnic	5/27/2022 4:16 PM
172	Wish they fixed up the school instead of knocking it down	5/27/2022 4:08 PM
173	No bathrooms, playground is small	5/27/2022 3:57 PM
174	I don't like that there are not enough trees or plants. I also don't like that there is no restrooms. I also don't like that older children have no space for themselves. And that it's hard to walk around...	5/27/2022 3:30 PM
175	No bathrooms and not much to do other than the playground. We would love to be able to walk and have our kids participate in sports at those fields. A splash pad also sounds like a wonderful idea. It would really give us an excuse to not have to leave our neighborhood.	5/27/2022 3:19 PM
176	Tennis courts and basketball courts could use some TLC. More defined walking space would be nice / handicap and stroller access	5/27/2022 3:03 PM
177	The school is dumpy and there is trash	5/27/2022 2:34 PM
178	Not knowing what will be built there :)	5/27/2022 1:37 PM
179	Older playground facilities, not much else for kids to do (I have two children under 5), I.e. outdoor water area, no walking path/current path not paved	5/27/2022 1:26 PM
180	No supervisor/guard on premises and open vs. closed hours aren't specific	5/27/2022 1:03 PM
181	It doesn't seem well cared for	5/27/2022 12:23 PM
182	The sports facilities are old and deteriorating.	5/27/2022 11:12 AM
183	Not enough items to use	5/27/2022 10:44 AM
184	It's run down, there's not much there, and no dogs are allowed, even on leashes.	5/27/2022 10:33 AM
185	Noise	5/27/2022 10:29 AM
186	Play structures outdated	5/27/2022 10:26 AM
187	Undeveloped.	5/27/2022 10:11 AM
188	The state of the playground	5/27/2022 9:38 AM
189	The upkeep	5/27/2022 9:27 AM
190	Lack of restrooms and shady drug dealers	5/27/2022 9:01 AM
191	The state of the tennis courts and of course the state of the old school and parking lot.	5/27/2022 8:27 AM
192	I guess parking would be a concern	5/27/2022 7:35 AM
193	The park could use more trees and/or gardens and a better walking path with fitness stations.	5/27/2022 7:01 AM
194	Tennis courts have no lights and are poor quality/poorly maintained.	5/27/2022 6:38 AM
195	Used needles No place for dogs	5/27/2022 6:24 AM
196	No opinion	5/27/2022 6:20 AM
197	It's not as new as some of the other parks but overall it functions well.	5/27/2022 6:00 AM
198	Only geared towards little kids	5/27/2022 5:53 AM
199	The old school building was an eye sore and I am glad to see it being torn down. It is my understanding that the park was attracting unsavory characters at night.	5/27/2022 4:24 AM

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200	Abandoned school, graffiti, not lively	5/27/2022 12:02 AM
201	Not much to do	5/26/2022 11:46 PM
202	At the moment the gross school building, I'm so glad it's being demolished and the town is upgrading the park.	5/26/2022 11:28 PM
203	Broken and outdated playground equipment	5/26/2022 11:23 PM
204	The drug use	5/26/2022 11:22 PM
205	Walking path is crumbling, playgrounds are breaking down, no water fountains or rest rooms	5/26/2022 11:07 PM
206	Needs updated playground, more trees/shade, better parking, more fields for sports other than baseball	5/26/2022 10:47 PM
207	Building was an eye sore. Sketchy after dark with plenty of loitering	5/26/2022 10:40 PM
208	Parking area I'm the middle of play areas instead of at the perimeter	5/26/2022 10:37 PM
209	People with dogs and people who park on the basketball court to watch baseball.	5/26/2022 10:33 PM
210	The school...	5/26/2022 10:25 PM
211	The abandoned building	5/26/2022 10:22 PM
212	Didn't realize it was a park with the old school	5/26/2022 10:18 PM
213	Lack of activity for children	5/26/2022 10:13 PM
214	Grass is too high for sports like soccer and baseball; basketball courts are poor and the lights never work properly	5/26/2022 10:06 PM
215	A lot of wasted space, I am home with my kids everyday and most people in our neighborhood drive to masons mill or Lukens park. No one uses the gaze ball, or the tennis courts. Wish the walking trail was paved the whole way so my son could use his scooter more easily.	5/26/2022 10:04 PM
216	Basketball court needs to be updated and repaved	5/26/2022 10:03 PM
217	Current state of the building	5/26/2022 10:02 PM
218	Baseball field conditions	5/26/2022 9:56 PM
219	Needs updating	5/26/2022 9:56 PM
220	The parking lot right outside my yard.	5/26/2022 9:56 PM
221	The school!! And no restrooms	5/26/2022 9:52 PM
222	average playground equipment	5/26/2022 9:51 PM
223	Not enough playground equipment	5/26/2022 9:49 PM
224	Highly used spaces like the basketball courts seem to have been in need of renovations for a long time	5/26/2022 9:41 PM
225	Not much to do there	5/26/2022 9:23 PM
226	Not much to do there. Playground is outdated.	5/26/2022 9:14 PM
227	The school witch is being delt with The vandalism Needs a freshling up	5/26/2022 9:09 PM
