

**UPPER MORELAND TOWNSHIP**  
**Community Development Committee Meeting**  
**October 12, 2020 at 7:00 p.m.**

*AGENDA ITEMS ARE SUBJECT TO CHANGE*

**INSTRUCTIONS TO JOIN:**

**Go to Zoom.us.** Click “Join a Meeting”      Webinar ID: 975 3201 0616      Password: 349167

**Join by Phone:** Dial 1-929-205-6099      Webinar ID: 975 3201 0616      Password: 349167

**SUBMIT COMMENTS/QUESTIONS:**

E-mail in advance or during the meeting to: [comments@uppermoreland.org](mailto:comments@uppermoreland.org)

Call in advance during normal business hours to 215-659-3100 x1058 or x1057

*\*\*Residents requiring special accommodations, please call the Township during normal business hours\*\**

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**Community Development Committee Members:** Commissioner and Committee Chair Joseph A. Lavalley; Commissioner Kevin Spearing and Commissioner Kip McFatridge; Township Staff Committee Members: Paul E. Purtell, Director of Code Enforcement and David Elsier, Director of Public Works.

- I.      Moment of Silent Meditation**
- II.     Pledge of Allegiance**
- III.    Call to Order**
- IV.    Announcements**
- V.     Roll Call**
- VI.    Approval of Minutes – September 21, 2020 (attachment)**
- VII.   Old Business:**
  - A. Continued discussions of the Wayfinding & Signage Steering Committee’s recommendations (attachment).
  - B. Davisville Road and Byberry Road Budget Amendment (attachment).
- VIII.  Land Development/Subdivision:**
  - A. Request by Federal Realty Investment Trust for a Waiver of Land Development at 10-170 Park Avenue (attachments).
- IX.    New Business:**
  - A. Request from Jose Tavares to install a force main in the Township’s Right-of-Way along with deferment for fee in-lieu of replacement trees for the property located at 3195 Pennypack Road (attachment).
- X.     Other Items**
- XI.    Presentations**

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- XII. Acceptance and Approval of the following monthly reports for September (attachments):**
- A. Code Enforcement Department Reports
  - B. Public Works Department Report and Recycling Report
  - C. Engineer’s Report
  - D. Landscape Architect’s Report
  - E. Traffic Engineer’s Report
  - F. Upper Moreland School District – Construction/Other Items
  - G. Horsham Land Redevelopment Authority {HLRA} – to monitor status of redevelopment of former Willow Grove Naval Air Station property
  - H. Environmental Advisory Council {EAC}
  - I. Pennsylvania Review Advisory Council
  - J. Upper Moreland Historical Commission
- XIII. Redevelopment**
- XIV. Visitor Comments**
- XV. Commissioner Comments**
- XVI. Adjournment**

Community Development Committee Members - Commissioner and Chair Joseph A. Lavallo; Commissioners Kip McFatrige and Kevin Spearing; Paul E. Purtell, Director of Code Enforcement; David Elsier, Director of Public Works

I. **Moment of Silent Meditation:**

II. **Pledge of Allegiance**

III. **Call to Order** - The meeting was called to order by Commissioner and Chair Lavallo.

IV. **Presentations/Announcements:**

- Commissioner Lavallo stated that the Board of Commissioners held an Executive Session prior to the start of tonight's Committee meeting to discuss personnel and real estate matters.

V. **Roll Call:** Commissioner and Committee Chair Lavallo. Commissioners Spearing and McFatrige; Mr. Elsier and Mr. Purtell. Also, present: Matthew H. Candland; Township Manager; James Hersh, Township Engineer; Sean Kilkenny, Township Solicitor.

VI. **Approval of Minutes** – August 10, 2020: The meeting minutes were unanimously approved as submitted.

VII. **Old Business:**

A. Wayfinding & Signage recommendations provided by the Wayfinding & Signage Steering Committee

- Mr. Candland explained that the Township received an \$86,000 grant awarded by Montgomery County in 2019 of which a portion will be used to implement the installation of gateway signs, pedestrian directional signs, interpreter signs, and he discussed details of their proposed locations.
- The Committee directed Mr. Candland to follow up on a sample design for each location.
- Sue Worth-LaManna, a resident, commented on a sign at Easton Road and Maryland Road, a gateway sign exiting the Turnpike, and discussed various locations for signs to historical areas in the Township. Mr. Candland clarified that the objective of this portion of the project is to locate directional signs to the downtown Willow Grove area.
- Commissioner Spearing commented that locations discussed were based on transportation and foot traffic, which does not include the shopping center areas.
- Commissioner Scull suggested that the design be unique and interface with what is current in the Township.
- The Committee directed Mr. Candland to provide designs and comments from the report and feasibility study to be discussed at a future Committee meeting.

B. Traffic Signal Bid Results – 2018 ARLE Grant for Traffic Signal Improvements at Blair Mill Road and Horsham Road:

- Anton Kuhner, McMahon Associates discussed updates and stated that the project is within budget.
- Mr. Kuhner recommended that the lowest bid be awarded to Armour & Sons Electric, Inc.
- Mr. Elsier stated that they have a good working relationship and have coordinated issues with Armour & Sons on the Township lighting project.
- The Committee recommends the Board of Commissioner take action at the October 5, 2020 Regular Meeting.

VIII. **Land Development/Subdivision:**

IX. **New Business** - Nothing to report.

X. **Presentations** - Nothing to report.

XI. **Acceptance and Approval of the following monthly reports for July:**

A. Code Enforcement Department Reports - Nothing to report.

- Commissioner Lavalley inquired on the Department's activity. Mr. Purtell replied that many projects that were delayed as a result of the pandemic have started back and the Department is very busy.

B. Public Works Department Report and Recycling Report:

- Mr. Elsier stated that Betz Road and Round Meadow Lane stormwater project is nearing completion.
- Commissioner Whiting inquired about noise on Brooks Street. Mr. Elsier replied that UM-HJSA was cleaning the sanitary lines.
- Commissioner Lavalley inquired on the intersection improvements at Byberry and Davisville. Mr. Candland replied that he will consult McMahon Associates to resolve an issue with the driveway that goes into the roadway at an awkward angle.

C. Engineer's Report:

- Mr. Hersh stated the Fair Oaks Basin pre-bid meeting was well attended on September 17, 2020. The bids will open on September 28, 2020 and a recommendation will be made to the Board of Commissioners at the October 5, 2020 Regular Meeting.

D. Landscape Architect's Report - Commissioner Lavalley reviewed items in the report.

E. Traffic Engineer's Report - Mr. Kuhner provided updates:

- Department of Community & Economic Development Multimodal Transportation Fund (DCED MTF) grant application will be submitted by the end of September for Easton Road, Blair Mill Road and Commerce Drive improvements.
- PennDOT Multimodal Transportation Fund grant application, due November 6, 2020, will be considered for action by the Board of Commissioners at the October 5, 2020 Regular Meeting.
- Bid information is being prepared, which is part of a PennDOT MTF grant that was received for improvements on Byberry Road and Davisville Road.
- Commissioner Spearing inquired if Turnpike Drive and Davisville Road are on PennDOT's Transportation Improvement Plan (TIP). Mr. Kuhner stated that he will follow up on the TIP project list.

F. Upper Moreland School District – Construction/Other Items - Nothing to report.

G. Horsham Land Redevelopment Authority {HLRA} – to monitor status of redevelopment of former Willow Grove Naval Air Station property - Nothing to report.

H. Environmental Advisory Council {EAC} - Mr. Elsier provided updates in the behalf of Dr. Lynnette Saunders, Chair.

- A book giveaway and information table were held at Masons Mill Park on September 5, 2020.
- A small digital picture frame will be installed in the display at the Library that rotates photos of past events.
- News and announcements will be sent quarterly to everyone who has signed up on the EAC email list.

**UPPER MORELAND TOWNSHIP  
Community Development Committee  
September 21, 2020 - Meeting Minutes**

- Virtual community talks are planned for the Fall through Zoom.
- An invasive species cleanup at the dog park will be held on September 26, 2020.
- Commissioner Lavelle thanked Dr. Saunders for her continued work in the community.

I. **Pennsylvania Review Advisory Council:**

- Commissioner Lavelle stated that public meetings are being coordinated for the end of October regarding adoption of 2018 ICC Codes in the Commonwealth of Pennsylvania.

J. **Upper Moreland Historical Commission:**

- Sue Worth LaManna, Chair, stated that the Commission will meet in October to discuss 2021 projects with a focus on Mineral Springs.
- Commissioner Spearing thanked the Commission for work on the banners, which has initiated the beautification and communication of the Town Center. The banners have helped to evolve the Wayfinding & Signage project and the associated grant application.

XII. **Other Items:**

A. **Discussion led by Jim Hersh on the Maryland Road Culvert – Assessment and Repair Options:**

- Mr. Hersh discussed dimensions and background of the culvert and three options for repair.
- Commissioner Scull commented that United Parcel Service (UPS) trucks cause stress on the culvert and suggested they contribute to the cost of repairs. Mr. Hersh replied that if the Township is unable to secure funding in a timely fashion, a weight restriction would be placed on the bridge, and then UPS would be required to find an alternative route to the Turnpike, which would cause a severe impact on their operations.
- Commissioner McFatridge commented dissatisfaction with the ten-year life of the repairs and recommended securing ample grant funding for option #3 that replaces the culvert.
- The Committee agreed on option #2, but Mr. Kuhner recommends option #3 for a full concrete replacement, which should qualify for grant funding. Mr. Hersh and Mr. Kuhner will coordinate a follow up to option #3 for discussion at a future Committee meeting.

B. **Pennsylvania Department of Transportation’s 5-year Municipal Winter Service Agreement:**

- Mr. Elsier discussed an overview of the process and lane miles that have changed.
- The Committee recommended the Board of Commissioners take action at the October 5, 2020 Regular Meeting.

XIII. **Redevelopment** - Nothing to report.

XIV. **Visitor Comments** - Nothing to report.

XV. **Commissioner Comments** - Nothing to report.

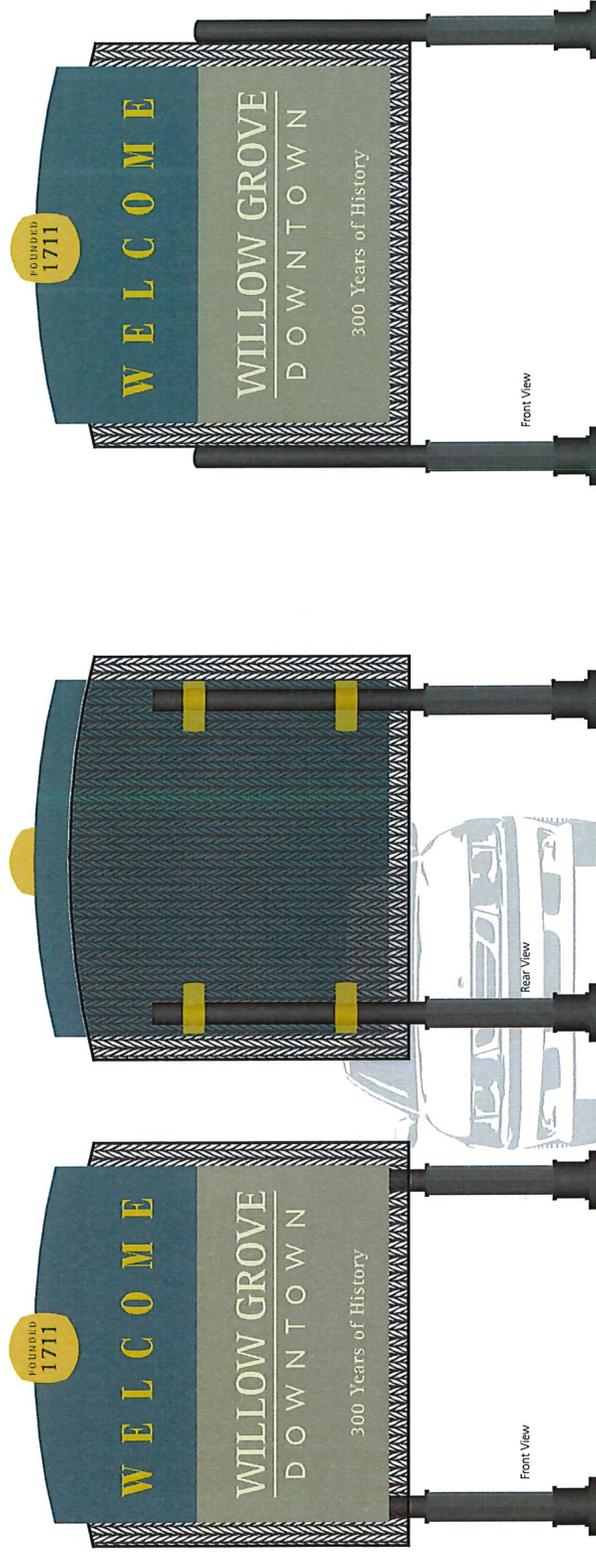
XVI. **Adjournment** - There being no further business to discuss, the meeting was adjourned at 8:40 p.m.

Respectfully submitted by Kathleen Kristire.

SCHEMATIC DESIGN

Concept 1

4.4



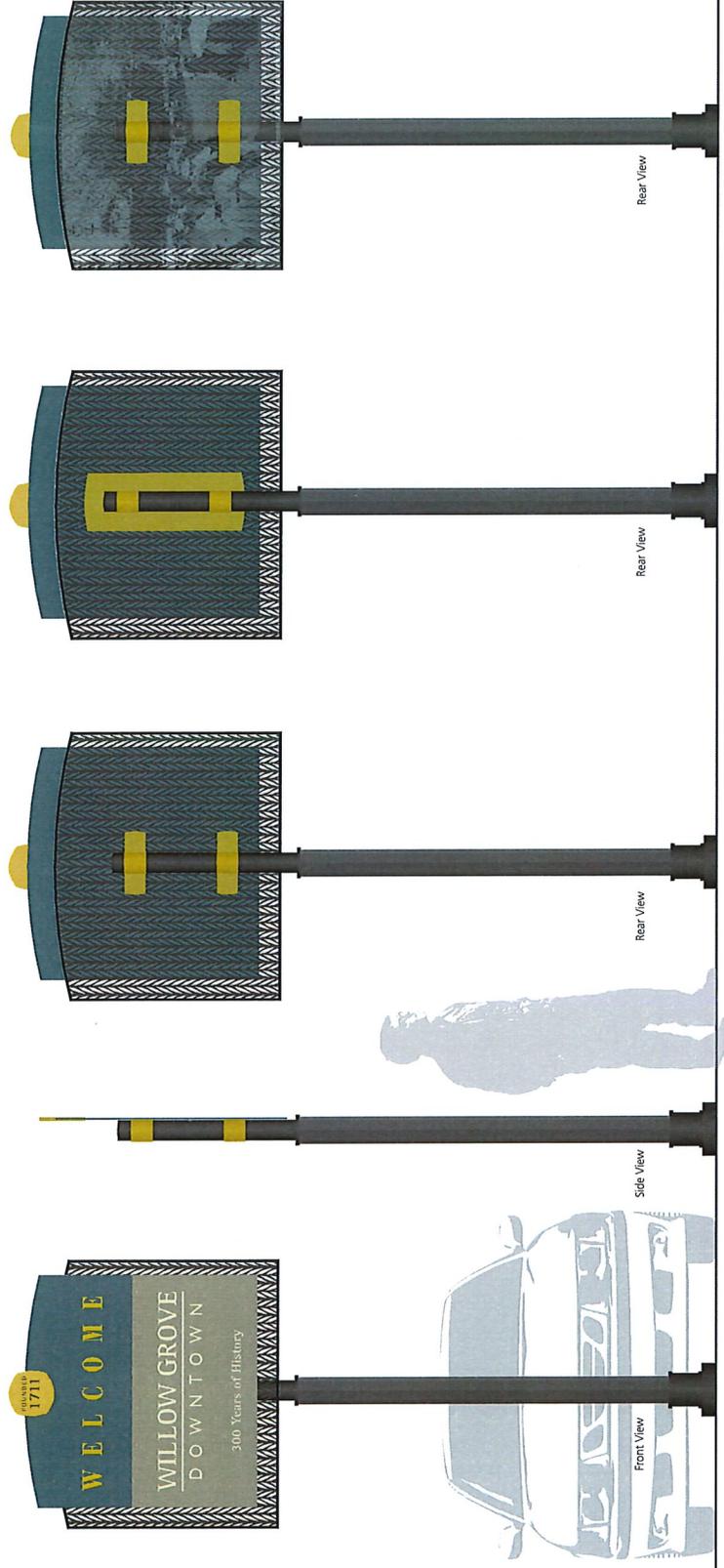
**ST1 - Large Gateway Sign - Option 1**  
Gateway Sign /Welcome sign  
Double Post and Panel  
Illuminated or Non-Illuminated

**ST1 - Gateway Sign - Option 2**  
Gateway Sign /Welcome sign  
Double Outset Post and Panel  
Illuminated or Non-Illuminated

SCHEMATIC DESIGN

Concept 1

4.6



ST2 - Gateway Sign  
Gateway Sign / Welcome sign  
Post and Panel

Panel Hardware Option 1

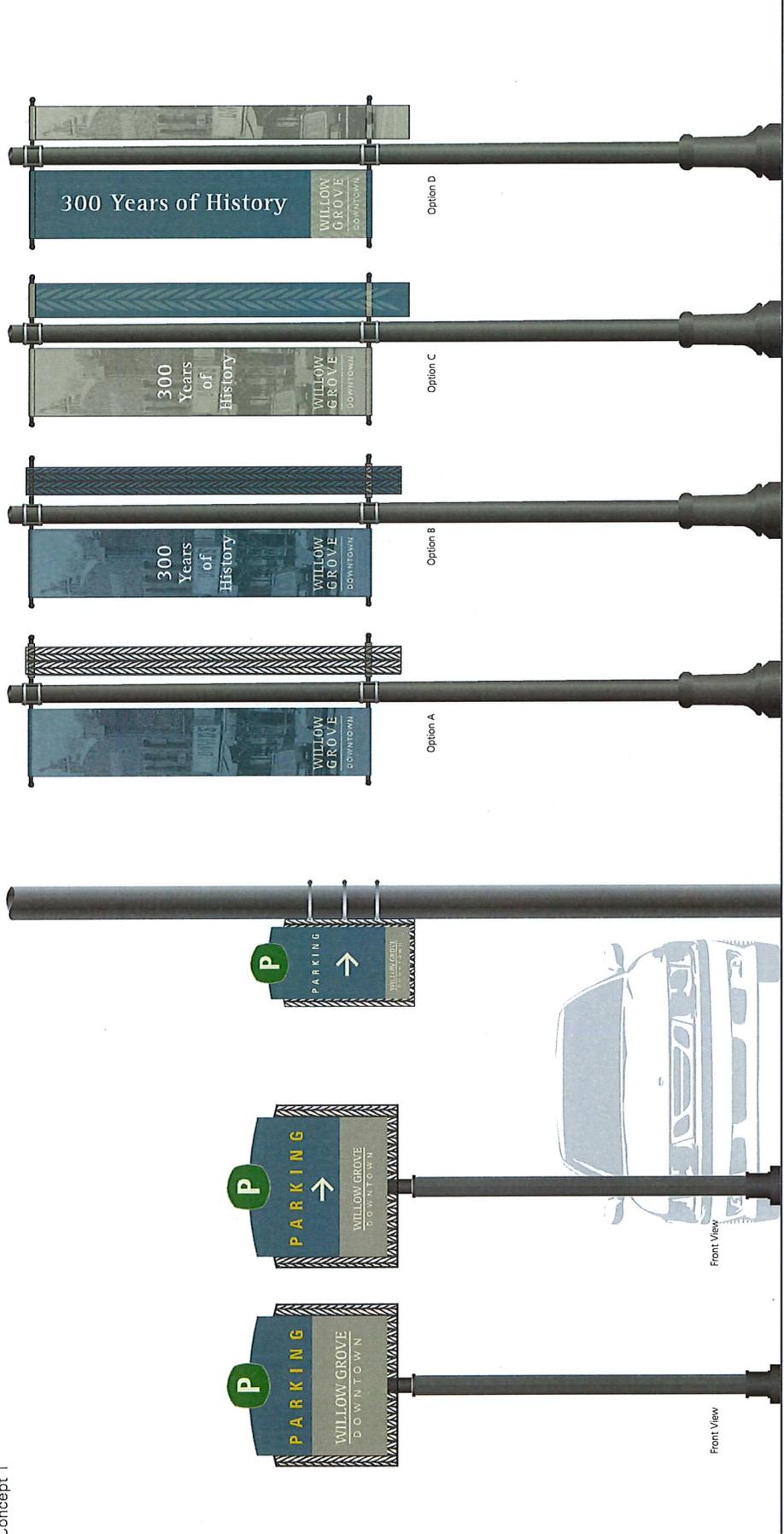
Panel Hardware Option 2

Proposed rear of panel to include  
historic images



SCHEMATIC DESIGN

Concept 1



ST10 - Banners  
Metal and/or Fabric

ST8 - Directional - Small Post Mounted  
Vehicular Directional Sign

ST6&7 - Vehicular Parking ID & Directional  
Vehicular Directional Sign



SCHEMATIC DESIGN

4.12

Concept 1



ST3 - Vehicular Directional Sign - Large

ST4 - Vehicular Directional Sign - Medium

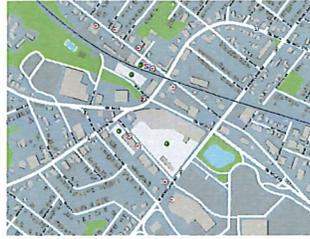
ST5 - Vehicular Directional Sign - Small



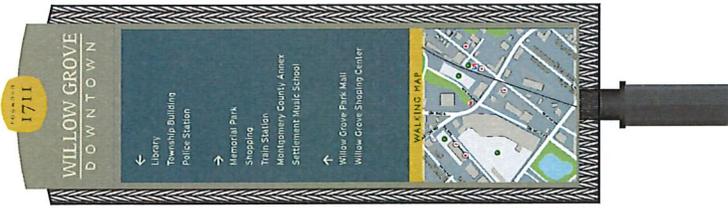
# SCHEMATIC DESIGN

Concept 1

4.14



Map



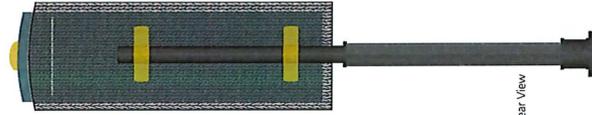
Front View



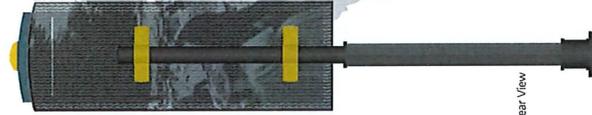
Front View



Side View One Sided



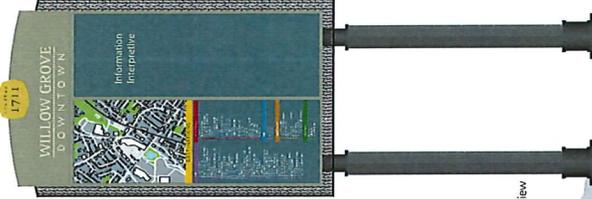
Side View Two Sided



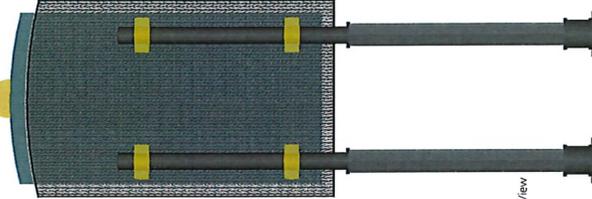
Rear View



Rear View



Front View



Rear View



**ST12 - Pedestrian Directional**  
Directional messages with Map  
Updateable

**ST14 - Pedestrian Orientation -Small**  
Map with destination listing  
Updateable

Proposed rear of panel to include historic images

**ST16 - Pedestrian Orientation - Large**  
Map with destination listing  
Updateable



SCHEMATIC DESIGN

Concept 1



NOTE: Content for design only. CGA will require interpretive content from township for design.