228	The people who come, hang out and leave their trash behind.	5/26/2022 9:08 PM
229	Path not fully paved	5/26/2022 9:02 PM
230	The large building that was just knocked down, please don't put another building there!	5/26/2022 9:02 PM
231	It is run down and doesn't look inviting	5/26/2022 8:59 PM
232	The trail isn't one consistent surface. No soccer goals for practice. When there is an event, side street (division) is completely blocked.	5/26/2022 8:55 PM
233	Playground area could be a little larger Upgrade basketball courts More seating	5/26/2022 8:49 PM

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234	It's gross and worn down and not safe for kids	5/26/2022 8:45 PM
235	No restrooms	5/26/2022 8:42 PM
236	The walking/running track and the tennis court	5/26/2022 8:42 PM
237	Not sure	5/26/2022 8:34 PM
238	Didn't like the old school with all the broken glass	5/26/2022 8:34 PM
239	I maintained basketball court	5/26/2022 8:32 PM
240	Outdated basketball and tennis ball courts; huge fireworks every summer weekend feet from our home.	5/26/2022 8:31 PM
241	Infield condition	5/26/2022 8:23 PM
242	Lack or bathrooms	5/26/2022 8:21 PM
243	The parking	5/26/2022 8:17 PM
244	Community center, lights for night play, swimming pool	5/26/2022 8:17 PM
245	Playground is not close to major roads, so some people go there to engage in illegal activities. Should be moved to an area that could be more easily monitored. Playground equipment is getting old. Walking trail is incomplete.	5/26/2022 8:16 PM
246	Dogs on loose on a daily basis, no shade or covered pavilion or gazebo and messy walking trail.	5/26/2022 8:15 PM
247	I think it's great as is. Thanks to the township for maintaining it.	5/26/2022 8:12 PM
248	Overgrowth of dying messy trees/bushes	5/26/2022 8:10 PM
249	Playground equipment is old - not a complete walking trail around the perimeter	5/26/2022 8:06 PM
250	Dark at night	5/26/2022 8:02 PM
251	I wish the running track was better. The distance is odd and there are so many different surfaces on it (sidewalk, blacktop, and crushed stone is a lot for just a 1/3 mile track).	5/26/2022 8:02 PM
252	It's never taken care of. The grounds are terrible. The tennis courts are useless	5/26/2022 7:56 PM
253	Water collects on the playground making it unusable for a few days after it rains. There isn't much to do and you can't walk dogs there.	5/26/2022 7:51 PM
254	It's dirty and unkempt.	5/26/2022 7:48 PM
255	N/a	5/26/2022 7:43 PM
256	Building and area has not been well maintained	5/26/2022 7:40 PM
257	Can't think of anything.	5/26/2022 7:31 PM
258	Basketball courts are run down and have broken metal chains instead of nets. Tennis courts are run down.	5/26/2022 7:20 PM
259	Wood chips, no bathrooms	5/26/2022 7:15 PM
260	I wish there were more events for the family held there	5/26/2022 7:10 PM
261	That I can't walk my dog there anymore	5/26/2022 6:52 PM
262	Security	5/26/2022 6:48 PM
263	Could use more playground equipment	5/26/2022 6:34 PM
264	No bathroom, not many swings, basketball court needs updating	5/26/2022 6:19 PM
265	not enough to do	5/26/2022 6:19 PM
266	The building but that has been rectified. :)	5/26/2022 6:19 PM
267	No restroom, below par maintenance	5/26/2022 5:27 PM

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268	Night criminal activity	5/26/2022 5:25 PM
269	Not enough trees and no dogs allowed	5/26/2022 5:24 PM
270	The abandoned school building occupying so much space!	5/26/2022 5:18 PM
271	The current amenities are very worn and dated. Many playground items are broken and in poor condition.	5/26/2022 5:06 PM
272	The playground needs to be updated and trails/walkways need repaving	5/26/2022 5:05 PM
273	It used to be the school eyesore, but that is thankfully over. However, the grounds feel like the park is an afterthought.	5/26/2022 5:04 PM
274	The awful building	5/26/2022 4:50 PM
275	Not enough benches and tables or places to sit	5/26/2022 4:45 PM
276	There's not much to do. The play area isn't too big for the little kids.	5/26/2022 4:44 PM
277	No walking trails	5/26/2022 4:34 PM
278	The building has made it an eyesore for years.	5/26/2022 4:34 PM
279	Too little vegetation	5/26/2022 4:31 PM
280	poor parking	5/26/2022 4:24 PM
281	I can't figure out how to enter/where to park	5/26/2022 4:23 PM
282	Pitcrats	5/26/2022 4:23 PM
283	Dogs not allowed	5/26/2022 4:21 PM
284	This is an unfair question as it's been an abandoned school for most of the time I've lived here. Amazing potential though.	5/26/2022 4:20 PM
285	Everything is old and run down.	5/26/2022 3:43 PM
286	Parking situation	5/26/2022 3:26 PM
287	no shade	5/26/2022 2:29 PM
288	the lack of a walking trail, the small playground offerings, and the lack of a splashpad.	5/26/2022 1:07 PM

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Q27 Please share any additional thoughts, comments, or ideas you would like to share about Woodlawn Park.