Interpretive Stories

The Underground Railroad

Legends of the area

- Legend of Sampson's Hill
- The Bird of Happy Omen
- Legend of Huckleberry Hill

Notable People who passed through; Some who stayed

- |                               |                           |
|-------------------------------|---------------------------|
| Lt. Colonel Robert Abreaction | David Newport             |
| James Gordon Bennet Jr.       | William Newport           |
| James Gordon Bennet Sr.       | Rev. Joshua Potts         |
| Leonard Bernstein             | Sr. George Rex            |
| Nathaniel Boileau             | Henry Darwin Rogers       |
| William Jennings Bryan        | Betsy Ross                |
| William Joseph Buck           | Nicholas Scull            |
| David Cherry                  | John Philip Sousa         |
| James Cooper                  | Horace Trumbauer          |
| Sampson Davis                 | John Wannamaker           |
| Jacob & James Dubree          | General George Washington |
| Amelia Earhart                | Ted Williams              |
| Fred Ehrenpfort               | Henry Wynkoop             |
| William West Frazier          | Richard E. Yerkes         |
| President Benjamin Harrison   |                           |
| Ferdinand Hassler             |                           |
| Victor Herbert                |                           |
| Peter Kalms                   |                           |
| Sir William Keith             |                           |
| John Fitzgerald Kennedy       |                           |
| Major General Lafayette       |                           |
| Jeremiah Berrell Lazalere     |                           |
| Thomas Lloyd                  |                           |
| President William McKinley    |                           |
| General George Meade          |                           |
| James Michener                |                           |
| Benjamin J. Morgan            |                           |
| Christopher Morley            |                           |



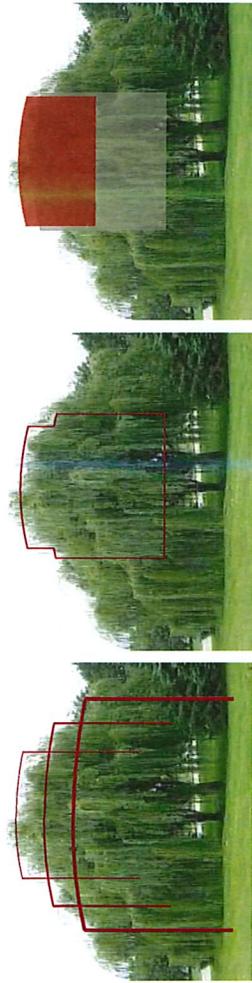
ST20 - Interpretive Sign - Large  
Interpretive story / Historical Content  
Changeable



**SCHEMATIC DESIGN**

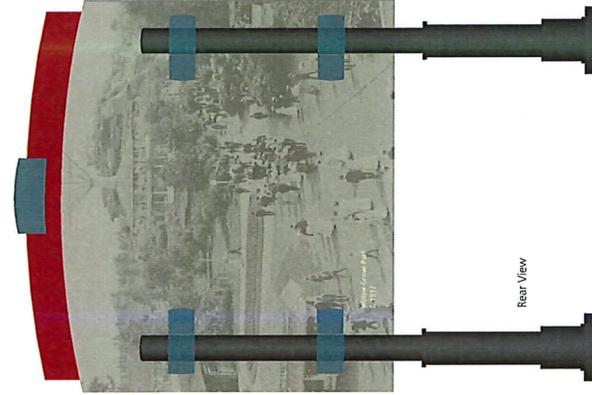
4.16

Concept 2



Front View

**ST1 - Large Gateway Sign - Option 1**  
Gateway Sign /Welcome sign  
Double Post and Panel



Rear View

Proposed rear of panel to include historic images



Front View

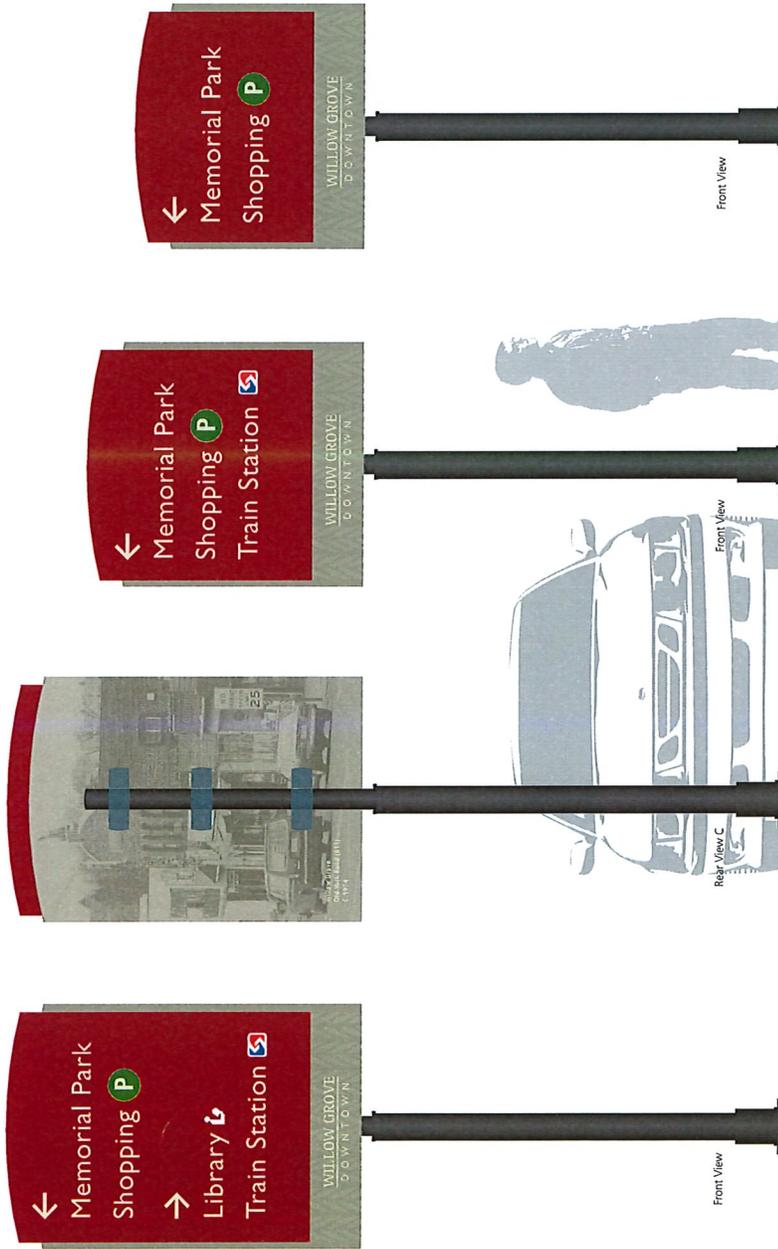
**ST1 - Gateway Sign - Option 2**  
Gateway Sign /Welcome sign  
Double Outset Post and Panel



**SCHEMATIC DESIGN**

4.18

Concept 2





**SCHEMATIC DESIGN**

4.20

Concept 2

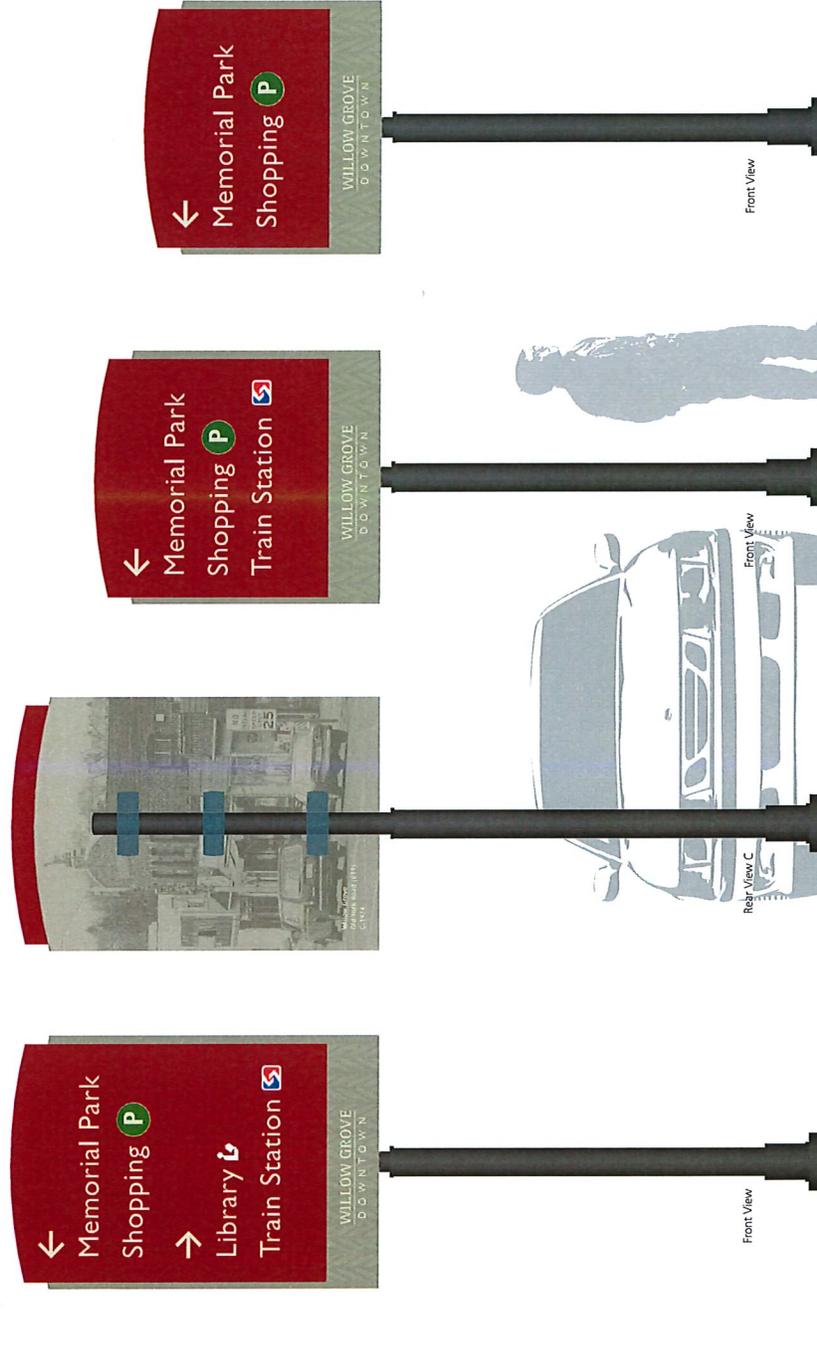




SCHEMATIC DESIGN

4.24

Concept 1



ST3 - Vehicular Directional Sign - Large  
Vehicular Directional Sign  
Post and Panel - Reflective Face

ST4 - Vehicular Directional Sign - Medium  
Vehicular Directional Sign  
Post and Panel - Reflective Face

ST5 - Vehicular Directional Sign - Small  
Vehicular Directional Sign  
Post and Panel - Reflective Face

Proposed rear of panel to include  
historic images

SCHEMATIC DESIGN

Concept 2



Map



Front View

ST12 - Pedestrian Directional  
Directional messages with Map  
Updateable



Front View

ST14 - Pedestrian Orientation - Small  
Map with destination listing  
Updateable



Sides View  
One Sided



Sides View  
Two Sided



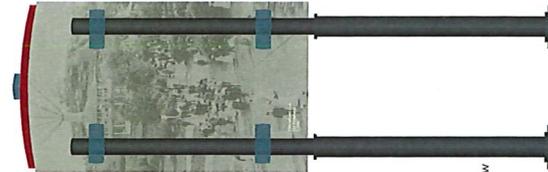
Rear View

Proposed rear of panel to include  
historic images

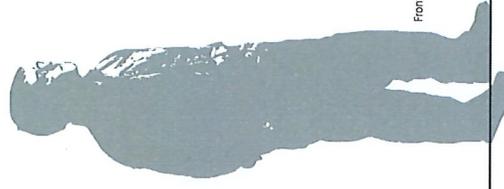


Front View

ST16 - Pedestrian Orientation - Large  
Map with destination listing  
Updateable



Rear View



**SCHEMATIC DESIGN**

4.27

Concept 2

**Interpretive Stories**

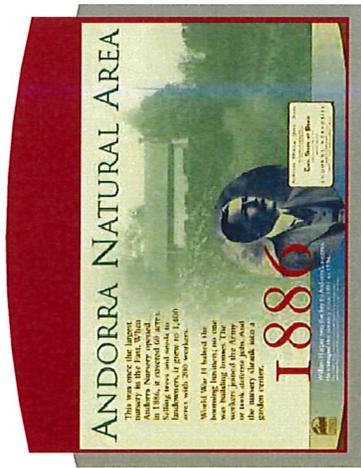
The Underground Railroad

Legends of the area

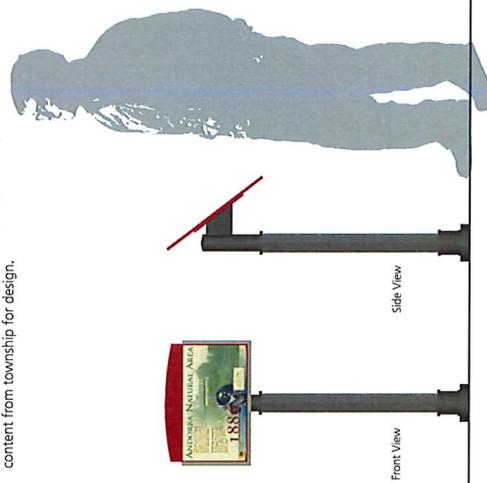
- Legend of Sampson's Hill
- The Bird of Happy Omen
- Legend of Huckleberry Hill

**Notable People who passed through: Some who stayed**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>Lt. Colonel Robert Abreaction</li> <li>James Gordon Bennet Jr.</li> <li>Leonard Bernstein</li> <li>Nathaniel Boileau</li> <li>William Jennings Bryan</li> <li>William Joseph Buck</li> <li>David Cherry</li> <li>James Cooper</li> <li>Sampson Davis</li> <li>Jacob &amp; James Dubree</li> <li>Amelia Earhart</li> <li>Fred Ehrenpfort</li> <li>William West-Frazier</li> <li>President Benjamin Harrison</li> <li>Ferdinand Hassler</li> <li>Victor Herbert</li> <li>Peter Kalm</li> <li>Sir William Keith</li> <li>John Fitzgerald Kennedy</li> <li>Major General Lafayette</li> <li>Jeremiah Berrill Lazalere</li> <li>Thomas Lloyd</li> <li>President William McKinley</li> <li>General George Meade</li> <li>James Michener</li> <li>Benjamin J. Morgan</li> <li>Christopher Morley</li> </ul> | <ul style="list-style-type: none"> <li>David Newport</li> <li>William Newport</li> <li>Rev. Joshua Potts</li> <li>Sr. George Rex</li> <li>Henry Darwin Rogers</li> <li>Betsy Ross</li> <li>Nicholas Scull</li> <li>John Phillip Sousa</li> <li>Horace Trumbauer</li> <li>John Wannamaker</li> <li>General George Washington</li> <li>Ted Williams</li> <li>Henry Wymkoop</li> <li>Richard E. Yerkes</li> </ul> |
|---|--|



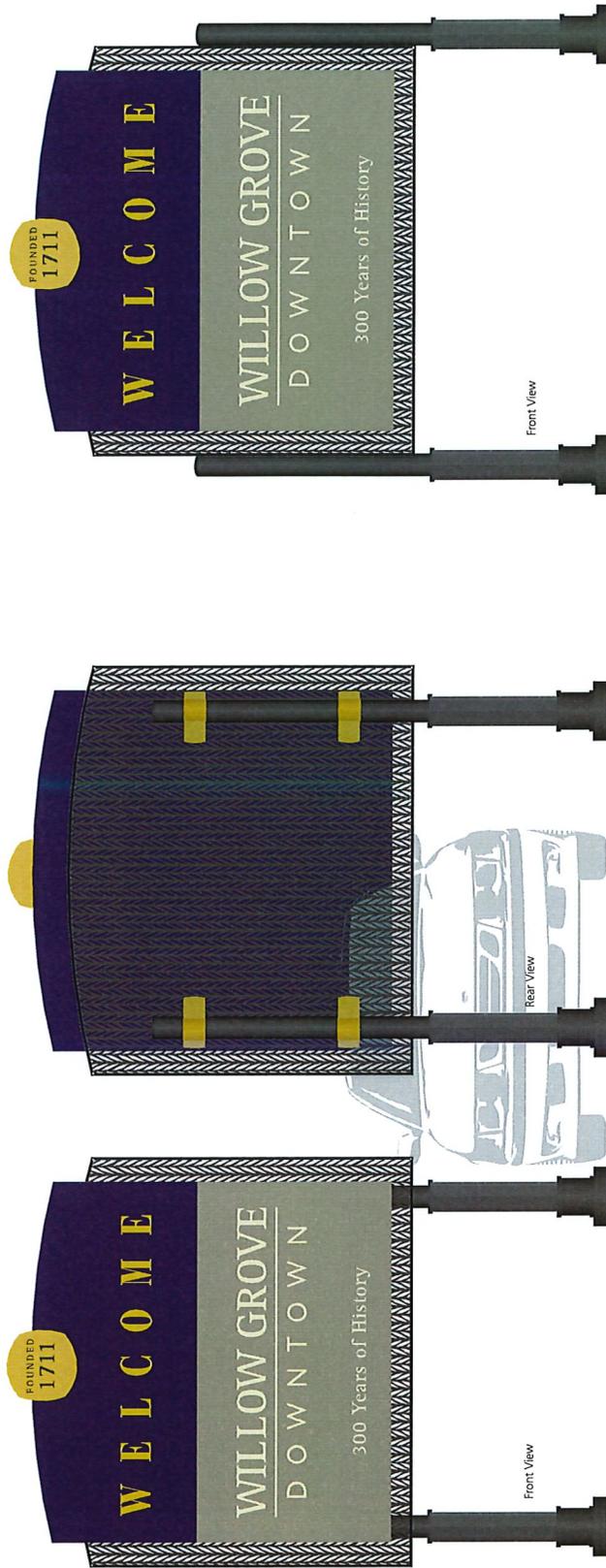
NOTE: Content for design only. CGA will require interpretive content from township for design.