Answered: 164 Skipped: 347

#	RESPONSES	DATE
1	I don't want to see a community center that will draw from outside the neighborhood, using a lot of space for that instead of play areas and green space. A pavilion would be nice for shade and picnics. I'd like some eco-gardens with a path.	9/27/2022 11:41 AM
2	Nothing that will create more traffic and more outsiders coming into the neighborhood. It's residential and it needs to stay that way.	9/18/2022 4:34 PM
3	It needs to be kept low key because it is residential.	9/18/2022 3:51 PM
4	I know it's exciting for you to have new space to work with - but I urge you to truly consider the impact on this neighborhood and not write it off. You have some nice suggestions for use of the newly acquired space, without wasting money to completely scrape the area and redo it. There are other local parks which are destinations with parking for families to use. I will drive home the point that Woodlawn, in the heart of a residential neighborhood, should not be a huge project for you for the sake of doing a project. Please let us have our calm green space in the middle of the neighborhood for the residents of this area to be active outside, and maybe consider a space for the many dog owners to have somewhere to play with their pups. Also, because this space is so residential, please, other than just this survey, try to capture the feelings of the homeowners within a half mile that will be affected. I just want a sweet space with a field and playground to take my children in the coming years.	9/18/2022 3:30 PM
5	Looking at the concept plans, it seems someone got carried away in designing their dream park. They did not consider the true needs for the park or visit the park often. This park is in need of repair of what it already has to offer. It simply needs to add a couple of ideas to fill the new open space. Do not waste our taxpayer money on crazy concepts. Its like socialism, it looks good on paper, but does not work. Fix up the playground area and add some new equipment to it. Tennis court needs to be fixed. New nets, new designs to appease both tennis and pickleball people. Two court is fine. Mason Mill is the hub of pickleball tournaments, it is not needed here at Woodlawn. Basketball court needs new asphalt and baskets. Baseball field could use better dugouts, fencing, drainage, and field management. The outfield can easily be used as soccer fields for youth learning/staring sports. Thank you.	9/18/2022 3:12 PM
6	It should stay mostly open, please do not add facilities that would encourage people to sleep outside or in the park. That was a problem with the abandoned school!	9/16/2022 8:32 PM
7	Would not want something that attracts people from other towns , drawing them into the neighborhood.	9/16/2022 4:41 PM
8	Swimming pool would be GREAT !!	9/16/2022 11:44 AM
9	Please no rec center!!!!	9/15/2022 8:35 PM
10	It's nice to have all the fields and playground area. It would be nice to have a little bit more parking on site For those driving to the park, as the neighborhood parking is already an issue with those located in the neighborhood. The one idea About making wood lawn from division to silver one way to me is a terrible idea because it's just going to make the traffic cut through a lot of the other streets and cause a lot of headaches for people who live in the neighborhood having to drive around circles. As far as a community center, I never thought it would be a good idea to put something like this in any neighborhood, as it brings many people into the neighborhood. As I mentioned previously I think that type of a community center is better off in a business park area or a park similar to Masons Mill Park Where they already have the appropriate parking facility	9/15/2022 5:33 PM
11	Would love to see the development being something completely new to the area. Perhaps a skating rink or splash pad.	9/15/2022 11:30 AM

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12	Maintain the natural resources, devote less space to sports fields, the baseball field takes up a lot of space and doesn't serve purpose outside of games...focus on things that can be used for multiple purposes by multiple age groups. Pool would be awesome!	9/14/2022 11:47 PM
13	A community center, like the one in Horsham Township would be nice. Would love to see a farmers market there.	9/14/2022 10:20 PM
14	Would love a splash pad/larger playground since kids love them	9/14/2022 7:23 PM
15	I would like to see the mature trees stay if possible and shaded areas with benches. I would rather not see overgrowth or natural growing areas.	9/14/2022 10:00 AM
16	If more comprehensive amenities are planned then alternate sources of funding should be explored.	9/11/2022 9:54 AM
17	More trees and shaded areas would be nice	9/9/2022 5:20 AM
18	More trees, picnic areas, splash pads, updated playground.	9/7/2022 10:44 PM