ST20 - Interpretive Sign - Large  
Interpretive story / Historical Content  
Changeable

SCHEMATIC DESIGN

Concept 1

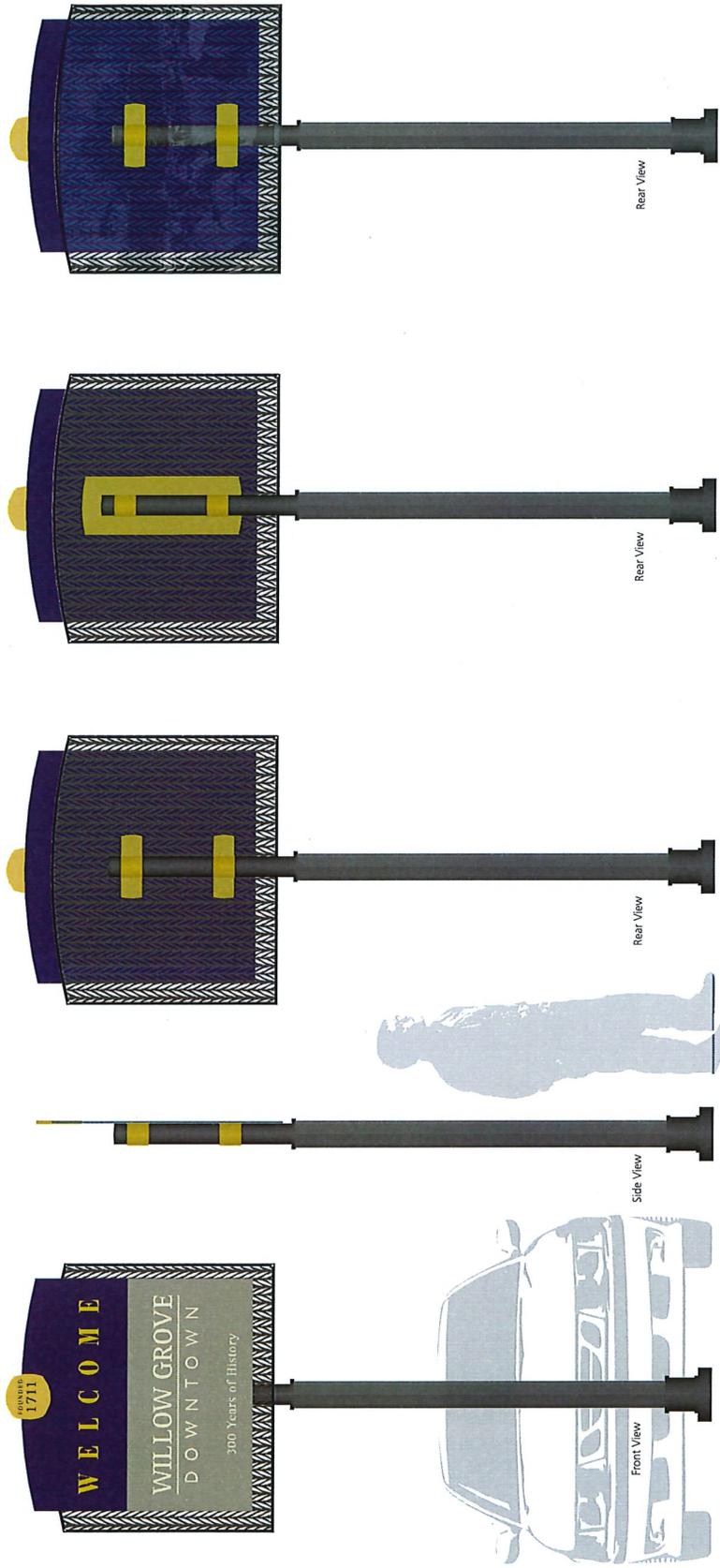


ST1 - Large Gateway Sign - Option 1  
Gateway Sign / Welcome sign  
Double Post and Panel  
Illuminated or Non-Illuminated

ST1 - Gateway Sign - Option 2  
Gateway Sign / Welcome sign  
Double Outset Post and Panel  
Illuminated or Non-Illuminated

4.6 SCHEMATIC DESIGN

Concept 1



ST2 - Gateway Sign  
Gateway Sign / Welcome sign  
Post and Panel

Panel Hardware Option 1

Panel Hardware Option 2

Proposed rear of panel to include  
historic images



# SCHEMATIC DESIGN

4.8

Concept 1



ST10 - Banners  
Metal and/or Fabric

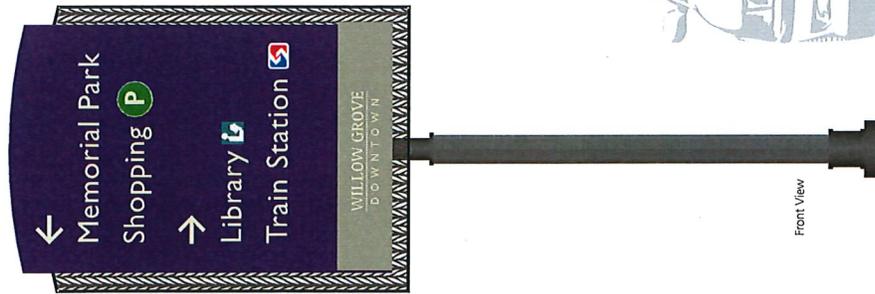
ST8 - Directional - Small Post Mounted  
Vehicular Directional Sign

ST6&7 - Vehicular Parking ID & Directional  
Vehicular Directional Sign

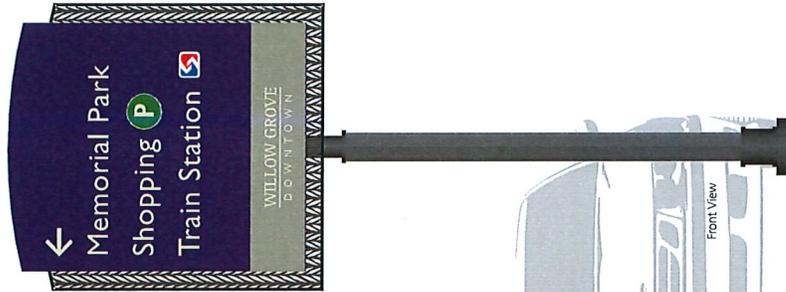
**SCHEMATIC DESIGN**

4.12

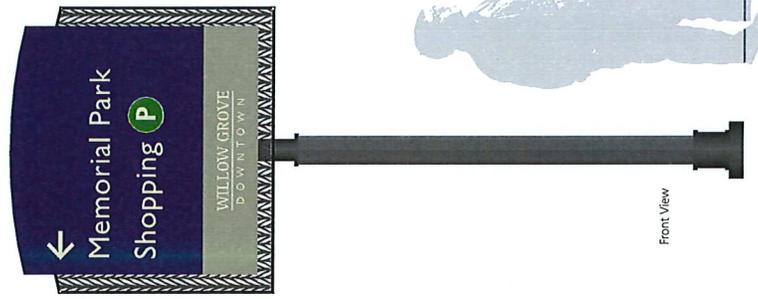
Concept 1



**ST3 - Vehicular Directional Sign - Large**  
Vehicular Directional Sign  
Post and Panel - Reflective Face



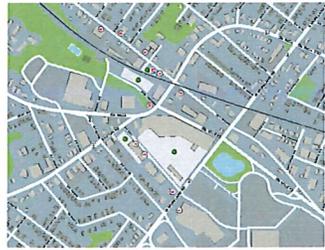
**ST4 - Vehicular Directional Sign - Medium**  
Vehicular Directional Sign  
Post and Panel - Reflective Face



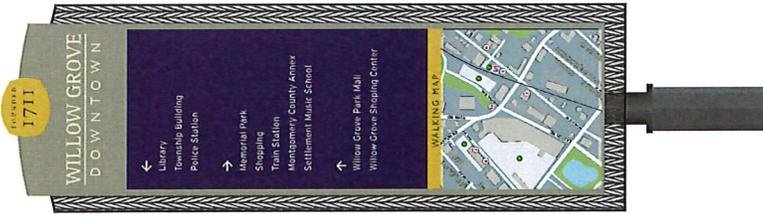
**ST5 - Vehicular Directional Sign - Small**  
Vehicular Directional Sign  
Post and Panel - Reflective Face

4.14 SCHEMATIC DESIGN

Concept 1



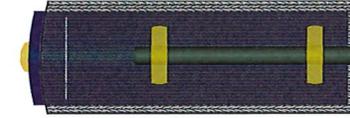
Map



Front View



Front View



Rear View



Side View  
Two Sided



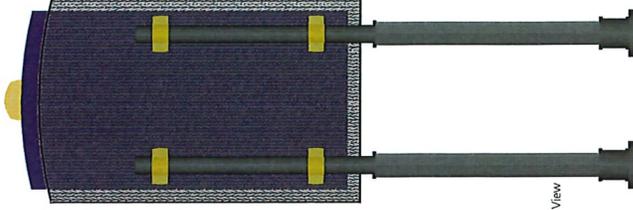
Side View  
One Sided



Front View



Rear View



Rear View

ST12 - Pedestrian Directional  
Directional messages with Map  
Updateable

ST14 - Pedestrian Orientation -Small  
Map with destination listing  
Updateable

ST16 - Pedestrian Orientation - Large  
Map with destination listing  
Updateable



NOTE: Content for design only, CGA will require interpretive content from township for design.

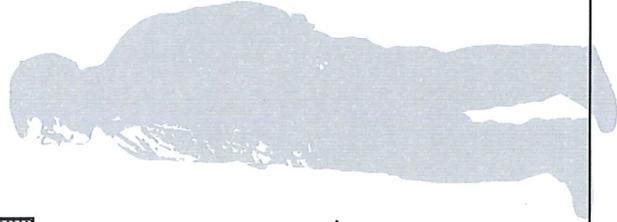
Interpretive Stories

The Underground Railroad

- Legends of the area
- Legend of Sampson's Hill
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Notable People who passed through; Some who stayed

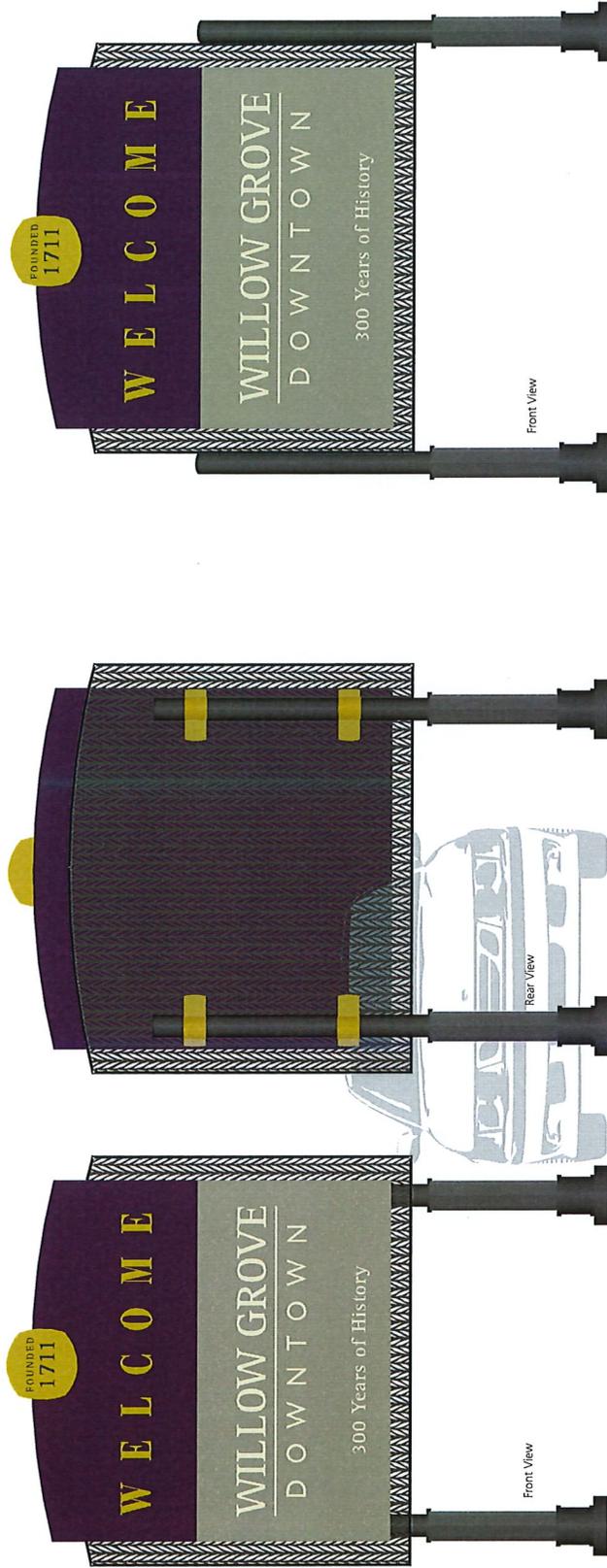
- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>Lt. Colonel Robert Abreaction</li> <li>James Gordon Bennet Jr.</li> <li>James Gordon Bennet Sr.</li> <li>Leonard Bernstein</li> <li>Nathaniel Boileau</li> <li>William Jennings Bryan</li> <li>William Joseph Buck</li> <li>David Cherry</li> <li>James Cooper</li> <li>Sampson Davis</li> <li>Jacob &amp; James Dubree</li> <li>Amelia Earhart</li> <li>Fred Ehrenpfort</li> <li>William West Frazier</li> <li>President Benjamin Harrison</li> <li>Ferdinand Hassler</li> <li>Victor Herbert</li> <li>Peter Kalms</li> <li>Sir William Keith</li> <li>John Fitzgerald Kennedy</li> <li>Major General Lafayette</li> <li>Jeremiah Berrell Lazalere</li> <li>Thomas Lloyd</li> <li>President William McKinley</li> <li>General George Meade</li> <li>James Michener</li> <li>Benjamin J. Morgan</li> <li>Christopher Morley</li> </ul> | <ul style="list-style-type: none"> <li>David Newport</li> <li>William Newport</li> <li>Rev. Joshua Potts</li> <li>Sr. George Rex</li> <li>Henry Darwin Rogers</li> <li>Betsy Ross</li> <li>Nicholas Scull</li> <li>John Phillip Sousa</li> <li>Horace Trumbauer</li> <li>John Wannamaker</li> <li>General George Washington</li> <li>Ted Williams</li> <li>Henry Wynkoop</li> <li>Richard E. Yerkes</li> </ul> |
|---|--|



ST20 - Interpretive Sign - Large  
Interpretive story / Historic a al Content  
Changeable

SCHEMATIC DESIGN

Concept 1



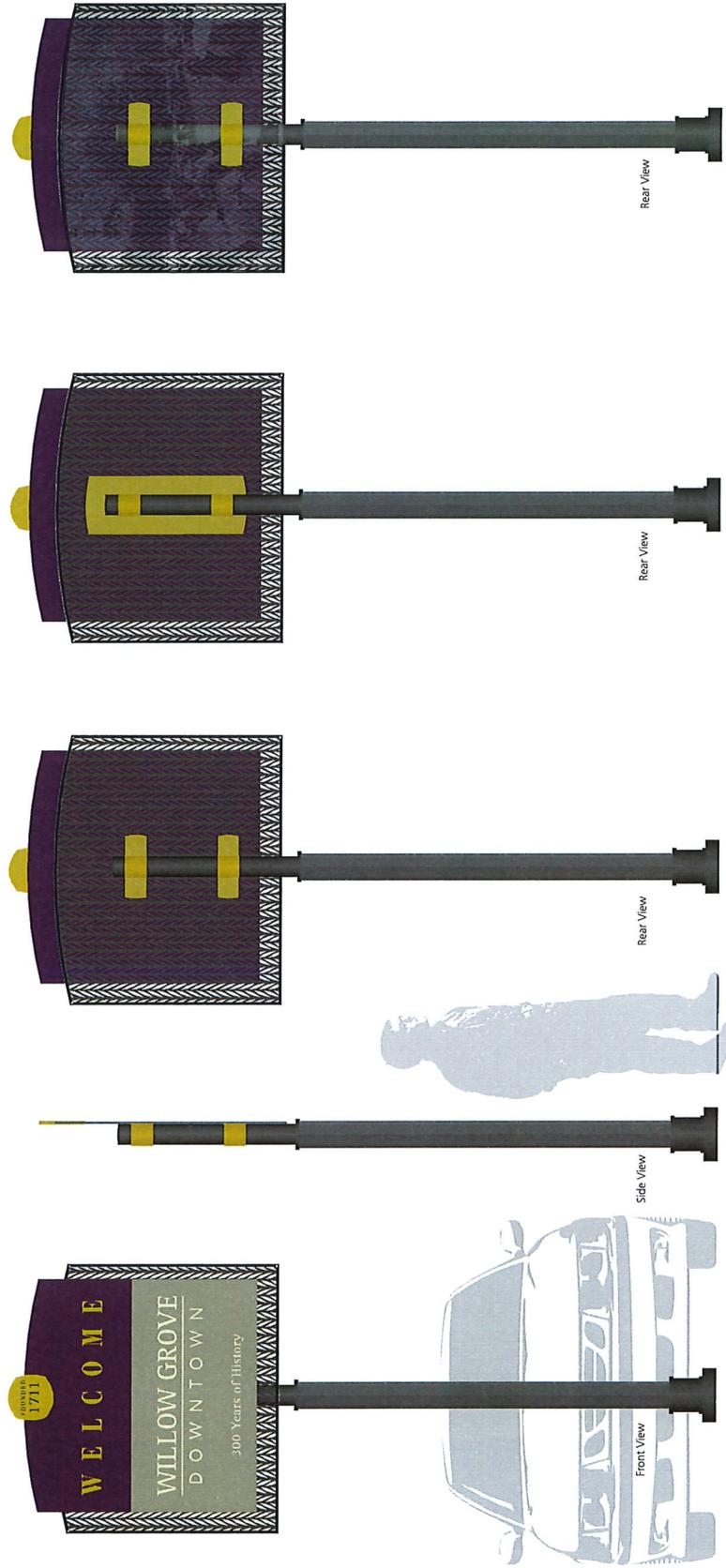
ST1 - Large Gateway Sign - Option 1  
Gateway Sign /Welcome sign  
Double Post and Panel  
Illuminated or Non-Illuminated

ST1 - Gateway Sign - Option 2  
Gateway Sign /Welcome sign  
Double Outset Post and Panel  
Illuminated or Non-Illuminated

SCHEMATIC DESIGN

4.6

Concept 1



ST2 - Gateway Sign  
Gateway Sign / Welcome sign  
Post and Panel

Panel Hardware Option 1

Panel Hardware Option 2

Proposed rear of panel to include  
historic images

SCHEMATIC DESIGN

4.8

Concept 1



ST10 - Banners  
Metal and/or Fabric

ST8 - Directional - Small Post Mounted  
Vehicular Directional Sign

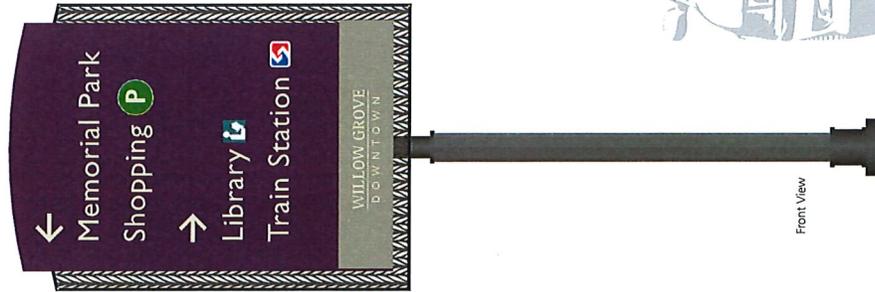
ST587 - Vehicular Parking ID & Directional  
Vehicular Directional Sign



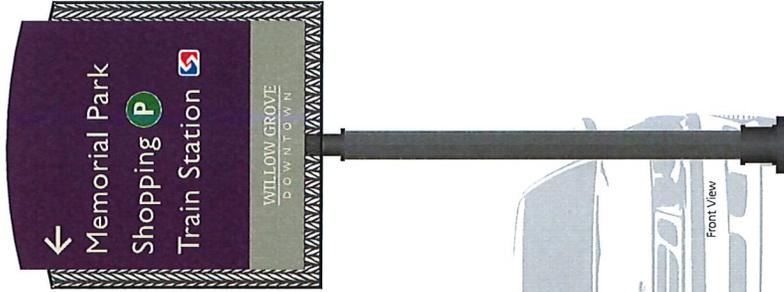
**SCHEMATIC DESIGN**

4.12

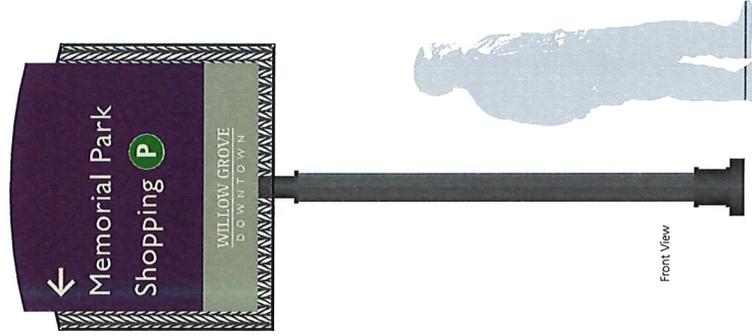
Concept 1



**ST3 - Vehicular Directional Sign - Large**  
Vehicular Directional Sign  
Post and Panel - Reflective Face



**ST4 - Vehicular Directional Sign - Medium**  
Vehicular Directional Sign  
Post and Panel - Reflective Face



**ST5 - Vehicular Directional Sign - Small**  
Vehicular Directional Sign  
Post and Panel - Reflective Face

SCHEMATIC DESIGN

4.14

Concept 1



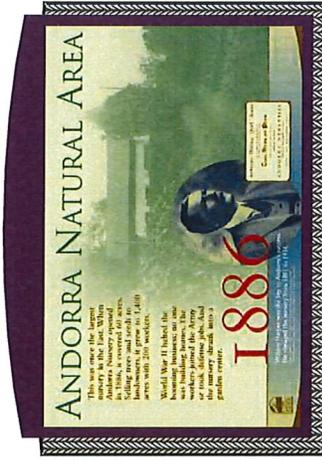
**ST12 - Pedestrian Directional**  
Directional messages with Map  
Updateable

**ST14 - Pedestrian Orientation -Small**  
Map with destination listing  
Updateable

**ST16 - Pedestrian Orientation - Large**  
Map with destination listing  
Updateable

SCHEMATIC DESIGN

Concept 1



NOTE: Content for design only, CGA will require interpretive content from township for design.