19	An indoor facility would be unique in the community.	9/8/2022 10:05 PM
20	Please build a restroom with flushing toilets and sinks. Thank you for reviewing surveys and listening to the community.	9/2/2022 12:12 PM
21	Any changes should take environmental impact into account. If we alter areas to accommodate people, we should supplement sections of the park to share with wildlife as well. These areas could even be used as teaching areas for nearby students or young children. Native plantings are a great way to have low-maintenance areas that are attractive to wildlife and people.	9/1/2022 2:09 PM
22	I'd love to see nature trails for walking, maybe a huge playground with a trail surrounding it for caregivers to walk.	8/26/2022 2:13 PM
23	If a Community Center were constructed there, it would be fun to include some historical info or display about Woodlawn School, from the years it operated on the site.	8/25/2022 6:56 PM
24	It would be a great space for community events	8/25/2022 3:56 PM
25	A doggie area would be wonderful, though not as large as a traditional dog park.	8/19/2022 11:47 PM
26	I'm sure the surrounding homes of the park may not be happy with the decisions that are made due to additional noise and foot/car traffic. Careful consideration should be made with these families as well. It's bad enough that across the street is the large cell tower and giant water tank and I'm sure they are seen as unsightly. Just make the park inviting for future generations and that will make families want to come and live in Upper Moreland.	8/18/2022 8:19 AM
27	A dog park - so that the playing fields will remain clear.	8/17/2022 5:15 PM
28	Consider upgrading the baseball field. Low maintenance turf infield, Updated backstop, shaded dugouts	8/12/2022 1:38 PM
29	I think this is the perfect place for a community center. Taking advantage of it's natural attributes of being the highest point in the township, I think a roof top deck/patio would be nice for activities - sunset rooftop yoga! It will help provide space for classes, allowing the parks and rec office to expand their offerings. This could also be a safe indoor space for teens to play basketball. It could have the potential to allow a rental space for families to host celebrations. And have a large indoor space so community events could still continue to occur in the colder months - like craft fairs, food trucks and holiday events.	8/10/2022 1:40 AM
30	Please consider special needs children when adding new features to park. I have a special needs child and we would love to see sensory play items and a splash pad of some kind. Also a swing for children or young adults with disabilities. Woodlawn park is not very accessible and easy to navigate for children and adults in wheelchairs and or strollers. Considering the disabled would be greatly appreciated.	8/9/2022 8:28 PM
31	Please address water/drainage issues, the neighborhood has a huge problem with flooding. I would LOVE a community center as well.	8/4/2022 8:36 PM
32	I would to see everything get updated like the newer parks around here.	8/3/2022 10:51 PM
33	Basketball courts lined and painted would be nice	7/31/2022 1:27 PM

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34	Picnic benches, walking trails, nature trails. Leash dog walking. Emergency call bell, phone or monitor available	7/31/2022 12:06 PM
35	Please keep in mind of our teenagers in the neighborhood. I know there are small children in the neighborhood but the teens always get left behind.	7/30/2022 1:44 PM
36	Pool	7/27/2022 2:40 PM
37	A parking lot with two access points (Woodlawn and Division) for cars to enter and exit. This will help people come into the park to enjoy the park and not have to walk up and down neighborhood streets.	7/26/2022 3:54 PM
38	Improve it, don't destroy it's character.	7/20/2022 3:52 PM
39	Make it a peaceful zone.	7/18/2022 9:44 AM
40	I would be supportive of increasing nature-related features and activities at the park.	7/14/2022 11:12 AM
41	Please make sure to include a space in the park that is for middle-schoolers/teenagers.	7/11/2022 10:50 PM
42	After 20 plus years of looking at deplorable school it would be nice to see green space with walking trail that are animal friendly	7/10/2022 9:20 PM
43	Woodlawn park is the best location for a community building with 4 gyms/basketball courts and 4 classrooms. The parks and rec department could utilize both building and fields year round	7/6/2022 9:44 PM
44	The neighborhood has sidewalks so the elder people do not need a track. This should be for the kids in the area to use. The neighborhood is changing to a younger group and this should be their park not built for retirement people to walk one lap and then go home.	7/6/2022 8:30 AM
45	Leave it an open space.	7/1/2022 3:21 PM
46	Very interested in the final result. Please have security on site. And please have a parking lot.	7/1/2022 2:37 PM