Interpretive Stories

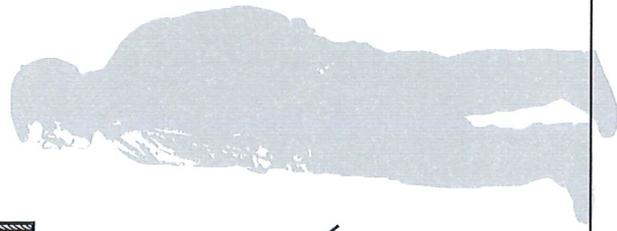
The Underground Railroad

Legends of the area

- Legend of Sampson's Hill
- The Bird of Happy Omen
- Legend of Huckleberry Hill

Notable People who passed through; Some who stayed

- |                               |                           |
|-------------------------------|---------------------------|
| Lt. Colonel Robert Abreaction | David Newport             |
| James Gordon Bennet Jr.       | William Newport           |
| James Gordon Bennet Sr.       | Rev. Joshua Potts         |
| Leonard Bernstein             | Sr. George Rex            |
| Nathaniel Bollean             | Henry Darwin Rogers       |
| William Jennings Bryan        | Betsy Ross                |
| William Joseph Buck           | Nicholas Scull            |
| David Cherry                  | John Phillip Sousa        |
| James Cooper                  | Horace Trumbauer          |
| Sampson Davis                 | John Wannamaker           |
| Jacob & James Dubree          | General George Washington |
| Amelia Earhart                | Ted Williams              |
| Fred Ehrenport                | Henry Wynkoop             |
| William West Frazier          | Richard E. Yerkes         |
| President Benjamin Harrison   |                           |
| Ferdinand Hassler             |                           |
| Victor Herbert                |                           |
| Peter Kalms                   |                           |
| Sir William Keith             |                           |
| John Fitzgerald Kennedy       |                           |
| Major General Lafayette       |                           |
| Jeremiah Berrell Lazalere     |                           |
| Thomas Lloyd                  |                           |
| President William McKinley    |                           |
| General George Meade          |                           |
| James Michener                |                           |
| Benjamin J. Morgan            |                           |
| Christopher Morley            |                           |



ST20 - Interpretive Sign - Large  
Interpretive story / Historic a al Content  
Changeable

**From:** Kuhner, Anton <[akuhner@mcmahonassociates.com](mailto:akuhner@mcmahonassociates.com)>  
**Sent:** Friday, September 25, 2020 2:45 PM  
**To:** Candland, Matthew <[mcandland@uppermoreland.org](mailto:mcandland@uppermoreland.org)>  
**Cc:** DeSantis, Joe <[jdesantis@mcmahonassociates.com](mailto:jdesantis@mcmahonassociates.com)>  
**Subject:** Davisville Road and Byberry Road

Hi Matt,

As a follow-up to our conversation, we have reached our budget on the original contract. We have had additional involvement with the property owners and continuing utility coordination, beyond what was anticipated in the original contract. Our contracts were separated for each grant. The Green Light Go Grant and the MTF grant. At this point, we have spent \$28,157.50 of the GLG grant contract of \$30,500. We will not be billing anymore to this contract since the grant was rescinded. These design costs for the GLG grant are now reimbursable due to the cancellation of the grant, otherwise they would have been Township costs.

For the MTF grant, we have utilized our current contract amount. In reviewing the project status, there are some final items that need to be completed to finalize the plans, obtain the permit from PennDOT, and prepare the project for bidding. Below is a summary of the items remaining and the anticipated cost.

- HOP revisions\final approval (\$5,500)
- R\W plan set and recording (\$5,600 includes recording) – For transferring of R/W to PennDOT.
- E&S Plan (\$1,500)
- Utility coordination (\$2,500)
- Bid Package and bidding (\$4,500)

Also, if requested, we can provide oversight during construction and administration of the contract. We can provide a separate proposal. Once you have had a chance to review, please do not hesitate to contact me. Thank you.

**Anton Kuhner, P.E., PTOE** | Senior Project Manager  
O: 215.283.9444 x 1219  
D: 267.419.1239  
425 Commerce Drive, Suite 200  
Fort Washington, PA 19034  
[akuhner@mcmahonassociates.com](mailto:akuhner@mcmahonassociates.com)

THE RIBBON IS CUT!  
Click Below to See McMahon's NEW WEBSITE!

**MCMAHON**



 Please consider the environment before printing this email

Blue Bell Executive Campus  
460 Norristown Road, Suite 110  
Blue Bell, Pennsylvania 19422-2323  
610.825.8400 + Fax 610.828.4887  
[www.wislerpearlstine.com](http://www.wislerpearlstine.com)

James J. Garrity, Esquire  
[jgarrity@wispearl.com](mailto:jgarrity@wispearl.com)

Scott C. Denlinger, Esquire  
[sdenlinger@wispearl.com](mailto:sdenlinger@wispearl.com)

September 4, 2020

**VIA EMAIL AND FIRST CLASS MAIL**

Paul E. Purtell, Code Enforcement Director/Zoning Officer  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090-3215

**RE:** 10-170 Park Avenue (59-00-05425-00-6) – Waiver of Development Request

Dear Paul:

We are writing on behalf of our client, Federal Realty Investment Trust. (“Federal Realty”), with regard to the property commonly known as the “Willow Grove Shopping Plaza”, with frontage on Moreland Road (S.R. 63), Easton Road (S.R. 611) and Park Avenue, more particularly identified as Montgomery County Tax Parcel No. 59-00-05425-00-6 (the “Property”). The Property is presently improved with several buildings, parking and associated improvements. One building is currently occupied by, among other businesses, Famous Footwear, Five Below, A.C. Moore, and Barnes & Noble Booksellers. Federal Realty proposes to renovate and repurpose the space utilized on the Property by the existing Barnes & Noble bookstore for use by a new grocery store. We would like to formally request a Land Development Waiver for Federal Realty in connection with its renovation of the Barnes and Noble and a small portion of the parking area directly in front of that store. Included with this Letter is a proposed conditions plan for the new grocery store.

In connection with the repurposing of the store, Federal Realty proposes to upgrade the existing building facade with various attractive architectural features, improve the loading dock and service court, as well as replace some of the existing sidewalk surrounding the new grocery store with new pavements and landscaping. In order to improve the loading dock area, Federal Realty also proposes to reduce the footprint of the building by demolishing a portion of the existing structure currently occupied by Five Below. Federal Realty also plans on restriping certain parking area crosswalks in order to improve pedestrian safety.

{02137543v4

ATTORNEYS AT LAW

Newtown Office:

Post Office Box 1186 + 301 North Sycamore Street + Newtown, Pennsylvania 18940 + 215.579.5995 + Fax 215.579.7909

Mr. Paul Purtell, Code Enforcement Director  
September 4, 2020  
Page 2

Since Federal Realty's proposal involves relatively minor modifications to an existing, developed property, we respectfully submit that the proposed improvements do not require formal land development review by the Township. We respectfully suggest that a Land Development Waiver is appropriate for the simple repurposing of the Barnes and Noble portion of the building on the Property. In addition, Federal Realty proposes to renovate the existing building façade with architectural elements that will significantly improve the appearance of the Property, particularly from Moreland Road (and the township building!), and will therefore result in a benefit to the residents of Upper Moreland Township.

All in all, we believe the proposed grocery store will be a significant improvement for the Property and the Township, and we look forward to being able to obtain a Land Development Waiver as quickly as is reasonably possible so that we may begin the process of repurposing the Property. Included with this letter are (i) ten (10) copies of the proposed plan of repurposing; (ii) ten (10) copies of an illustrative rendering of the proposed façade improvements; and (iii) a check in the amount of \$2,500 made out to the Township for the professional services escrow (the executed Professional Services Agreement is being forwarded to the Township under separate cover). If the Township requires any supplemental documentation, or has a fee associated with such a request, please let us know and we will take care of any such requirements immediately. In addition, we would appreciate it if you could advise us when our request might be scheduled before the various Commissions and Boards of the Township for review. If you or anyone from the Township have any questions prior to those meetings, please don't hesitate to contact us and we will get you the requested information. Thank you again for your time and attention in reviewing this matter.

Sincerely,



**JAMES J. GARRITY**

JJG/SCD

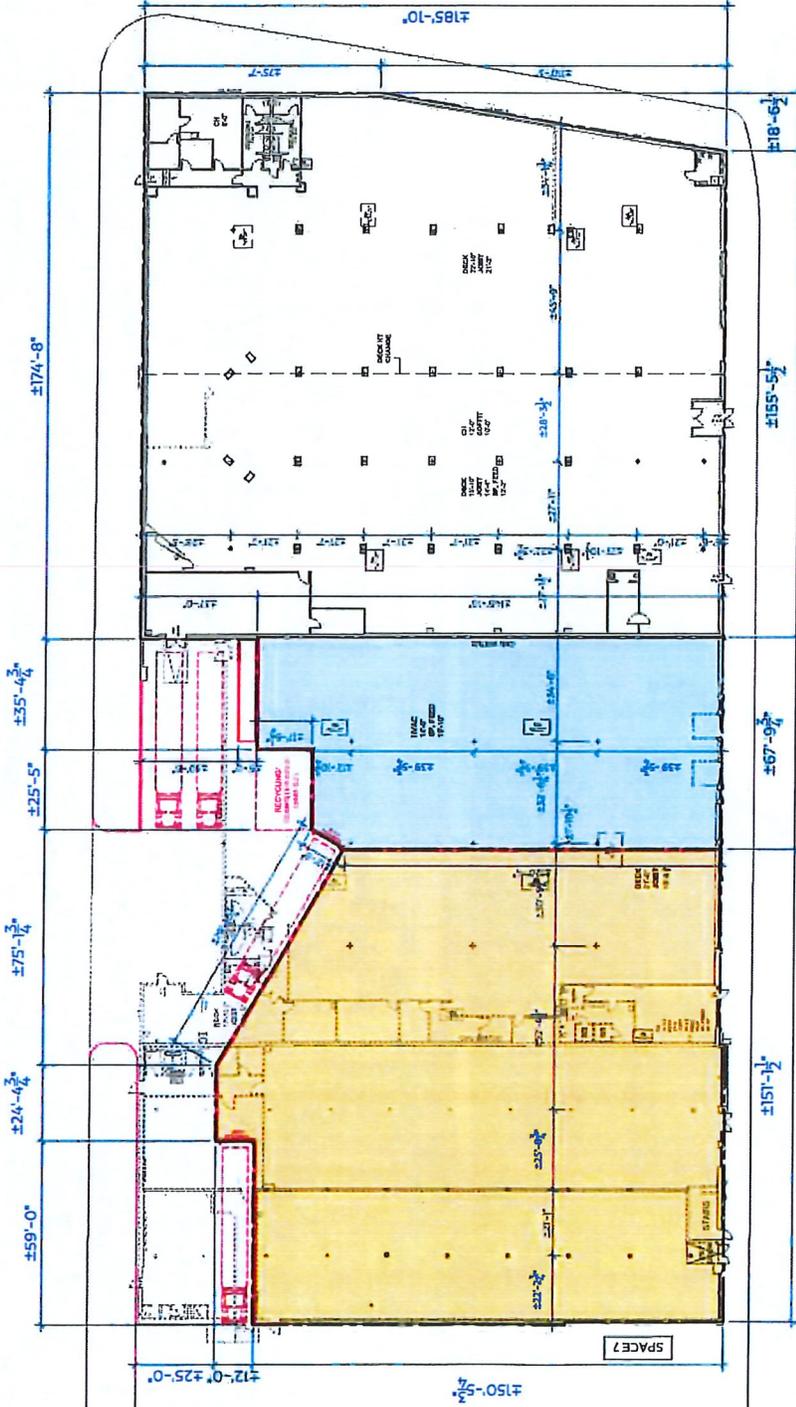
cc: Andy Bottaro, Senior Director, Federal Realty (via email)  
Sean P. Kilkenny, Esquire, Township Solicitor (via email)  
Matthew H. Candland, Township Manager (via email)  
James Hersh, P. E., Township Engineer (via email)



Disclaimer:  
The parties acknowledge that this Plan is for identification purposes only and does not constitute any contract, representation, or warranty by Landlord that any existing or future conditions, representations or warranties are true, accurate, or complete. Landlord's consent to this agreement, representation or warranty is expressly set forth in writing by both parties.



EASTON ROAD - ROUTE 611

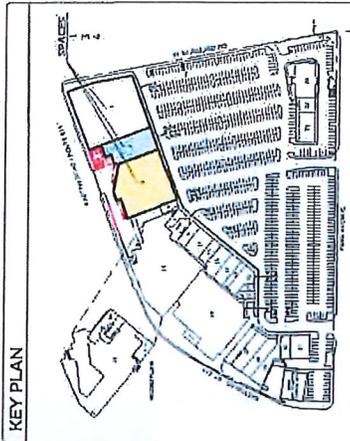


SPACE 1  
±31,338 S.F.

SPACE 3  
±9,500 S.F.

SPACE 4  
±22,500 S.F.

KEY PLAN



SPACE DATA

LEGIBLE AREA

SEE PLAN

LEGEND

- LEASING LINE
- WALL LINE
- PROPOSED (P)
- PROPOSED (N)

NOTES:

- 1) ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN TO THE FIELDS UNLESS NOTED OTHERWISE.
- 2) ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. FIELD VERIFY EXACT LOCATIONS AND SIZES.
- 3) FOR THE PURPOSE OF CALCULATING SQUARE FOOTAGE, ALL MEASUREMENTS SHALL BE MADE FROM THE EXTERIOR FACE OF EXTERIOR WALLS AND COMMON AREA WALLS AND THE CENTERLINE OF EXISTING DRIVEWAYS.

PROJECT NAME:  
WILLOW GROVE  
SHOPPING CENTER

ISSUE DATE:  
07-29-20 (FM)

LOCATION:  
102 PARK AVE. #1  
WILLOW GROVE, PA 19090

1025 EAST JEFFERSON STREET  
WILLOW GROVE, PA 19090  
(610) 266-8888 (M-F) 266-8888 (S)

PROPOSED  
TYRONE  
REDESIGNED

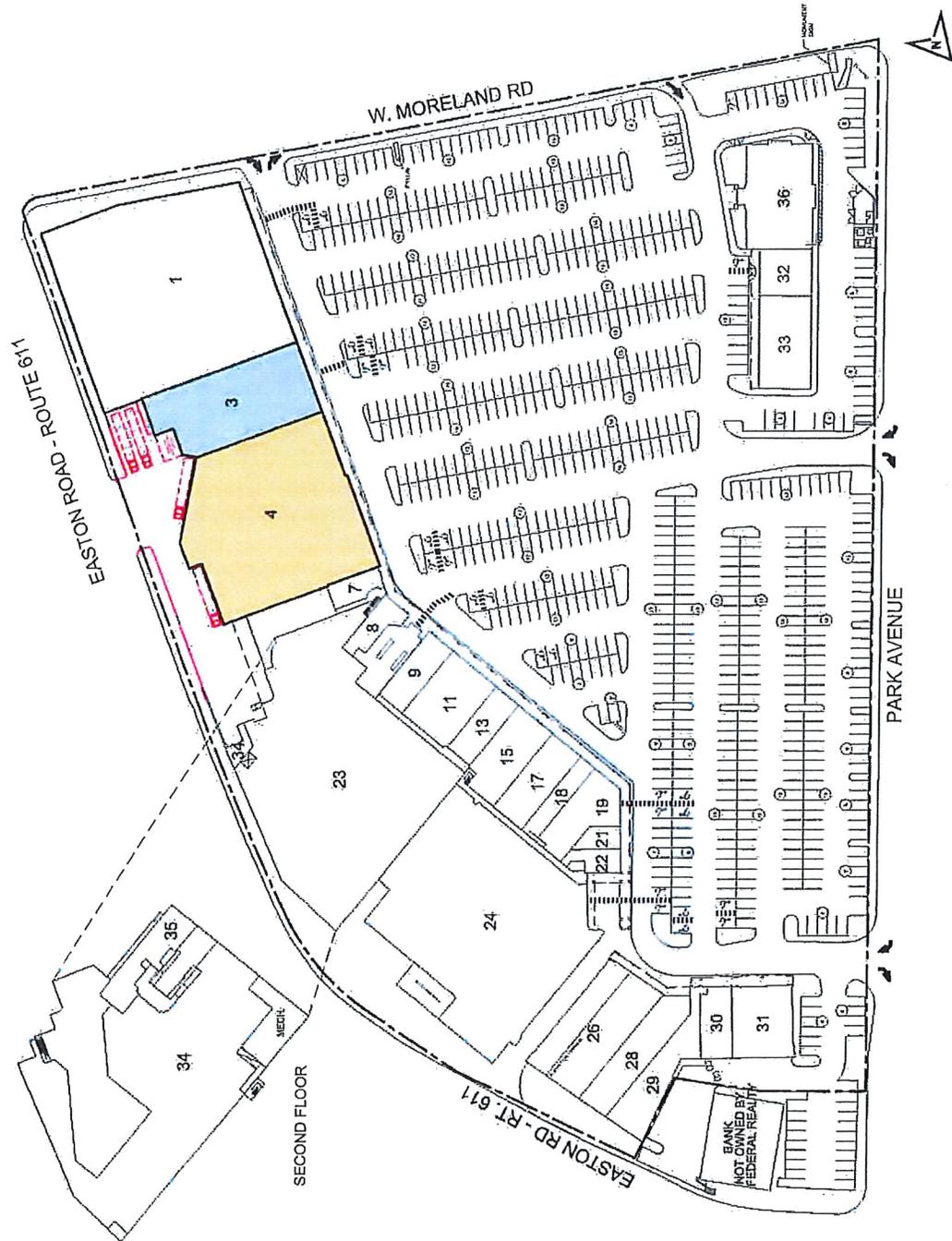
FEDERAL  
1963

SPACE  
1  
3  
4

OPT\_6



Disclaimer:  
 The parties acknowledge that this Plan is for identification purposes only and does not constitute a contract. The parties agree that the conditions, covenants, and restrictions shown on this plan, including but not limited to the easements, rights of way, and other interests shown, are subject to the terms, conditions, covenants, and restrictions of any recorded instruments affecting the property, and that the parties agree to defend, indemnify, and hold each other harmless from and against any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by either party as a result of the use of this plan for any purpose other than that intended by the parties. This disclaimer is expressly set forth in writing by both parties.



SPACE DATA		LEGEND	
LEASEABLE AREA:		LEASELINE	---
SP 1	±31,338 S.F.	WALLLINE	---
SP 3	±9,500 S.F.	PROPOSED (N)	---
SP 4	±22,500 S.F.		

NOTES:  
 1) ALL DISTANCE CONDITIONS AND DIMENSIONS SHOWN TO BE FIELD VERIFIED BY TENANT.  
 2) ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE FIELD VERIFIED EXACT LOCATIONS AND DEPT.  
 3) FOR THE PURPOSE OF CALCULATING SQUARE FOOTAGE, ALL MEASUREMENTS SHALL BE MADE CENTRELINE OF BUILDING PARTITIONS.

PROJECT NAME: WILLOW GROVE SHOPPING CENTER	ISSUE DATE: 07-29-20 (FM)	SPACE: 134
LOCATION: 102 PARK AVE. #1 WILLOW GROVE, PA 19090		
102 EAST PINEBROOK STREET ROCKVILLE, MD 20852-4201 (301) 998-8100 (800) 638-8980		
PROPOSED 1 THRU 65 REDESIGNED 1962		



OPT-6





1515 Market Street, Suite 920  
Philadelphia, PA 19102

## Post Construction Stormwater Management Calculations

Project: **Willow Grove Shopping Center**  
Route 63, Park Avenue & Route 611  
Upper Moreland Township  
Montgomery County, Pennsylvania

Client: **Federal Realty Investment Trust**  
50 E. Wynnewood Road, Suite 200  
Wynnewood, PA 19096

Project  
Number: **PP203084**

Date: **September 14, 2020**



Professional Engineer: **Cornelius Brown, PE**  
**PA License #PE075317**

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<b>General Project Description/ Stormwater Management</b> .....	<b>1</b>
General Project Description .....	1
<b>Stormwater Management Calculations</b> .....	<b>2</b>
Conveyance Calculations .....	3

## **General Project Description/Stormwater Management**

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### **GENERAL PROJECT DESCRIPTION**

The Waiver of Land Development proposal is for minor site work associated with a new tenant fit out at the existing Willow Grove Shopping Center. To accommodate the new tenant, improvements are required to the existing service court and loading dock to the rear of the building. Additionally, improvements are proposed to the sidewalk and parking field out front of the tenant space to bring the area into ADA compliance. New enhanced landscaping will also be provided as part of this development.