47	Please keep the original trees that are standing there.	6/29/2022 7:59 PM
48	The property has a lot of potential for our township. I especially like the trees along with lawn Avenue. I hope the township maintains them and keep them healthy for years to come! Plant more trees please	6/24/2022 9:57 PM
49	New additions should require minimal maintenance	6/23/2022 2:08 PM
50	I would like a community center that would offer classes or activities for adults. A pool would be ideal as well. Picnic pavilions would also be nice. There should be a walking trail. A splash pad would be nice for the children.	6/20/2022 11:06 AM
51	Membership community pool.	6/19/2022 11:40 AM
52	I live right next to Woodlawn park and I love going there I think other people around the area love going there too especially on special occasions like 4th of July but I wouldn't want it to become some kind of crazy attraction for random people to be coming out the woodworks and making so much racket around the area I wouldn't want to go to the park anymore and it would be too chaotic even near my house being so close to the park area	6/19/2022 10:14 AM
53	Ideally I think a multi sport turf field would be awesome. Park should have lights and have them turned off 1 hour after dusk. Township desperately needs an intermediate baseball field (70 ft bases). Tenwood is used now which is not good.	6/17/2022 10:08 AM
54	I do not think a community center is a good idea because it will attract more crowds and may disturb the peaceful and residential atmosphere of the park.	6/17/2022 6:54 AM
55	A community turf field would be excellent for the community. Since the school built one and overcharges for the use	6/16/2022 10:06 AM
56	Thank you for the opportunity to share thoughts! For this to be a great community park it does need to have things for all ages.	6/15/2022 8:37 PM
57	This has to be a great place for kids to go and hang out!	6/14/2022 4:43 PM
58	I think we should just expand the park, new sports fields and trails, gardens, not a community center.	

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59	Keep the space open, put in ball fields, walking trail, more trees, bathrooms.	6/14/2022 4:33 PM
60	A jogging trail with exercise stations would be nice along with a picnic pavilion.	6/13/2022 5:00 PM
61	My property backs up onto the park in center field. I have lived on the park for 34yrs. I do not want a parking lot in my back yard. I don't want a building for toilets get porta potties and let provider clean them and I don't want lights because they most likely will be on all nite.And I DON'T WANT A DOG PARK TOO MANY CHILDREN.	6/12/2022 12:46 PM
62	A rec center would be great in this location - many neighborhood kids could walk to Woodlawn to enjoy it.	6/10/2022 3:44 PM
63	We tore down a 42,000 square-foot building so adding a 20,000 square-foot recreational center/community center shouldn't be an issue	6/10/2022 2:01 PM
64	The area would greatly benefit from multi purpose fields and expanded baseball ball and softball fields.	6/9/2022 10:30 PM
65	With all of these changes and improvements being in the process, I would hope that maintenance will not go on the wayside like we've seen in the past. It's very frustrating when we were slated to play a baseball game there and it was unclear as to who was supposed to maintain the field. Many parents took it upon themselves to work on the mound or even mow the infield once or twice. My fear is this park will be forgotten like it has in the past.	6/9/2022 7:44 PM
66	Small dog park	6/9/2022 7:08 PM
67	Community center or better baseball field	6/9/2022 6:05 PM
68	I'm excited for the renovations but hope those in charge keep traffic and noise in mind when planning for the space. I would really like to see it expanded for more use by kids.	6/9/2022 4:19 PM
69	Looking forward to see what comes of this space	6/9/2022 3:22 PM
70	There's a ton of potential here. You're never going to make everyone happy. If there isn't one already, form a committee of folks with young families, these people will be around the longest and benefit the most. Include uses for older adults too though. A neighborhood center where folks could go 1-2 week for socialization is just as important.	6/9/2022 3:18 PM
71	I would like to see an expanded walking path that is accessible for all ages to walk on	6/9/2022 11:33 AM
72	Please, please, please add a pool or at the very least a splash zone. Our children need more.	6/9/2022 11:05 AM
73	Parking is likely going to be an area of contention.	6/7/2022 6:36 AM
74	Consider a dog park	6/6/2022 1:55 PM
75	A small dog park could be nice for corner of the park. The community has many dogs. Although there is a nice sized dog park by the turnpike a much smaller dog park with turf for less maintenance would be a nice addition to the park	6/5/2022 8:16 PM
76	Concerned about parking outside of the park lot in front of homes, travelling noise where the school once buffered and security issues..... for direct neighbors surrounding the park on Woodlawn and Division Avenues the most..	6/5/2022 12:30 PM
77	This would be a great place for a full community center	6/3/2022 9:55 AM
78	As I mentioned before, I love that it is relaxing and not too busy. I think adding a community building would take away from the serenity of the park and diminish its "naturalness."	6/3/2022 9:23 AM
79	I don't want it to increase traffic.	6/2/2022 11:05 PM
80	I would love to see a walking trail around the park. It would be nice to see the large open field repurposed for additional fields for the kids to play on.	6/2/2022 8:33 PM
81	Dog friendly area	6/2/2022 3:38 PM
82	I would not be in favor of an outdoor pool	6/2/2022 1:45 PM
83	Add a parking lot with some parking restrictions on Division Ave	6/2/2022 8:52 AM
84	I'm excited for new opportunities here but want it to keep the neighborhood feel and not become a community center or destination. I work for another municipality and we are	6/1/2022 9:36 PM

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85	examining our facilities closely right now, so it's all top of mind. I think the community deserves a clean and safe park with a variety of options, and I am rooting for sustainable practices too, but not for features that would attract excessive mosquitos.	6/1/2022 8:11 PM
86	I would like to see a nature preserve with signage to show the importance of healthy ecosystem	5/31/2022 5:37 PM
87	Keep the new acreage green for nature. Extend the walking path.	5/31/2022 8:31 AM
88	Parking needs to be identified if it is to become fields/community park etc.	5/31/2022 8:08 AM
89	Would really like to see a couple of pickleball courts go in the park.	5/30/2022 8:04 PM
90	A great park would add additional value to the community and homes. Would it possibly to add a fishing pond?	5/30/2022 7:19 PM
91	Family friendly useful space would be great and a place the residents can rent out for their own parties and or events would be great	5/30/2022 11:28 AM
92	Please consider the residents who live in the area. One of the best features of the neighborhood is the low noise level.	5/30/2022 8:54 AM
93	Needs area for teens 13-16. Needs dog area, lots of dogs in this neighborhood	5/30/2022 8:18 AM
94	anyone who thinks a stuffed pool or community center has the wrong idea.	5/29/2022 8:22 PM
95	I would love to see imaginative style play areas. Different playground equipment, such as climbing structures, play houses, roundabouts, etc..	5/29/2022 2:47 AM
96	I don't necessarily think a full community center is necessary, but it is nice to have a pavilion or gazebo with which to picnic in or use for an outdoor family gathering spot	5/28/2022 4:55 PM
97	Dog park	5/28/2022 10:08 AM
98	Water play for children would be ideal. Nowhere for kids to play and cool off during the hot weather.	5/28/2022 9:00 AM
99	This area has too much development. I would like more open space, and more nature (trees, flowers, etc)	5/27/2022 11:19 PM
100	Please bring a community pool with resident and non resident fees to Upper Moreland. My daughter would love to join a pool, but they are expensive for non residents or private pools.	5/27/2022 8:21 PM
101	Recommend parking spots be added inside the park boundary on Woodlawn and Division Aves. Recommend a very large playground made out of natural materials like wood, rope, rubber.	5/27/2022 7:04 PM
102	A splash park would be great in the summer. Community garden	5/27/2022 5:47 PM
103	Time in nature is one of the best things our residents can do for physical and mental health. We need connection to nature.	5/27/2022 4:34 PM
104	The area is the highest area in eastern Montgomery county. Would like it to be known as a historical marker. This area years ago was an area where birds would rest before continuing on with their migration.	5/27/2022 4:25 PM
105	That it's really good	5/27/2022 4:24 PM
106	I think there should be actually bathrooms	5/27/2022 4:16 PM
107	Would love more waking trails, trees to provide shade. More focus on environment.	5/27/2022 3:30 PM
108	We love the fact that this is a small community park. We think the main upgrades could be regarding more nature, trees, flowers, native plants, and making it more accessible for all day activities, including restrooms, parking and picnic tables. Throw in a sprinkler from June to September, and it would be an amazing little spot for kids. Bikelwaking track and an accessible playground for different ages.	5/27/2022 3:19 PM
109	We are very excited to see the progress!	5/27/2022 3:03 PM
110	The point made about the park having a community center etc. changing the landscape and draw of park at initial meeting was very true- I would be thrilled for more space and	