This development increases pervious area on-site when compared to existing conditions. There is 3,982 SF of new impervious related to this development. The addition of this green space results in an approximate 525 CF decrease in volume from a 2-year storm event. No stormwater management facilities are proposed as part of this development.

Two yard drains and one trench drain are proposed in the reconfigured service court. This conveyance system will tie into the existing Township stormwater system withing Easton Road. Calculations for the proposed conveyance system are included with this report.

# Stormwater Management Calculations

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### Conduit FlexTable: Pipe Report (Willow Grove SS-0.stc)

Label	Upstream Struct.	Downstream Struct.	Up. Invert (ft)	Down. Invert (ft)	Size	S (ft/ft)	Length (User Defined) (ft)	Material	Avg. V (ft/s)	Excess Capacity (Design) (ft <sup>3</sup> /s)	Excess Capacity (Full Flow) (ft <sup>3</sup> /s)	Flow / Capacity (Design) (%)	Manning's n
P-111	MH01	EXIN	268.36	268.10	12 inch	0.0093	28.0	HDPE	4.25	2.48	2.48	33.23	0.012
P-112	TD01	MH01	269.05	268.53	12 inch	0.0091	57.0	HDPE	2.83	3.38	3.38	8.18	0.012
P-110	YD01	MH01	269.02	268.55	12 inch	0.0100	47.0	HDPE	4.06	2.91	2.91	24.59	0.012
P-109	YD02	YD01	269.97	269.19	12 inch	0.0100	78.0	HDPE	3.08	3.50	3.50	9.38	0.012

**Catch Basin FlexTable: Inlet Report (Willow Grove SS-0.stc)**

Label	Subnetwork Outfall	Rim Elevation (ft)	Elevation (Invert) (ft)	Inlet DA (acres)	Flow (Known) (ft <sup>3</sup> /s)	External Tc (min)	Inlet Intensity (in/h)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Inlet Type 'C'
TD01	EXIN	272.30	269.05	0.050	0.00	0.000	6.300	269.28	269.28	PADOT Type 'C'
YD01	EXIN	273.88	269.02	0.100	0.00	0.000	6.300	269.45	269.43	PADOT Type 'C'
YD02	EXIN	273.82	269.97	0.060	0.00	0.000	6.300	270.22	270.22	PADOT Type 'C'









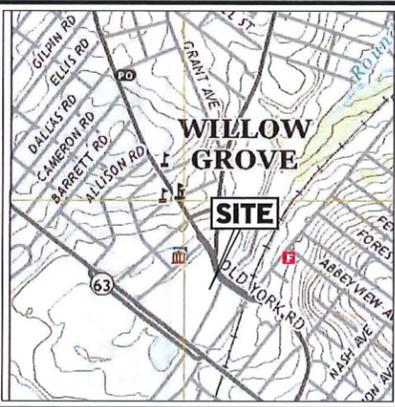












**USGS MAP**  
SCALE: 1" = 1,000'  
SOURCE: USGS QUAD MAP



**SOIL MAP**  
SCALE: 1" = 300'  
SOURCE: WEB SOIL SURVEY

**LOCATION OF ALL SURFACE WATERS AND THEIR CLASSIFICATION UNDER CHAPTER 93 §102.4(b)(5)(v)**

THE SUBJECT SITE IS LOCATED WITHIN THE NESHAMINY CREEK WATERSHED, WHICH HAS A WWF (WARM WATER FISHES) & M (MIGRATORY FISHES) CHAPTER 93 CLASSIFICATION.

**RECYCLING OR DISPOSAL OF MATERIALS §102.4(b)(5)(x)**

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EXIST ON-SITE:

- CONCRETE CURB AND SIDEWALK
- ASPHALT
- E&S BMP - COMPOST FILTER SOCKS
- E&S BMP - TEMPORARY RISER
- E&S BMP - EROSION CONTROL MATTING
- E&S BMP - STONE INLET PROTECTION
- E&S BMP - STONE & CONCRETE BLOCK INLET PROTECTION
- E&S BMP - REGULATED FILL MATERIALS

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 201.1 ET SEQ., 211.1, AND 207.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. BELOW IS A LIST OF METHODS FOR THE PROPER RECYCLING/DISPOSAL OF VARIOUS MATERIALS:

- DUST CONTROL - CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.
- SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPLOYED AS NECESSARY BY A CONTRACTOR TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.
- SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A LICENSED COMMERCIAL OPERATOR.
- WATER SOURCE - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE.
- CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE.

**E&S PLAN PLANNING & DESIGN §102.4(b)(4)**

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:

- GRADE SITE TO MINIMIZE EXTENT OF CUTS/FILLS

THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORM WATER RUNOFF:

- PROVIDE LANDSCAPE RESTORATION TO HELP REDUCE RUNOFF VOLUME
- PROVIDE AMENDED SOILS THROUGHOUT THE SITE TO HELP REDUCE RUNOFF VOLUME

**E&S - GENERAL NOTES:**

- THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL STRUCTURES. ADDITIONAL FACILITIES OR MEASURES SHALL BE INSTALLED WHERE NECESSARY OR WHERE DIRECTED BY EITHER THE TOWNSHIP OR THE COUNTY CONSERVATION DISTRICT AS CONSTRUCTION PROGRESSES.
- THE OWNER/CONSTRUCTION MANAGER IS RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS AND SITE STABILIZATION. THE OWNER SHALL ASSIGN ONE INDIVIDUAL TO BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL FACILITIES AND MEASURES.
- PROTECTION TO THE EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- ANY DRY FILL HAULED OFFSITE MUST BE TAKEN TO A LOCATION WITH AN EROSION AND SEDIMENTATION CONTROL PLAN WHICH HAS BEEN REVIEWED BY THE COUNTY CONSERVATION DISTRICT FOR ADEQUACY.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN TRIBUTARY AREAS OF THOSE CONTROLS.
- STOCKPILES MUST BE STABILIZED IMMEDIATELY.
- NO CHANGES SHALL BE MADE IN THE CONTOUR OF THE LAND. NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF THE TOPSOIL, TREES OR OTHER VEGETATIVE COVER OF THE LAND SHALL BE COMMENCED WITHIN A PROPOSED SUBDIVISION OR LAND DEVELOPMENT TRACT UNTIL SUCH TIME THAT A PLAN FOR SEDIMENTATION CONTROL AND MINIMIZING EROSION HAS BEEN REVIEWED AND FOUND SATISFACTORY BY THE COUNTY CONSERVATION DISTRICT AND APPROVED BY THE TOWNSHIP, OR THERE HAS BEEN A DETERMINATION BY THE TOWNSHIP, UPON RECOMMENDATION BY THE COUNTY CONSERVATION DISTRICT, THAT SUCH PLANS ARE NOT NECESSARY.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOT AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- CONTRACTOR SHALL USE TREADED MACHINERY AND MINIMIZE SOIL COMPACTION WHEREVER POSSIBLE.

**TYPES, DEPTH, SLOPE, LOCATIONS, AND LIMITATIONS OF THE SOILS §102.4(b)(5)(ii)**

SOIL	DESCRIPTION	SOIL GROUP
Ub	- URBAN LAND, 0 TO 8 PERCENT SLOPES	C

**SOIL USE LIMITATIONS AND THEIR RESOLUTIONS PROVIDED**

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE SOIL LIMITATIONS AND RESOLUTIONS SPECIFIC TO THIS PROJECT.

- SOIL TYPES POORLY SUITED AS SOURCES OF TOPSOIL RESTRICT OR PLACE CONDITIONS ON PLANNING VEGETATIVE STABILIZATION. ACIDIC, LOW FERTILITY, EXCESSIVE DRYNESS AND EXCESSIVE WETNESS LIMIT PLANT GROWTH.
- ACIDIC SOIL TYPES EXHIBITING pH REACTION VALUES LOWER THAN ABOUT 5.5, LIMIT VEGETATIVE STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC pH REACTION.
- LOW FERTILITY SOIL TYPES LACKING IN SUFFICIENT AMOUNTS OF ESSENTIAL PLANT NUTRIENTS SUCH AS: NITROGEN, PHOSPHOROUS, POTASSIUM, SULFUR, MAGNESIUM, CALCIUM, IRON, MANGANESE, BORON, CHLORINE, ZINC, COPPER AND MOLTDBENAM. LIMIT VEGETATION STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC SOIL FERTILITY.
- ERODIBLE SOIL TYPES EXHIBITING K VALUES GREATER THAN 0.36 OR PLASTICITY INDEX VALUES LOWER THAN 10, LIMIT VEGETATIVE STABILIZATION OF CHANNELS.

RESOLUTIONS: APPLYING LIME CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTIVE VEGETATIVE SPECIES TOLERANT TO ACIDIC SOIL CONDITIONS; AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.

RESOLUTIONS: INCORPORATING SOIL NUTRIENTS CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTIVE VEGETATIVE SPECIES TOLERANT TO LOW FERTILITY SOIL CONDITIONS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.

RESOLUTIONS: TEMPORARY CHANNEL LINING, PROVIDING PERMANENT CHANNEL LINING, DECREASING CHANNEL GRADE, INCREASING CHANNEL WIDTH, SELECTIVE VEGETATIVE WITH GREATER RETARDANCE, SELECTING PERMANENT LININGS OTHER THAN GRASSES, AND IMPLEMENTING COMBINATION OF THESE AND/OR METHODS. VEGETATIVE RETARDANCE INFORMATION IS PROVIDED IN TABLES 6 AND 7 OF THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL PUBLISHED BY PADEP.

RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO WET CONDITIONS, TILING VEGETATIVE AREAS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.

RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO DRY CONDITIONS, IRRIGATING VEGETATED AREAS AND IMPLEMENTING COMBINATION OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.

RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, LIMITING EMBANKMENT SLOPE STEEPNESS AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.

RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, NOT CONSTRUCTING EMBANKMENTS DURING PERIODS PRONE TO FROST AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS

RESOLUTIONS: IN THE EVENT THAT PRESENCE OF A SINKHOLE IS DETECTED DURING THE COURSE OF WORK, CORRECTIVE MEASURES SHALL BE PERFORMED UNDER THE OBSERVATION AND GUIDANCE OF THE OWNER'S GEOTECHNICAL CONSULTANT, EXCAVATE THE LOOSE, WET SOILS SURROUNDING THE SINKHOLE TO EXPOSE THE SINKHOLE "THROAT" (THE OPENING IN THE ROCK) AND THE ADJACENT STABLE SOILS/ROCK WHERE POSSIBLE. THE EXCAVATION SHALL EXTEND A MINIMUM OF TWO FEET (2) BEYOND THE STABLE SOILS OR TO THE ROCK SURFACE, WHICHEVER IS ENCOUNTERED FIRST. FILL THE EXPOSED SINKHOLE "THROAT" WITH LEAN CONCRETE TO BLOCK THE MIGRATION OF THE UPPER LAYERS OF SOIL THROUGH THE ROCK OPENING. AFTER CONCRETE HAS CURED OVERNIGHT BACKFILL THE REMAINDER OF THE EXCAVATION WITH CLAYEY SOILS TO PROVIDE A LOW PERMEABILITY BARRIER. THE CLAYEY SOILS SHALL BE PLACED IN 8" LIFTS AND EACH LIFT COMPACTED BY REPEATED PASSES OF THE COMPACTION EQUIPMENT UNTIL STABLE. CARE SHALL BE TAKEN TO ASSURE THAT THE SOIL AT THE EDGES OF THE EXCAVATION ARE WELL COMPACTED.

**SEQUENCE OF BMP INSTALLATION AND REMOVAL §102.4(b)(5)(vii)**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS IMMEDIATELY FOR HIGH WATERSHEDS), OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THESE ACTIVITIES INCLUDING, BUT NOT LIMITED TO THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THESE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1178 FOR BURIED UTILITIES LOCATION.

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED, IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

- INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE POURED ON-SITE. CONTRACTOR MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS IMMEDIATELY FOR HIGH WATERSHEDS).
- INITIATE STORM SEWER (AND SUBSURFACE BASIN) INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. [SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE & INSPECTION NOTES PROVIDED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS FOR CONSTRUCTION OF THE SUBSURFACE INFILTRATION BASINS. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONSTRUCTION OF SUBSURFACE INFILTRATION BASINS. A LICENSED PROFESSIONAL OR DESIGNER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF SUBSURFACE INFILTRATION BASINS, PREFERABLY THE DESIGN ENGINEER SHALL CONDUCT THE OVERSIGHT. INLETS DISCHARGING TO SUBSURFACE INFILTRATION BASINS MUST BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE SUBSURFACE (INFILTRATION, DETENTION) BASINS. NO CONSTRUCTION EQUIPMENT, SUCH AS GRADERS DURING BUILDING CONSTRUCTION, SHALL BE PARKED ON TOP OF THE SUBSURFACE BASINS TO AVOID DAMAGING THE SUBSURFACE BASINS OR OVER-COMPACTING THE SUBSURFACE SOILS.]
- CONTINUE WITH THE BALANCE OF EARTHWORK INCLUDING UTILITY INSTALLATION (SANITARY, ELECTRIC, TELEPHONE, CABLE AND GAS) WHERE APPLICABLE.
- INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE DRIVEWAY AND PARKING AREAS.
- INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL ON ALL LANDSCAPE AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. FINAL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLACEMENT OF 500 MUST BE APPLIED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHWORK IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.

- A SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT TRAPS AND BASINS. ONCE STONE BASE COURSE HAS BEEN PLACED ON PAVED AREAS AND ALL LANDSCAPE AREAS HAVE BEEN STABILIZED, BEGIN CONVERTING (SEDIMENT BASIN, SEDIMENT TRAP, BIO-RETENTION FACILITIES, RAINGARDENS, BIO-INFILTRATION FACILITIES) TO FINAL GRADES IN ACCORDANCE WITH BMP SEQUENCE OF CONSTRUCTION. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONVERSION OF (INSERT BMP). A LICENSED PROFESSIONAL OR DESIGNER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF (INSERT BMP), PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
- INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS.
- INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN.
- UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE (INSERT CONSERVATION DISTRICT), REMOVE EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING (JUST APPROPRIATE E&S CONTROLS), ANY AREA THAT DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY.
- CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 201.1 ET SEQ., 211.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THIS SITE.
- DEMOLIBIZE.
- A NOTICE OF TERMINATION FORM SHOULD BE SUBMITTED TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT UPON STABILIZATION AND FINAL COMPLETION OF THIS PROJECT.

**DEFINITION OF CLEAN FILL AND IMPORT/EXPORT MATERIAL NOTES TO COMPLY WITH SECTION C.3 OF NOI**

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE APPLICANT.

- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NONWATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STOVE, DRESSED MATERIAL, USED ASPHALT, AND BRICK. BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THE REGULATIONS ARE AVAILABLE ONLINE AT WWW.PACODE.COM.

**MAINTENANCE PROGRAM §102.4(b)(5)(x)**

THE FOLLOWING MAINTENANCE PROGRAM HAS BEEN DEVELOPED TO PROVIDE FOR THE INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RUNOFF EVENT, AND TO INCLUDE THE REPAIR OF THE BMPs TO ENSURE THEIR EFFECTIVE AND EFFICIENT OPERATION:

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND PERMANENT MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RESETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES, PLANS AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS. ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

- INLET PROTECTION (FILTER BAGS) - INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS AND/OR AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED AFTER EACH RUNOFF EVENT. THE SEDIMENT SHALL BE DISPOSED OF ON SITE AND/OR IN ACCORDANCE WITH APPLICABLE STATE REGULATIONS. DAMAGED FILTER BAGS SHOULD BE REPLACED.
- INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR REPLACED. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED WITH HYDRO-STRAW IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS. ALSO, PROTECTIVE BERMS MUST BE CONSTRUCTED, IF NEEDED, IN ORDER TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS.
- GRASSED AREAS SHALL BE INSPECTED TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OR HAVE A STAND OF GRASS WITH AT LEAST 70 PERCENT DENSITY OR GREATER IN ACCORDANCE WITH PERMIT REQUIREMENTS. THE VEGETATIVE DENSITY MUST BE MAINTAINED TO BE CONSIDERED STABILIZED. AREAS MUST BE WATERED, FERTILIZED, AND RESEEDED AS NEEDED TO ACHIEVE THIS REQUIREMENT.
- ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE OR IMPACTS TO RECEIVING WATERS.

**E-S - MONITORING, INSPECTION AND REPORTING REQUIREMENTS**

THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOI BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT E&S BMPs AND P&S BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MANAGE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:

- A SUMMARY OF SITE CONDITIONS, E&S BMP AND P&S BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
  - THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.
- NONCOMPLIANCE REPORTING**
- WHERE E&S, P&S OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- ANY CONDITION ON THE PROJECT SITE WHICH ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
  - THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
  - STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND
  - THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

**REDUCTION, LOSS, OR FAILURE OF THE BMPs**

UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

**TERMINATION OF COVERAGE**

NOT: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN BMPs IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOT FORM THAT IS SIGNED IN ACCORDANCE WITH PART B, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE NOT MUST CONTAIN THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGEMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE NOT, THE PERMITTEE WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND P&S BMPs ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

**COMPLETION CERTIFICATE AND FINAL PLANS**

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE NOT IF SOONER, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.

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PROJECT No.: PP200004  
DRAWN BY: JMD  
CHECKED BY: CJD  
DATE: 06-02-2020  
CAD ID: PP200004-DETAILS/WAIVER/0

PROJECT:

**WAIVER OF LAND DEVELOPMENT PLANS**

FOR

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SHEET TITLE:  
**EROSION & SEDIMENT CONTROL NOTES**

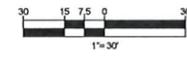
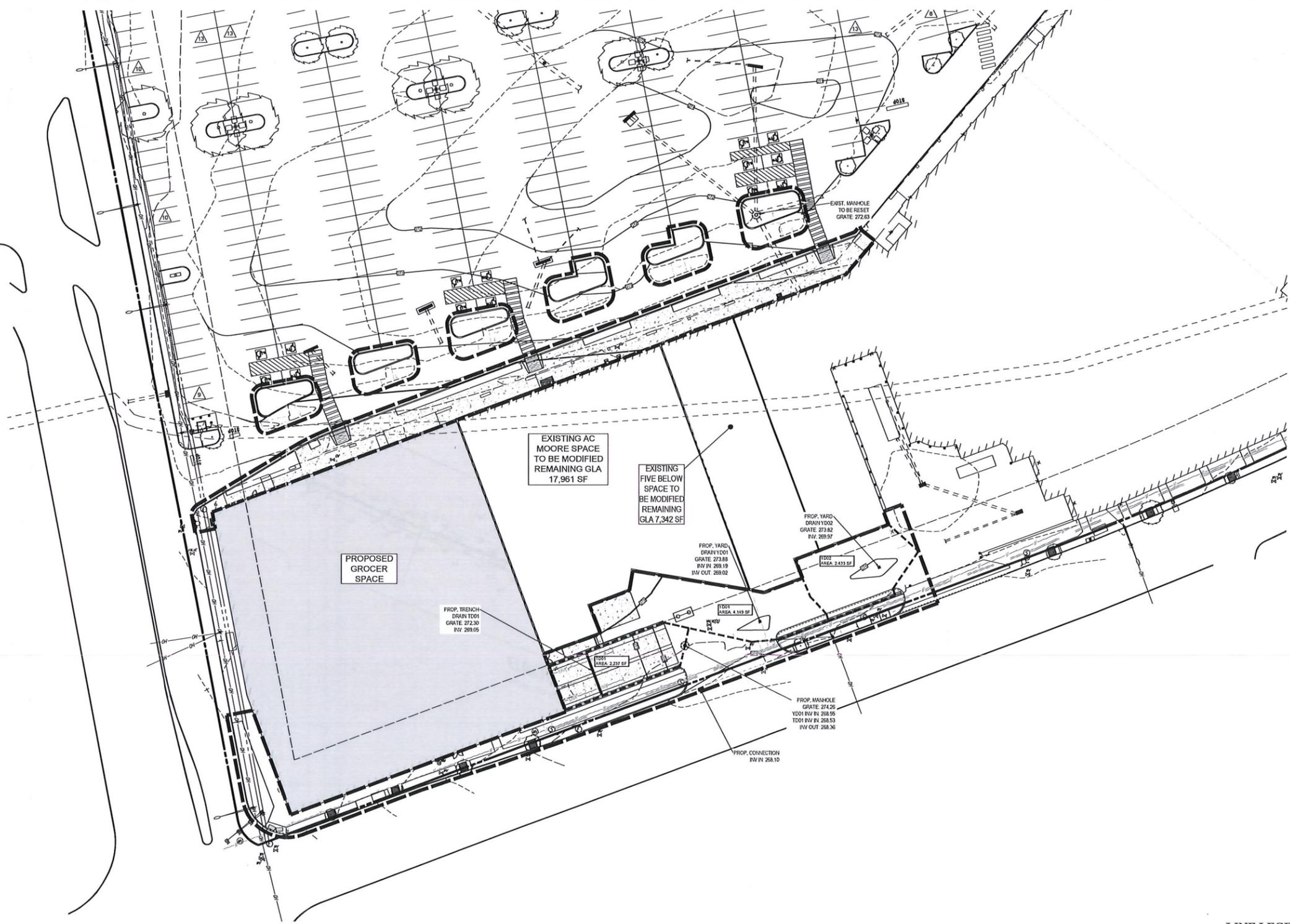
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PROJECT No.: PP203084  
 DRAWN BY: JMF  
 CHECKED BY: CHD  
 DATE: 06-02-2020  
 CAD LD.: PP203084-LANDDEV(WAIVER)-0

**PROJECT:**  
**WAIVER OF LAND DEVELOPMENT PLANS**  
 FOR  
**FEDERAL REALTY INVESTMENT TRUST**  
 WILLOW GROVE SHOPPING CENTER  
 ROUTE 63, PARK AVENUE & ROUTE 611 UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**INLET DRAINAGE AREA PLAN**

SHEET NUMBER:  
**C-801**

ORG. DATE - 06-02-2020

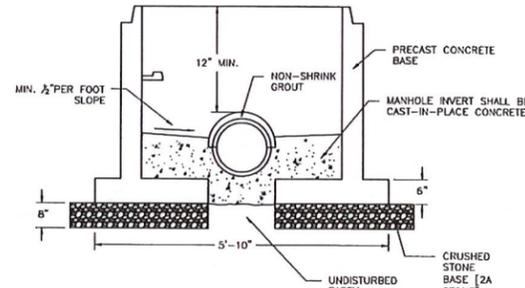
1515 MARKET STREET, SUITE 920 PHILADELPHIA, PA 19102 TEL: (267) 402-3400 FAX: (267) 402-3401 WWW.BOHLENERGINEERING.COM





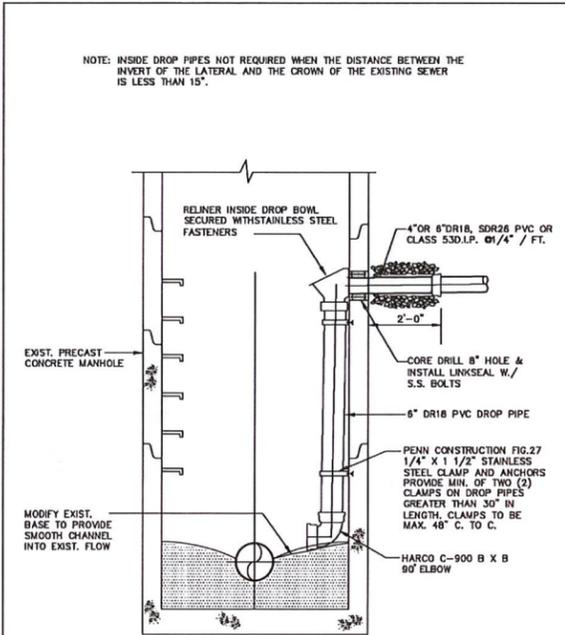


- NOTES:
1. MINIMUM 4" DIAMETER MANHOLE. SEE PRECAST SEWER MANHOLE DETAIL FOR REMAINDER OF MH DETAILS.
  2. DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE; OTHERWISE, THE OPENING MUST BE CAST.
  3. OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 8" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
  4. TOP HALF OF EXISTING PIPE TO BE REMOVED FOR FULL LENGTH EXPOSED INSIDE MANHOLE. EXISTING MAIN TO BE NEATLY CUT ALONG THE SPRING LINE OF THE PIPE.
  5. SEE CONNECTION TO EXISTING MANHOLE DETAIL FOR ADDITIONAL INFORMATION.