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110	reinvigoration of park (and school being gone of course) but I'd love it still to feel like a neighborhood park. Masons mill has a lot of the more trendy things like fields and pickle all etc, which isn't the vibe I would see for Woodlawn. Thanks for all your hard work!	5/27/2022 2:34 PM
111	So glad you're redoing the park and getting rid of the school	5/27/2022 2:34 PM
112	I think enhancing this space would be a huge benefit for the surrounding neighborhood community! Really happy the township is investing in this area to provide a new space for those that live here.	5/27/2022 1:26 PM
113	With increased functionality and opportunity/reasons for children to be playing near the corner of Woodlawn and division, there needs to be improved enforcement of adherence to the stop signs. Currently, cars frequently roll through or barely slow down	5/27/2022 11:12 AM
114	There need to be a community/ recreation center. This needs to be priority number one. As was mentioned, grants would be needed to accomplish this as well as other needs.	5/27/2022 10:11 AM
115	Maybe a dog park?	5/27/2022 9:51 AM
116	I don't think that more baseball fields should be added (maybe update existing ones) the township focuses a lot on sports already so it would be nice to have an area with other amenities and things to do for families that can't always get to a park further away	5/27/2022 9:01 AM
117	need traffic and safety issues to be considered. Cars don't obey stop signs on Woodlawn Ave.	5/27/2022 7:49 AM
118	I think ultimately it should be a place where neighbors can gather sit in the shade enjoy maybe some live music and people watch. Enjoy children having fun and community coming together.	5/27/2022 7:35 AM
119	I like the idea of a community center for the township but I think the space gained by the school demo will best be served by open green space.	5/27/2022 7:01 AM
120	I think it would be a good idea to consider moving the roller hockey rink from war Memorial to Woodlawn. I heard it is in need of repairs anyway. I think having it in the neighborhood would make it much more accessible to kids. A collection of sports courts from roller hockey, volleyball, basketball, tennis, pickleball. (Similar to Masons mill which we use often and is often overcrowded)	5/27/2022 6:38 AM
121	A dog park would be great. Keep it simple not a good idea to make it too inviting because people from all over will show up. It should only be for our township. Masons Mill used to be great but they tore down trees to make parking for people who don't live in the area or contribute tax dollars so we rarely visit anymore.	5/27/2022 6:24 AM
122	As a direct neighbor I am concerned about parking and car traffic if there is a community center built in that location. I live where there is a curve in the road and have witnessed near accidents of food delivery drivers and other non residents that aren't familiar with the area. I'm concerned a child or adult would get injured if there is a community center placed. I would like to see more open space.	5/27/2022 6:00 AM
123	There needs to be something for our middle school and high school kids	5/27/2022 5:53 AM
124	Would like an improved walking trail, improved basketball court, and convert the school to a community center w/ activities such as fitness center/restrooms/events/etc.	5/27/2022 12:02 AM
125	I think it would be great for the park to have a couple well graded and maintained soccer fields, a nice well graded baseball and softball field, a couple basketball courts. A jogging loop around the perimeter and some nice plantings. Something like a community pool could make it a really nice meeting place for the community.	5/26/2022 11:28 PM
126	I worry about traffic volume with a community center and loss of green space when parking is factored in. The street in front of Woodlawn is really narrow.	5/26/2022 10:40 PM
127	Ensure ample parking if a multi-use turf field is in the plans.	5/26/2022 10:25 PM
128	Amazing view of surrounding areas from the park. Sometimes able to see center city skyline or catch a nice sunset.	5/26/2022 10:22 PM
129	Many parents do use the baseball field with their kids in addition to the boys league that plays there. My sons favorite park in the area is "Lions park" in Warrington. Their kids mountain is amazing!	5/26/2022 10:04 PM
	If a lot or driveway is in the plans, please consider placing it away from the backyards for	5/26/2022 9:52 PM

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130	those of us along Forest Ave. Perhaps on the Division or Woodlawn side where the street would be the buffer and not right up against our yards. PLEASE!	5/26/2022 9:38 PM
131	Some type of water based play would be so great for kids since our township doesn't have a public pool.	5/26/2022 9:23 PM
132	Would love a splash pad and an expanded playground for kids	5/26/2022 9:23 PM
133	It would be wonderful to have a football field for the willow grove bears with lights! It would also be great to have an indoor gymnasium for the kids to be able to play basketball etc.	5/26/2022 9:14 PM