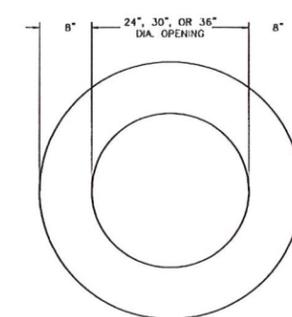


DOGHOUSE MANHOLE BASE  
NTS

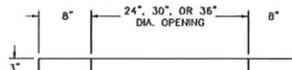
	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 6/29/11
	DWG TITLE: DWG 008 - DOGHOUSE MANHOLE	INT: A.L.P.



	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 5/5/11
	DWG TITLE: DWG 003 - EXISTING MANHOLE, RATER DROP CONNECTION	INT: A.L.P.



GRADE RING PLAN VIEW



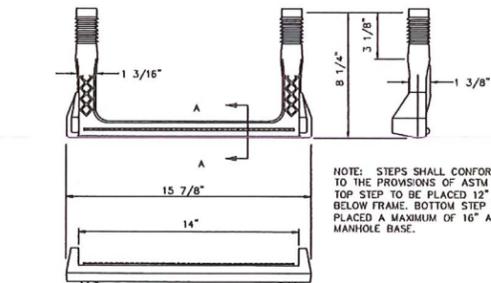
GRADE RING ELEVATION VIEW

MANHOLE GRADE RING  
NTS

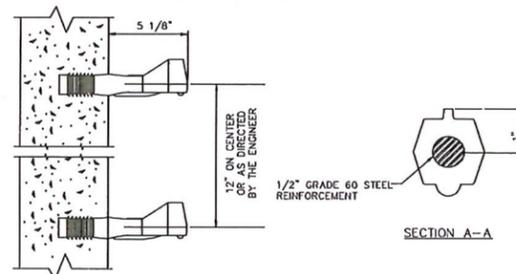
	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 6/29/11
	DWG TITLE: DWG 004 - MANHOLE GRADE RING	INT: A.L.P.

MANHOLE DESIGN SPECIFICATION CONFORMS TO LATEST ASTM DESIGNATION C478

- DESIGN NOTES:
1. REINFORCING STEEL WELDED WIRE FABRIC CONFORMS TO LATEST ASTM SPECIFICATION A185.
  2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
  3. CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.

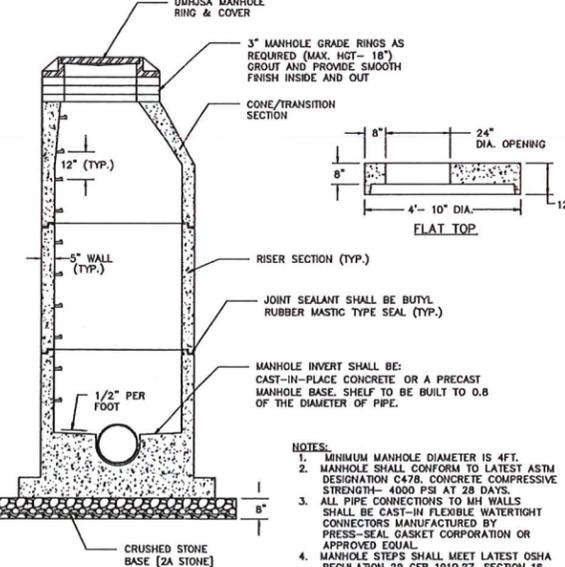


NOTE: STEPS SHALL CONFORM TO THE PROVISIONS OF ASTM C478. TOP STEP TO BE PLACED 12" BELOW FRAME. BOTTOM STEP TO BE PLACED A MAXIMUM OF 16" ABOVE MANHOLE BASE.



COPOLYMER POLYPROPYLENE PLASTIC  
STEEL REINFORCED MANHOLE STEP  
NTS

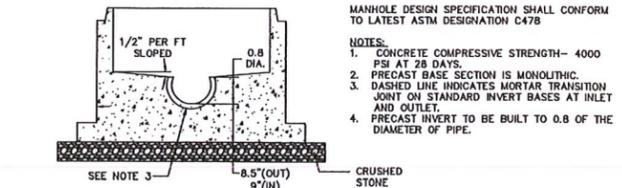
	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 6/29/11
	DWG TITLE: DWG 005 - MANHOLE STEP	INT: A.L.P.



- NOTES:
1. MINIMUM MANHOLE DIAMETER IS 4FT.
  2. MANHOLE SHALL CONFORM TO LATEST ASTM DESIGNATION C478. CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
  3. ALL PIPE CONNECTIONS TO MH WALLS SHALL BE CAST-IN FLEXIBLE WATER TIGHT CONNECTORS MANUFACTURED BY PRESS-SEAL GASKET CORPORATION OR APPROVED EQUAL.
  4. MANHOLE STEPS SHALL MEET LATEST OSHA REGULATION 29 CFR 1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 ASTM SPECIFICATION C497.
  5. MANHOLES SHALL BE BITUMASTIC COATED.

PRECAST SANITARY SEWER MANHOLE  
NTS

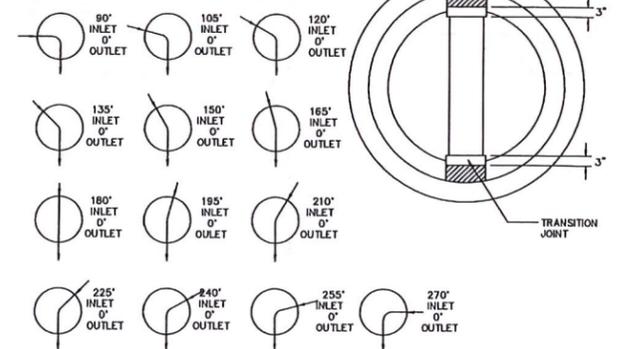
	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 6/29/11
	DWG TITLE: DWG 003 - PRECAST SANITARY SEWER MANHOLE	INT: A.L.P.



MANHOLE DESIGN SPECIFICATION SHALL CONFORM TO LATEST ASTM DESIGNATION C478

- NOTES:
1. CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
  2. PRECAST BASE SECTION IS MONOLITHIC. DASHED LINE INDICATES MORTAR TRANSITION JOINT ON STANDARD INVERT BASES AT INLET AND OUTLET.
  3. PRECAST INVERT TO BE BUILT TO 0.8 OF THE DIAMETER OF PIPE.

TYPICAL STANDARD CAST IN PLACE INVERTS:



MANHOLE BASE  
WITH PRECAST INVERT  
NTS

	JOB TITLE: UMLA- STANDARD DETAILS	DATE: 6/29/11
	DWG TITLE: DWG 006 - PRECAST MANHOLE BASE	INT: A.L.P.



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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PROJECT No.: PP200084  
DRAWN BY: JMF  
CHECKED BY: CHD  
DATE: 06-02-2010  
CAD LD.: PP200084-DETAILS(WAIVER)-0

PROJECT:  
**WAIVER OF LAND  
DEVELOPMENT  
PLANS**

FOR  
**FEDERAL REALTY  
INVESTMENT TRUST**

WILLOW GROVE SHOPPING  
CENTER  
ROUTE 63, PARK AVENUE & ROUTE  
611 UPPER MORELAND TOWNSHIP,  
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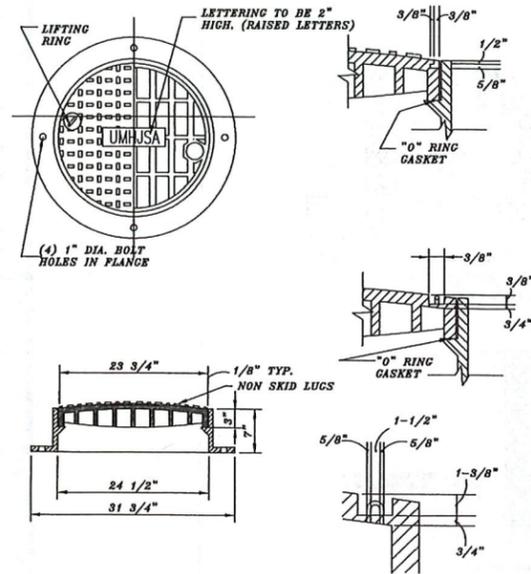


SHEET TITLE:

**DETAILS**

SHEET NUMBER:  
**C-903**

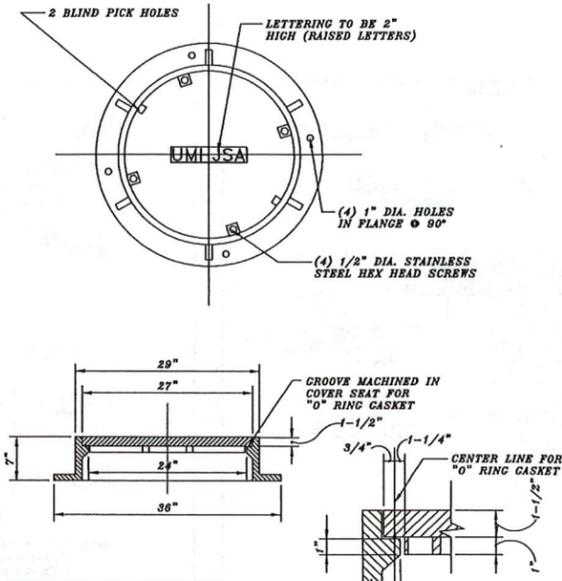
ORG. DATE - 06-02-2010



CASTINGS FOR MANHOLE FRAME AND COVERS SHALL CONFORM IN DESIGN TO NEENAH FOUNDRY MODEL R-1788-A WITH TWO (2) LIFTING RINGS AND TWO (2) PICKHOLES PER COVER.

DROP IN MANHOLE FRAME AND COVER  
N.T.S.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/10/11
	DWG TITLE: DWG 001 - MANHOLE FRAME, COVER & SANITARY NOTES - SHEET 1 OF 3	INT: A.L.P.



CASTINGS FOR WATERTIGHT FRAME AND COVERS SHALL CONFORM IN DESIGN TO NEENAH FOUNDRY MODEL R-1916-C2 WITH FOUR (4) 304SS SCREWS AND TWO (2) PICKHOLES PER COVER.

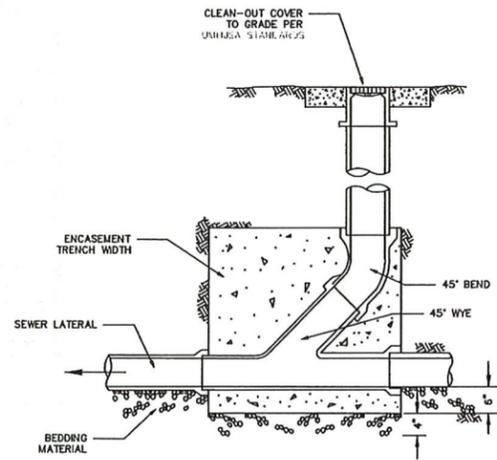
WATERTIGHT, BOLT DOWN MANHOLE FRAME AND COVER  
N.T.S.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/10/11
	DWG TITLE: DWG 001 - MANHOLE FRAME, COVER & SANITARY NOTES - SHEET 2 OF 3	INT: A.L.P.

NOTES:

1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO A.S.T.M. C-478.
2. RUBBER GASKETS SHALL CONFORM TO A.S.T.M. C-443
3. USE FLAT SLAB TOPS ON MANHOLES FOR CONNECTING SEWER LINES HAVING LESS THAN 9' DEPTH OF COVER OVER DEEPEST PIPE.
4. WHERE A LATERAL ENTERS A MANHOLE, THE INVERT OF THE LATERAL SHALL BE WITHIN 6 INCHES OF THE SEWER INVERT.
5. CASTINGS FOR DROP-IN MANHOLE FRAME AND COVERS SHALL CONFORM IN DESIGN TO NEENAH FOUNDRY MODEL R-1788-A WITH TWO (2) LIFTING RINGS AND TWO (2) PICKHOLES PER COVER. PROVIDE EXTRA O-RING FOR EACH FRAME.
6. CASTINGS FOR WATERTIGHT FRAME AND COVERS SHALL CONFORM IN DESIGN TO NEENAH FOUNDRY MODEL R-1916-C2 WITH FOUR (4) 304SS SCREWS AND TWO (2) PICKHOLES PER COVER. PROVIDE EXTRA O-RING FOR EACH FRAME.
7. ALL FRAMES AND COVERS SHALL BE WATERTIGHT, BOLT DOWN TYPE, EXCEPT IN PAVED AREAS.
8. ALL MANHOLES SHALL BE CONSTRUCTED FOR ANTI-FLOTATION WHEN COMPLETELY SUBMERGED.
9. CONNECTION FROM NEW D.I.P. TO EXISTING VCP SHALL BE WITH STEEL FLANGED REPAIR CLAMP, COMPLETELY ENCASED WITH CONCRETE.
10. SHALLOW MANHOLES MAY HAVE PRECAST BOTTOMS.
11. UNLESS OTHERWISE NOTED, ALL PIPE PENETRATIONS IN MANHOLES SHALL HAVE RUBBER GASKETS INTEGRALLY CAST IN THE MANHOLE WALL. RUBBER SHALL MEET A.S.T.M. C-923.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/10/11
	DWG TITLE: DWG 001 - MANHOLE FRAME, COVER & SANITARY NOTES - SHEET 3 OF 3	INT: A.L.P.

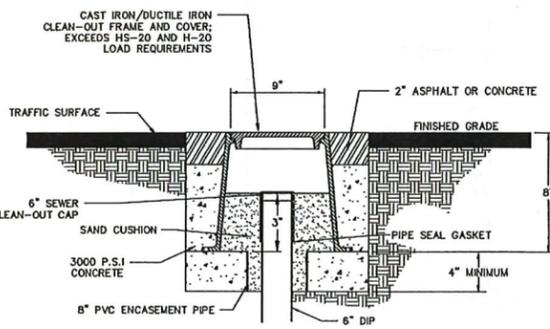


NOTES:

1. CLEAN-OUT PIPE SIZE SHALL MATCH EXISTING LATERAL.
2. NEW SEWER LATERALS AND CLEAN-OUTS SHALL BE 6-INCH OR AS APPROVED BY THE UMLISA.
3. ENTIRE WYE SECTION TO BE ENCASED IN CONTROLLED LOW STRENGTH MATERIAL OR GRANULAR FILL, AS DIRECTED BY UMLISA.

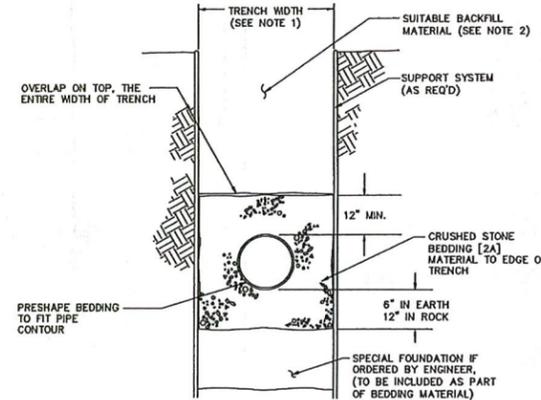
STANDARD CLEAN-OUT  
N.T.S.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/28/11
	DWG TITLE: DWG 012 - CLEANOUT	INT: A.L.P.



CLEANOUT FRAME & COVER PAVED AREAS  
N.T.S.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/28/11
	DWG TITLE: DWG 013 - CLEANOUT IN PAVED AREA	INT: A.L.P.



NOTES:

1. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
2. BACKFILL IN PAVED AREAS SHALL BE A FULL STONE TRENCH.

SANITARY SEWER MAIN TRENCH SECTION  
N.T.S.

	JOB TITLE: UMLISA - STANDARD DETAILS	DATE: 6/10/11
	DWG TITLE: DWG 019 - SANITARY SEWER MAIN - TRENCH SECTION	INT: A.L.P.



REVISIONS

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PROJECT No.: PP203004  
DRAWN BY: JMF  
CHECKED BY: CND  
DATE: 06-02-2020  
CAD L.D.: PP203004-DETAILS(WAIVER)-0

PROJECT:  
**WAIVER OF LAND DEVELOPMENT PLANS**

FOR  
**FEDERAL REALTY INVESTMENT TRUST**

WILLOW GROVE SHOPPING CENTER  
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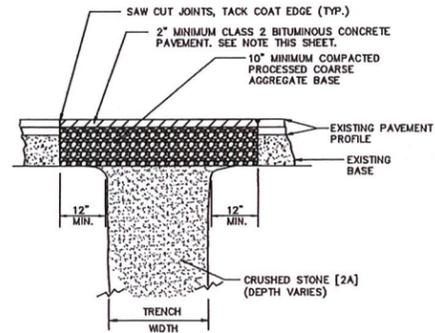
SHEET TITLE:

**DETAILS**

SHEET NUMBER:  
**C-904**

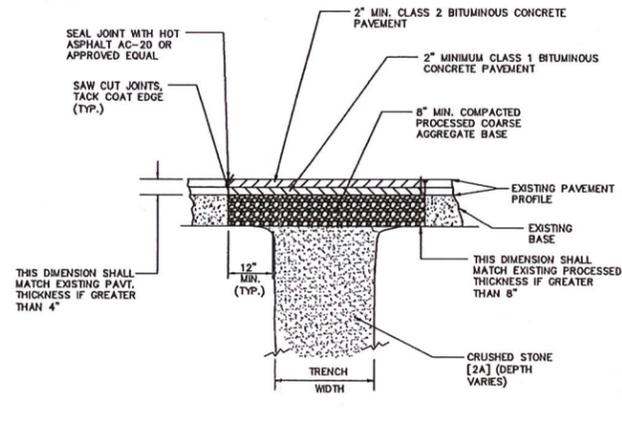
ORG. DATE - 06-02-2020

NOTE: AFTER NOVEMBER 15TH, CLASS 5 MIX SHALL BE USED INSTEAD OF CLASS 2



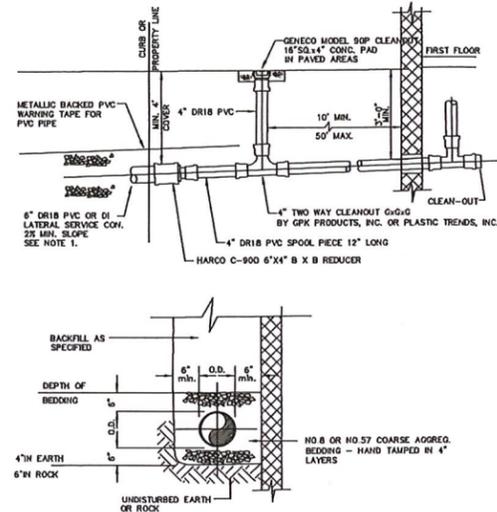
TEMPORARY PAVEMENT REPAIR  
NTS

	ENVIRONMENTAL ENGINEERING & MANAGEMENT ASSOCIATES, INC. P.O. BOX 332 HILPHALLE, PA 19143 (215) 389-3375	JOB TITLE: UMHUSA - STANDARD DETAILS	DATE: 8/28/11
	DWG TITLE: DWG 022 - TEMPORARY PAVEMENT REPAIR	INT: A.L.P.	



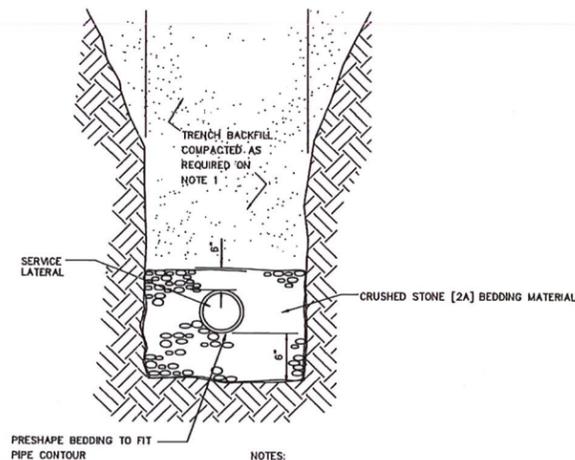
PERMANENT PAVEMENT REPAIR  
NTS

	ENVIRONMENTAL ENGINEERING & MANAGEMENT ASSOCIATES, INC. P.O. BOX 332 HILPHALLE, PA 19143 (215) 389-3375	JOB TITLE: UMHUSA - STANDARD DETAILS	DATE: 8/28/11
	DWG TITLE: DWG 023 - PERMANENT PAVEMENT REPAIR	INT: A.L.P.	



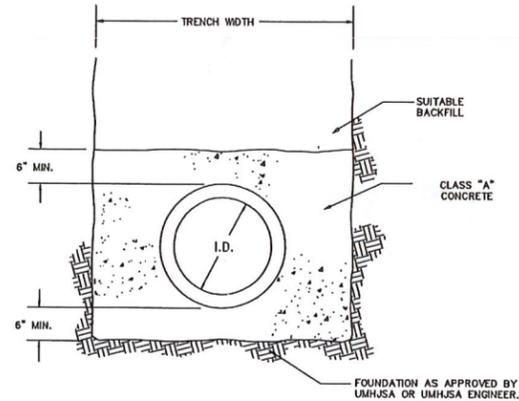
BUILDING SEWER CONNECTION  
(SINGLE CLEAN-OUT, NO TRAP)

	ENVIRONMENTAL ENGINEERING & MANAGEMENT ASSOCIATES, INC. P.O. BOX 332 HILPHALLE, PA 19143 (215) 389-3375	JOB TITLE: UMHUSA - STANDARD DETAILS	DATE: 8/28/11
	DWG TITLE: DWG 027 - BUILDING SEWER CONNECTION	INT: A.L.P.	



SANITARY SEWER LATERAL  
TRENCH SECTION  
N.T.S.

	ENVIRONMENTAL ENGINEERING & MANAGEMENT ASSOCIATES, INC. P.O. BOX 332 HILPHALLE, PA 19143 (215) 389-3375	JOB TITLE: UMHUSA - STANDARD DETAILS	DATE: 8/28/11
	DWG TITLE: DWG 020 - SANITARY SEWER LATERAL - TRENCH SECTION	INT: A.L.P.	



CONCRETE ENCASEMENT  
NTS

	ENVIRONMENTAL ENGINEERING & MANAGEMENT ASSOCIATES, INC. P.O. BOX 332 HILPHALLE, PA 19143 (215) 389-3375	JOB TITLE: UMHUSA - STANDARD DETAILS	DATE: 8/28/11
	DWG TITLE: DWG 018 - CONCRETE ENCASEMENT	INT: A.L.P.	

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PROJECT No.:	PP203084
DRAWN BY:	JMF
CHECKED BY:	CHD
DATE:	06-02-2020
CAD ID.:	PP203084-DETAILS(WAIVER)0

PROJECT:  
**WAIVER OF LAND DEVELOPMENT PLANS**  
FOR  
**FEDERAL REALTY INVESTMENT TRUST**  
WILLOW GROVE SHOPPING CENTER  
ROUTE 63, PARK AVENUE & ROUTE 611 UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

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**C. BROWN**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE # 12-1001400

SHEET TITLE:  
**DETAILS**  
SHEET NUMBER:  
**C-905**  
ORG. DATE - 06-02-2020

**WILLOW GROVE SHOPPING CENTER**

FEDERAL REALTY  
ROUTE 63, PARK AVENUE & ROUTE 611  
UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PA



EXISTING FIVE BELOW SPACE TO BE MODIFIED  
REMAINING GLA 7,342 SF

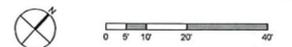
EXISTING AC MOORE SPACE TO BE MODIFIED  
REMAINING GLA 17,961 SF

PROPOSED GROCER SPACE

**EASTON ROAD**  
(50' WIDE R.O.W.) (PER REF. MAP #5)

REV.	DATE	DESCRIPTION

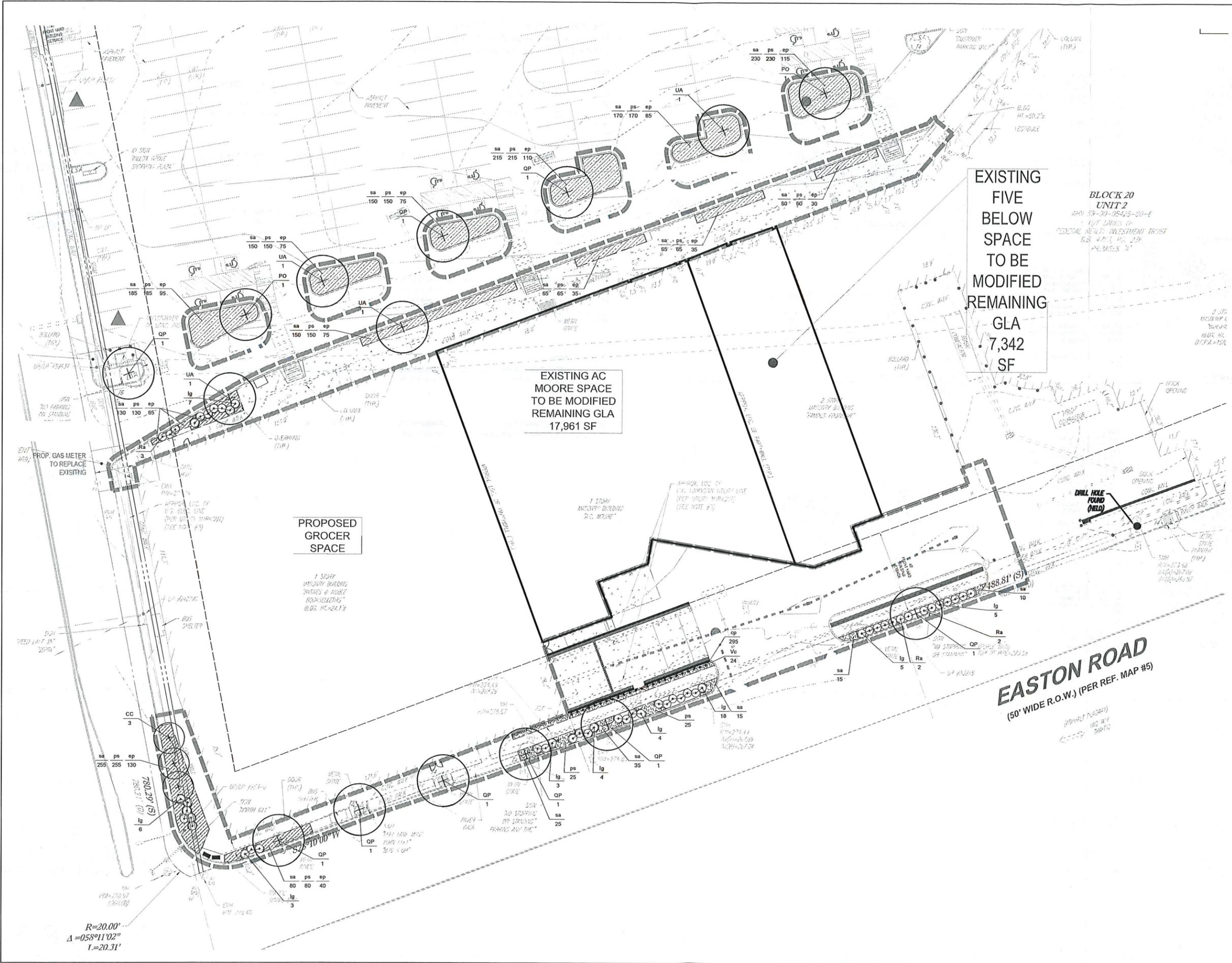
NOT FOR CONSTRUCTION OR PRICING



SCALE:	1"=20'
DATE:	09-23-2020
DRAWN BY:	ELR
CHECKED BY:	
APPROVED BY:	JA

AA PROJECT #:	200023
PROJECT PHASE:	LAND DEVELOPMENT WAIVER PLANS
DRAWING TITLE:	<b>PLANTING PLAN</b>

SHEET:  
**LP-101**



$R=20.00'$   
 $\Delta=058^{\circ}11'02''$   
 $I=20.31'$

**WILLOW GROVE SHOPPING CENTER**  
Upper Moreland Township, Montgomery County, PA  
Land Development Waiver Plans Plant Schedule



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**WILLOW GROVE SHOPPING CENTER**

FEDERAL REALTY  
ROUTE 63, PARK AVENUE & ROUTE 611  
UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PA



**Canopy Trees**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
PO	2	Platanus occidentalis	Sycamore	3"-3.5" cal	B&B	As shown	limbed to 7' above finish grade
QP	9	Quercus phellos	Willow Oak	3"-3.5" cal	B&B	As shown	limbed to 7' above finish grade
UA	4	Ulmus americana 'Princeton'	Princeton American Elm	3"-3.5" cal	B&B	As shown	limbed to 7' above finish grade
<b>Total</b>	<b>21</b>						

**Understory Trees**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
CC	3	Cercis canadensis	Eastern Redbud	12"-14" ht.	B&B	As shown	Multi-stem, 3 trunks minimum
<b>Total</b>	<b>3</b>						

**Shrubs**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
Ig	55	Ilex glabra	Inkberry	2'-2.5' ht.	Cont.	As shown	
Ra	7	Rhus aromatica 'Gro-Low'	Fragrant Sumac	2'-2.5' ht.	Cont.	As shown	
<b>Total</b>	<b>62</b>						

**Herbaceous Perennials**

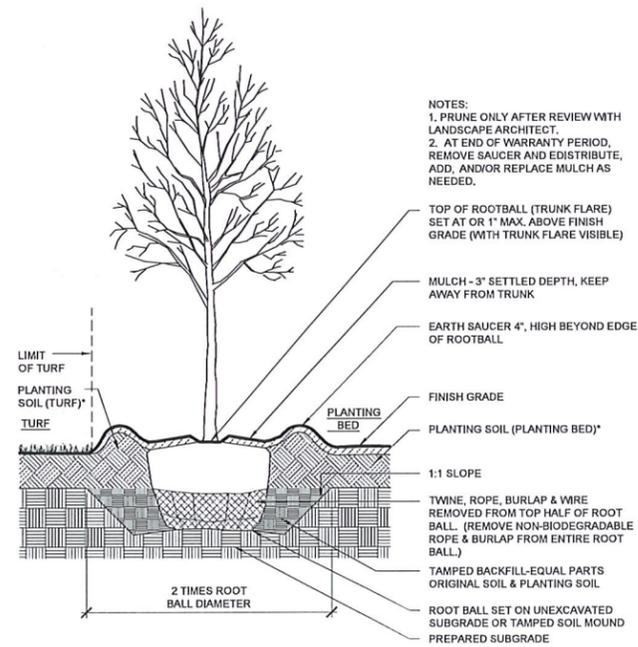
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
ep	965	Echinacea purpurea	Purple Coneflower	#SP5	Cont.	18" o.c.	
ps	1,955	Panicum Shenandoah	switch grass	#SP5	Cont.	18" o.c.	
sa	2,005	Sesleria autumnalis	autumn moor grass	#SP5	Cont.	18" o.c.	
<b>Total</b>	<b>4,925</b>						

**Grasses & Sedges**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
cp	295	Carex pensylvanica	Pennsylvania Sedge	#SP5	Cont.	12" o.c.	
<b>Total</b>	<b>295</b>						

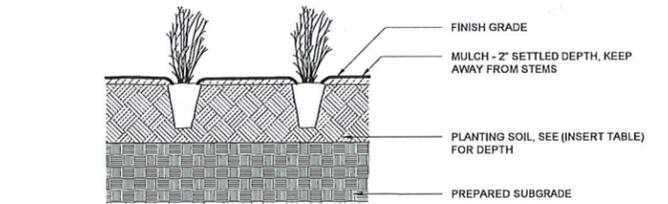
**Vines**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
Vc	24	Parthenocissus quinquefolia	Virginia Creeper	5 gal.		3' o.c.	



**SECT**

**1 DECIDUOUS TREE PLANTING**  
LP-501 N.T.S.



**SECTION**

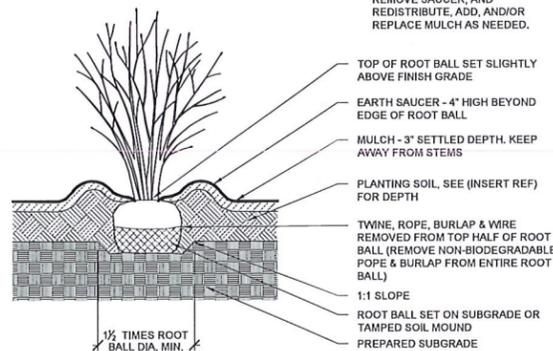
**4 HERBACEOUS PLANTING**  
LP-501 N.T.S.

	A	B
	O.C. SPACING	ROW SPACING
8"	7"	
9"	7 3/4"	
10"	8 5/8"	
12"	10 1/2"	
15"	13"	
18"	15 1/2"	
24"	21"	

**PLAN**

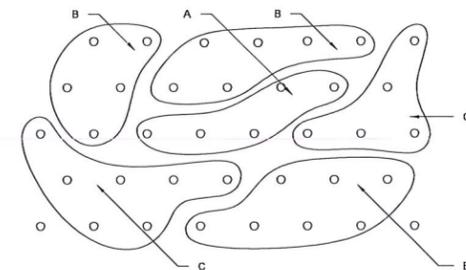
**5 PLANT SPACING**  
LP-501 N.T.S.

- NOTES:  
1. SEPARATE AND SPREAD POT-BOUND ROOTS.  
2. PRUNE ONLY AFTER REVIEW WITH THE LANDSCAPE ARCHITECT.  
3. AT END OF WARRANTY PERIOD REMOVE SAUCER, AND REDISTRIBUTE, ADD, AND/OR REPLACE MULCH AS NEEDED.



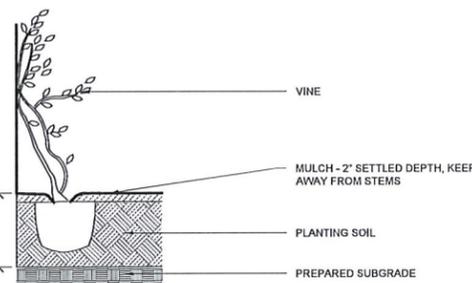
**SECTION**

**2 SHRUB PLANTING**  
LP-501 N.T.S.



**PLAN**

**6 TYPICAL SPACING FOR PERENNIAL MIXES**  
LP-501 N.T.S.



**SECTION**

**3 VINE PLANTING**  
LP-501 N.T.S.

REV.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION OR PRICING

SCALE:	VARIABLES
DATE:	09-23-2020
DRAWN BY:	ELR, LX
CHECKED BY:	
APPROVED BY:	JA

AA PROJECT #:	200023
PROJECT PHASE:	LAND DEVELOPMENT WAIVER PLANS

DRAWING TITLE:  
**PLANTING DETAILS**

SHEET:

**LP-501**



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

October 6, 2020

File No. 20-09049

Paul E. Purtell, Code Enforcement Director  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090-3215

Reference: Willow Grove Shopping Center (TMP #59-00-05425-00-6)  
Federal Realty Investment Trust  
Waiver of Land Development

Dear Mr. Purtell:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the submitted Waiver of Land Development plans for the above-referenced project. Upon review, we offer the following comments for consideration by Upper Moreland Township:

The submission contains a cover letter from Wisler Pearlstine, LLP requesting the application be processed as a waiver of land development and we have reviewed the submission as such. In the event that the Township does not wish to process this application as a waiver of land development, we reserve the right to perform a comprehensive review with respect to the Subdivision & Land Development Ordinance (SALDO) and the Applicant will be required to comply with additional regulations.

I. Submission

- A. Waiver of Land Development plans prepared by Bohler Engineering, dated June 2, 2020, consisting of sheets 1 to 20 of 20.
- B. Post Construction Stormwater Management Calculations prepared by Bohler Engineering, dated September 14, 2020.

II. General Information

The Applicant, Federal Realty, has requested a waiver of land development for the proposed project. The 13.03-acre parcel is located within the TC-1 Town Center District and Transit Overlay District. The property is bound by Easton Road (S.R. 0611), Moreland Road (S.R. 0063), and Park Avenue and contains the Willow Grove Shopping Center which includes retail, restaurant, bank, and other uses. The shopping center currently contains 800 existing parking spaces with associated curbing and sidewalk. The Applicant is proposing to retrofit the existing Barnes & Noble, A.C. Moore, and Five Below to a proposed grocery store. The Applicant also proposes to remove a portion of A.C. Moore to facilitate a loading area for the grocery store. Associated improvements include building façade and architectural improvements, pedestrian crossing upgrades, and restriping/resurfacing a portion of the parking lot. The improvements will result in a net decrease of 7216 square-feet of leasable floor area, a net decrease of 3984 square-feet of impervious surface, and a net decrease of six parking spaces. The site will continue to be serviced by public water and sewer.

### III. Review Comments

#### A. Zoning Ordinance

We have identified no issues with the proposed plan in regards to requirements and provisions of the current Upper Moreland Township Zoning Ordinance.

#### B. Subdivision and Land Development Ordinance (SALDO)

It is our understanding that this application may be processed as a partial waiver of land development. As such, the following comments are for the Board's consideration when evaluating how to process the Application. In the event some form of a waiver of land development is approved, then the Board should condition the approval on compliance with the recommendations contained in this letter that the Commissioners feel have merit. In the event, a partial waiver of land development is not granted, our office reserves the right to perform a comprehensive review of the SALDO and the Applicant will need to comply with additional regulations contained in the ordinance and/or obtain waivers from the ordinance requirements not specifically mentioned below:

1. We defer to the Township Solicitor to determine if a full-size copy of the land development waiver plan will need to be recorded. In the event that a reduced size copy of the plan will be recorded as an exhibit to the land development agreement, the signature blocks and sheet index notation may be removed from the cover sheet.
2. We defer to McCloskey & Faber with respect to the proposed streetscaping and parking lot landscaping.
3. We recommend fall protection be installed along retaining walls adjacent to pedestrian walkways, including the sidewalk along Easton Road and the rear walkway entrance to the building. Ultimately, we defer to Township Code Enforcement.
4. The Applicant shall coordinate access and circulation of the shopping center in the event the entrance off of Moreland Road is to be temporarily closed for construction.
5. All existing and proposed signage and pavement markings should be depicted and labeled on the plan. This includes stop signs, stop bars, accessible signage, no parking signage, etc.
6. The sidewalk improvements along Easton Road should be clarified as the plan does not distinguish between the sidewalk and landscape areas. We recommend hatch patterns be added for clarity.
7. Architectural Renderings of the proposed building façade improvements, including the rear screen wall and decorative fencing along Easton Road, should be presented to the Commissioners for review.
8. Grading details should be provided for all proposed accessible parking areas including the parking stalls and access aisles, as well as all proposed crosswalks and curb ramps. The details are to include spot elevations at all corners and note longitudinal slopes and cross slopes.
9. The plan proposes to mill and overlay a portion of the existing parking lot, as depicted on the Soil Erosion & Sediment Pollution Control Plan, Sheet 9. However, the proposed grading of the parking area, as depicted on the Grading Plan, Sheet 7, shows grading up to 2.5 feet higher than the existing parking lot grades. The areas to be milled & overlaid and areas to receive full depth pavement restoration should be clearly depicted
10. A Sequence of Construction should be added to the Erosion & Sediment Control Notes, Sheet 10.
11. The plans shall be submitted to the Upper Moreland-Hatboro Joint Sewer Authority for review. Approval from the Authority will be required prior to the start of construction.