134	Please keep it a neighborhood park	5/26/2022 9:09 PM
135	I would like to see the area to remain open and uncluttered with same "stuff" that just about all community parks seem to have today.	5/26/2022 9:08 PM
136	Looking forward to it cleaned up and adding to our great community as a safe, fun place.	5/26/2022 8:45 PM
137	Would love to see female trees planted to help with pollen reduction	5/26/2022 8:42 PM
138	Keep it a neighborhood park	5/26/2022 8:37 PM
139	As a bordering neighbor and daily user of Woodlawn park, I welcome updates and care that this park deserves. But unlike Masons mill or other parks, Woodlawn is a backyard to many families. Please don't take away our green space with building development and traffic. We are so looking forward to enjoying the view of trees when this school is down. Woodlawn has the best sunsets and star gazing in the area. Don't block our view PLEASE!	5/26/2022 8:31 PM
140	consider a dog park	5/26/2022 8:23 PM
141	As a local to Woodlawn I would really love to see the park stay a neighborhood park. I do not want to see this become a destination park for people to come too. I think it is so important to listen to the local neighbors who will be living near this park. I would love to see everything upgraded but do not feel the park needs to be turned into the new mason mill. Thank you so much for seeking the communities input.	5/26/2022 8:21 PM
142	Need to add another baseball field that is 60-90 with turf.	5/26/2022 8:17 PM
143	Neighbors adjacent to the park should be consulted more and given seats on the committee. Serious consideration needs to be given to parking and traffic. Playground equipment like the climbing equipment recently installed at the YMCA or that at Lion's Pride park would be nice.	5/26/2022 8:16 PM
144	Most families nearby have very young kids, so please keep their safety in mind.	5/26/2022 8:15 PM
145	Would love to see a community swim club for families to join. I realize there is already one in UM, but that area is perfect for it. We lost the outdoor pool at the Y which was disappointing.	5/26/2022 8:10 PM
146	I would love a walking trail along the perimeter of the park - paved. And a space for kids to ride bikes!	5/26/2022 8:06 PM
147	I would just love to see an actual outdoor space for kids and families there. Put the stuff that requires buildings and lots of parking somewhere else, please. There are no other parks nearby if you live in woodlawn. Our kids need somewhere to go and play that doesn't require an adult driving them. This is such a small area, please let us keep as outdoor spaces for all, please.	5/26/2022 7:48 PM
148	It needs to be a safe place kids and families.	5/26/2022 7:31 PM
149	None.	5/26/2022 7:20 PM
150	Get rid of the portapotties and have a community center with bathrooms.	5/26/2022 7:10 PM
151	I would love a dog park in there	5/26/2022 6:52 PM
152	Consider some place for my dog	5/26/2022 6:48 PM
153	We don't need a community center not adequate parking to support it. 9.5 acres doesn't support it. Who is going to maintain the building? Really would like to see the acres used for outdoor activities for the children. Can't we just have a pretty park after all these years of looking at a dilapidated building.	5/26/2022 6:19 PM
	Please see my ideas from the previous questions.	

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154	I think anything but houses would be great. If you build it , they will come.	5/26/2022 6:19 PM
155	A dog park would be nice	5/26/2022 5:50 PM
156	Don't want it to be a place for kids to just hang out. No pods or water activities. Put some trees up for shade. It's a small park in a small neighborhood. Don't want to have it turn into something where people from all over are coming to use it.	5/26/2022 5:24 PM
157	A reservable picnic pavilion. Running water bathrooms would be wonderful. Similar to the large pavilion and bathroom set up at Fort Washington State Park or the Pat Lvezey park in New Hope.	5/26/2022 5:06 PM
158	A small area for dogs would be great.	5/26/2022 4:50 PM
159	Don't put too much there so you lose the free space	5/26/2022 4:45 PM
160	You have the opportunity to put in a beautiful new soccer facility and upgrade some of the current park features and it will make it one of the best parks in the township.	5/26/2022 4:34 PM
161	Would love to see any improvements!	5/26/2022 4:23 PM
162	I'd love to see the community center. It would generate revenue (basketball, indoor soccer leagues, etc). It would provide jobs. It would give kids of all ages somewhere to be. I'd also really like to see an upgraded baseball/softball field with lights.	5/26/2022 4:20 PM
163	Did I mention plan for parking!	5/26/2022 3:26 PM
164	would love to see this park better utilized and by bringing more community resources to it.	5/26/2022 1:07 PM

Woodlawn Ave