12. The plans shall be submitted to the water provider for review and approval. Approval from the water provider will be required prior to the start of construction.
13. A note should be added to the plans stating the contractor is to notify the Township & Township Engineer 48 hours prior to the start of construction.
14. No lighting is currently proposed for the proposed loading/unloading and dumpster area. In the event lighting is to be installed, any applicable details for the lights shall be added to the plan and the Lighting Plan, Sheet 13, updated accordingly.
15. We defer to the Township's Fire Marshal for review and approval of the plans.
16. We defer to McCloskey & Faber for review of the plans with respect to the proposed landscaping.
17. The Applicant is responsible for any other required approvals, permits, etc. (i.e., MCPC, MCCD, PADEP, Municipal Authority, Fire Marshall, etc.). Copies of these permits and approvals should be submitted to the Township.

C. Stormwater Management Ordinance

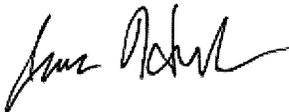
We have identified the following issues with the proposed plan in regards to the stormwater requirements and provisions of the Upper Moreland Township Stormwater Management Ordinance (Chapter 287):

1. The plan proposes an overall reduction in impervious surface of 3,984 SF and this project is therefore exempt from providing stormwater management controls per Table 287-6.1. We recognize that reducing the impervious coverage on the site has a benefit to reducing runoff; however, we recommend the Applicant discuss with the Board if there are future plans for re-development of the site that would include stormwater management controls.

In order to help expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter.

If you have any questions regarding the above, please contact this office.

Sincerely,



James J. Hersh, P.E.  
Senior Project Manager  
Gilmore & Associates, Inc.

JJH/ve/sl

cc: Matthew Candland, Township Manager  
Sean Kilkenny, Esq., Township Solicitor  
Kim Flanders, RLA, McCloskey & Faber, PC  
Chad Dixon, P.E., McMahan & Associates  
Michael Roth, P.E., Bohler Engineering  
Andy Bottaro, Federal Realty  
James J. Garrity, Esq., Wisler Pearlstine, LLP  
Erik Garton, P.E., Vice President, Gilmore & Associates, Inc.



## **McCloskey & Faber, P.C.**

**Landscape Architecture • Land Planning • Graphic Design**

October 6, 2020

Mr. Paul E. Purtell  
Director, Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

Reference: First Landscape Plan Review for **Willow Grove Shopping Center**, Park Avenue, Easton and Moreland Roads, Upper Moreland Township, Montgomery County, PA  
M&F No. 215

Dear Mr. Purtell:

We are in receipt of a Planting Plan (Sheet LP-101) and Planting Details (Sheet LP-501) prepared by Andropogon Associates, LTD and dated September 23, 2020. The plans were received by our office on September 29, 2020. In addition, on September 16, 2020, we received a twenty-sheet "Waiver of Land Development" plan set prepared by Bohler and dated June 2, 2020. Existing features were observed at the site on October 2, 2020.

The 13.03 acre existing shopping center is situated within the TC-1 Town Center zoning district with Transit Management Overlay. The Applicant proposes to repurpose a portion of an existing shopping center building to provide an improved façade, loading and service court, and sidewalks, associated with a new tenant fit-out. In addition, it is our understanding that improvements are proposed within the sidewalk in front (parking lot side) of the building to bring the area into compliance with ADA. In 2010, our office was involved in reviewing landscape renovation plans associated with several landscaped islands throughout the parking areas. The focus of this review is limited to the area of proposed improvements.

Overall, the proposed landscape design appears to be an enhancement to existing conditions. Within the relocated parking islands across from the store fronts, the Applicant will generally be replacing removed trees and island groundcover plantings. Furthermore, new planting beds are proposed between the building and curblines along the front, side, and rear of the building, where concrete is the current condition.

We offer the following comments and recommendations:

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell  
Director, Code Enforcement  
Willow Grove Shopping Center  
October 6, 2020  
Page 2

### **LANDSCAPE PLAN REQUIREMENTS (Article 5, Section 300-42)**

1. A *location map* is to be provided on the Landscape Plan. (Section 300-42 A.)
2. *Existing/proposed above/below ground utilities* are to be clearly labeled on the landscape plans. *Easement lines, Property Boundary and Legal Right-of-way* lines should be clearly indicated and labeled. (Section 300-42 B. & G.)
3. *Tree staking* of new trees is not included in the installation details. However, staking and guying requirements may be waived upon the recommendation of the Township Landscape Architect only when a landscape maintenance contract has been established by the Applicant and approved by the Township Landscape Architect that includes the straightening of all installed trees during the guarantee period. (Section 300-42, M.) Otherwise, staking of trees is required. Tree stakes are to be installed for a period of twelve months and are to be removed prior to the End of Guarantee. We recommend that stakes for ornamental and shade trees be vertical, and that three stakes be installed for all trees.
4. The *plant list* is to be revised and expanded to include planting *height* and *spread* for trees and *height* and *spread* for shrubs at installation. (Section 300-42 K.)
5. The *plant schedule* is to be expanded to indicate Native species plant material intended to satisfy minimum native species requirements. (Section 300-42 K.)
6. *Planting Specifications* are to be added to the plan. (Section 300-42 P.)

### **PLANTING DESIGN REVIEW**

1. *"Nothing shall be permitted to be placed, planted, set or put within the area of an easement. The area shall be kept as lawn."* (Section 300-33, C. (2)) We offer the following comments regarding plantings proposed within existing easements:
  - Several existing easements run parallel to the legal right-of-way of Moreland Road as labeled on the Bohler plan set do not appear to be labeled on the Andropogon landscape design drawing. As noted previously, easements are to be clearly identified and labeled on the landscape drawings.
  - New plantings are designated within a proposed greenspace area along Moreland Road near the intersection of Easton Road. Sidewalk currently exists in the area of the proposed planting bed which is within the above noted utility easements.
  - Small trees are proposed underneath existing above ground utilities and above underground utilities. Proof that these plantings are permitted is to be provided from each of the agencies having jurisdiction over each easement.

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell  
Director, Code Enforcement  
Willow Grove Shopping Center  
October 6, 2020  
Page 3

2. We offer the following comments and recommendations relative to providing information regarding *existing tree removals*:
  - Coordination between the Bohler civil engineering drawings and the Andopogon landscape design drawings appears necessary to clarify tree removals. The Existing Conditions / Demolition Plan should be revised to clearly identify trees to be removed.
  - Related to the above comment, it is unclear why an existing tree along the driveway access from Moreland Road is shown to be replaced on the landscape design drawings. This island is outside the designated Limits of Disturbance and therefore it does not appear that the existing tree is intended to be removed. We note that this existing tree is within an existing water easement.
  
3. We offer the following comments and recommendations relative to providing information regarding *streetscape design*:
  - Loading areas shall be screened from streets per SALDO Section-43.C.(2)(b). The plans should be revised to indicate compliance.
  - The Bohler plans indicate that a Screen wall with decorative fencing is designated between a proposed new loading space and Easton Road. More detailed information regarding height and materials is to be provided. Similar to the existing loading dock screen walls, design of the fence/wall combination should be architecturally compatible with the building façade and architecture.
  - Within the limits of disturbance, we note that only a portion of the architectural paver bands within the sidewalk along Easton Road that were installed over thirty years ago remain today. We recommend that the paver bands be replaced as part of this proposed development. We can provide information as to where these bands previously existed. It should be noted that this design element is part of the design standards for Transit Management Overlay District. (Zoning Section 350-281.E.)
  - With the proposed landscape planter areas to be created within current sidewalks along Easton Road, the sidewalk areas will be reduced to approximately six feet wide, and along Moreland Road near Easton Road to approximately eight feet wide. It is our understanding that it is the desire of the Township for wider sidewalks in this area.
  - Tree grates currently exist along Easton Road where existing trees are within paved areas. New landscape beds are proposed along Easton Road, and therefore tree grates do not appear necessary, except for two trees. Information should be indicated on the plans regarding replacement and/or re-installation of the tree grates for these two trees.
  - It appears that existing painted steel concrete filled bollards within the proposed expanded loading area will be removed. It is unclear if new bollards will be placed as

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell  
Director, Code Enforcement  
Willow Grove Shopping Center  
October 6, 2020  
Page 4

part of the proposed improvements. If new bollards are proposed, we would encourage consideration appropriate bollard covers reminiscent of the light poles and signposts at the intersection of Memorial Park Drive, York Road, and Easton Road.

4. We offer the following comments and recommendations relative to providing information regarding *parking island landscape design*:
  - We have no objection to the tree design within the proposed parking islands and greenspace areas in front of the building.
  - Regarding the Herbaceous Perennial planting design proposed within parking islands, we recommend that placement of plants is considered relative to visibility from the view of the driver at the end of each island.
  - Planter islands are to be crowned to a height of eight (8) inches above the average top of curb height. (Section 300-43 D. (1) (c)) This information should be added to the plan in the form of a detail included on both the landscape drawings and civil drawings.
5. We offer the following comments and recommendations relative to providing information regarding *existing utilities and tree placement outside of easements*:
  - We would typically recommend that new trees are located no closer than 5 feet horizontally from any underground utility. That said, it is understood that new trees are proposed along Easton Road, some at the same location as existing, within areas with existing underground utilities. We recommend therefore that notes are provided relative to hand digging where trees will be removed and/or installed in the vicinity of existing utilities.
  - A utility pole and overhead wires exist near the northernmost proposed tree along Easton Road. It appears that above head utility wires servicing the building from this utility pole will require relocation with the proposed building adjustments. Adjustment to the location of the proposed tree should be adjusted as necessary once the adjusted location of electric service is determined.
6. We offer the following comments and recommendations regarding the proposed shrub, perennial, sedge, and vines *planting bed areas*:
  - We commend the Applicant's continued desire to enhance the parking lot islands with a variety of plantings as opposed to just lawn and/or mulch.
  - For newly created parking lot islands and landscape beds within sidewalks, appropriate bed mix should be specified, including sufficient depth of soil to support new plants.

## **McCloskey & Faber, P.C.**

Mr. Paul Purtell  
Director, Code Enforcement  
Willow Grove Shopping Center  
October 6, 2020  
Page 5

- That said, we observed several planting islands where similar plantings installed in 2010 no longer exist.
- Proposed planting areas along Easton Road is a high visibility public space. As such, the green spaces would benefit from increased maintenance to maintain the plantings as designed. Is there accommodation for maintenance?
- We recommend overall placement, quantity and spacing of plant material within parking lot islands and landscape beds is reviewed to reduce future potential encroachment with adjacent paved areas as plants mature.

The above Landscape Plan review is based on our review of the drawings submitted. It is recommended that the Applicant and their Landscape consultant review and address the recommendations listed in this letter, and, as appropriate, schedule a meeting with us to resolve any miscellaneous issues prior to resubmission to Upper Moreland Township, and resubmit the Landscape Drawings to Upper Moreland Township for further review. Further comments may be forthcoming following our review of the revised drawings addressing the above comments.

In order to help expedite the review process of the resubmission of the plan, we request the Applicant submit a response letter which addresses each of the above comments. Changes that have been made to the plans that are unrelated to the review comments, but impact the landscape, should also be identified in the response letter.

We trust that this landscape plan review letter responds to your request and satisfactorily addresses the landscape ordinance requirements that are apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Very truly yours,



James R. Faber, ASLA  
Township Landscape Architect  
JRF/ kjf

cc: Matt Candland, Township Manager, Upper Moreland Township (email)  
David Elsier – Upper Moreland Township (email)  
Jim Hersh, P.E. – Township Engineer (email)  
Sean Kilkenny, Esq. and Alex Baumler – Township Solicitor (email)  
Cornelius Brown, PE, Bohler (email)  
Andropogon Associates, LTD, Project Landscape Architect  
Andy Bottaro, Applicant's representative, Federal Realty Investment Trust (email)  
James J. Garrity, Esquire, Wisler Pearlstine, LLP, Applicant's legal representative (email)

**From:** Kimberli Flanders <[kflanders@mcfpc.com](mailto:kflanders@mcfpc.com)>  
**Sent:** Wednesday, October 7, 2020 12:13 PM  
**To:** Purtell, Paul <[PPurtell@uppermoreland.org](mailto:PPurtell@uppermoreland.org)>  
**Cc:** Candland, Matthew <[mcandland@uppermoreland.org](mailto:mcandland@uppermoreland.org)>  
**Subject:** Willow Grove Shopping Center

Paul,

I spoke with the RLA at Andropogon this morning relative to our review of the Willow Grove Shopping Center landscape design. I suggested that many of the items in our letter will require review and comment from the Township/CDC (or in the case of plantings in easements – approval from each agency to plant in these areas).

Related to the proposed screening of the adjusted loading area, it appears that they have some drawings/elevations which depict what they are proposing which, if I understand correctly, intends to bring back more “green” into the space. I believe these will be part of the presentation on Monday. Our plan review requests more information on how the Owner intends to screen the loading.

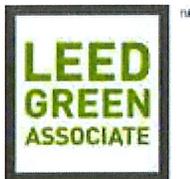
In speaking with the RLA, I realized something that I meant to include in our review, but neglected to add. We comment about the unit paver “bands” that were previously installed within the sidewalk along Easton Road are now missing. In the comments associated with this, I neglected to mention that the unit pavers also once extended across the access drive to the loading area. I believe it is the intent that textured crosswalks across driveways are provided.

Please see attached Google Street views and Plan view which show the area within the LOD as concrete – it was at one time unit pavers – similar to the loading area up the street which is outside the LOD.

I mentioned this to the RLA but wanted to also mention it to you since, though intended, a specific comment is not included in our review.

Kimberli J. Flanders, R.L.A., LEED Green Associate  
**McCloskey and Faber, P.C.**  
**Landscape Architects and Planners**  
831 Dekalb Pike  
Blue Bell, PA 19422

Phone: 610-277-9200, X110  
Direct Line: 484-636-3979  
Fax: 610-277-9203  
email: [kflanders@mcfpc.com](mailto:kflanders@mcfpc.com)  
web: [www.mcfpc.com](http://www.mcfpc.com)

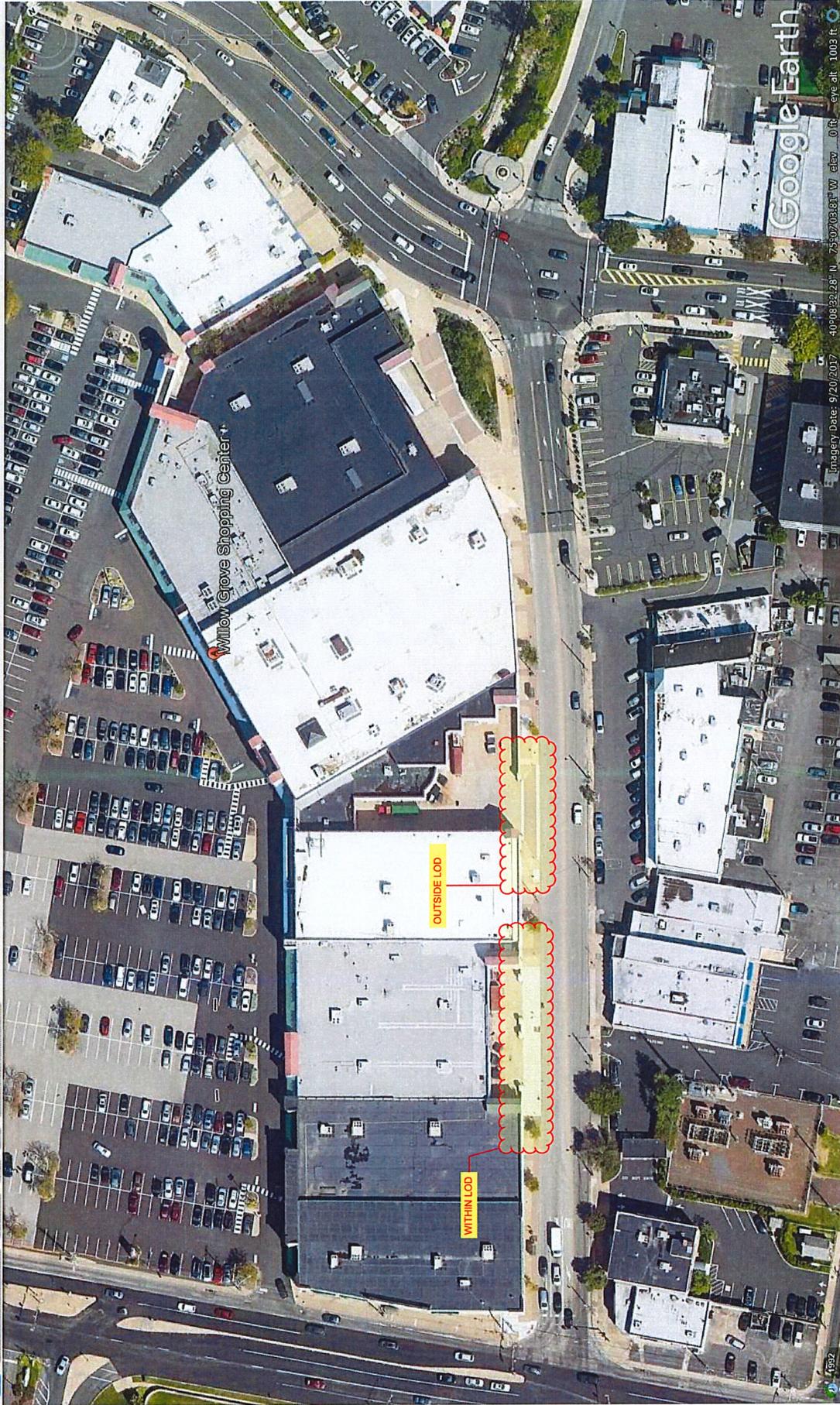


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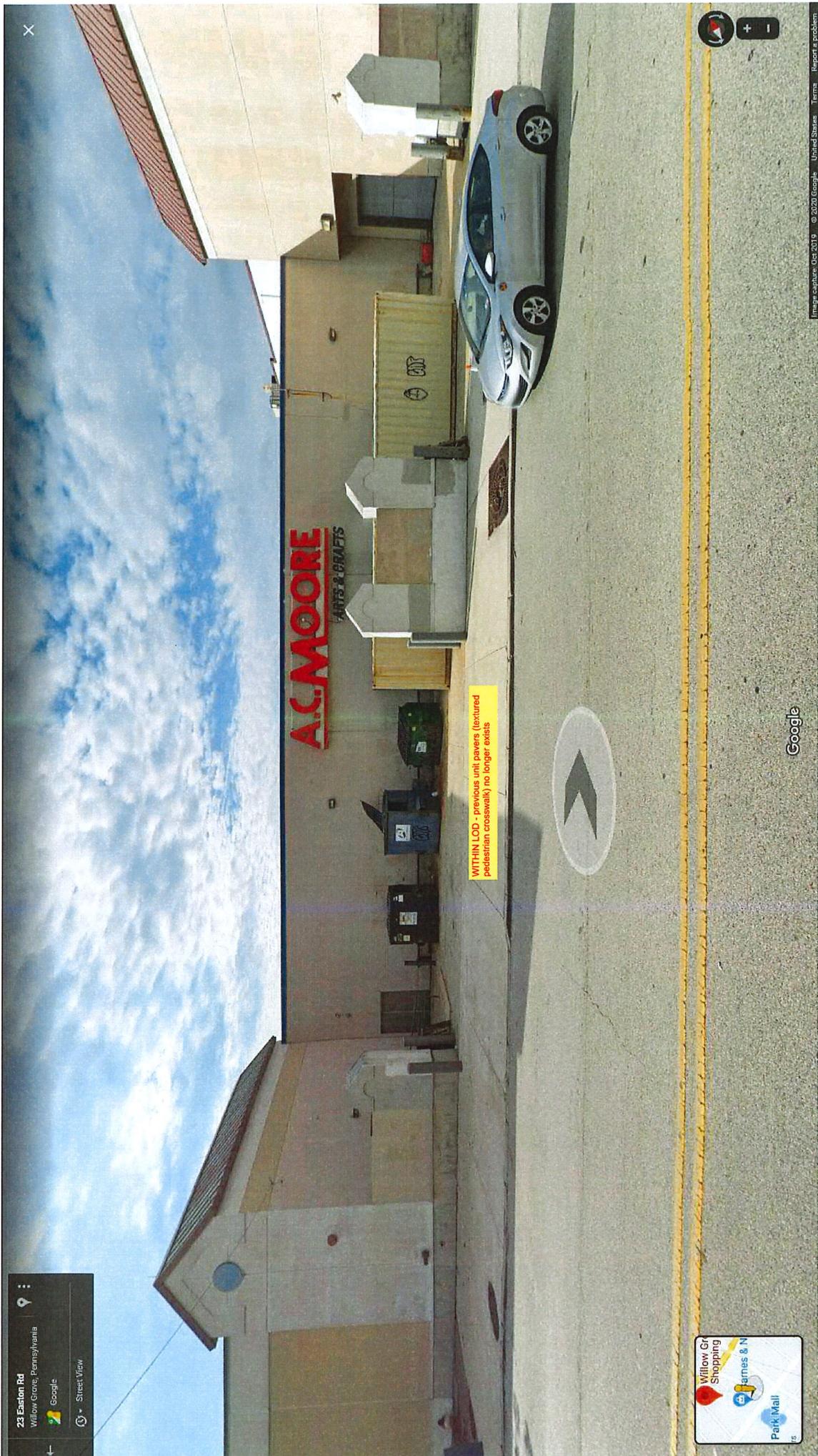


- My Places
- Sightseeing Tour
  - Make sure 3D Buildings
- Temporary Places

- Layers
- Primary Database
  - Announcements
  - Borders and La...
  - Places
  - Photos
  - Roads
  - 3D Buildings
  - Weather
  - Gallery
  - More
  - Terrain

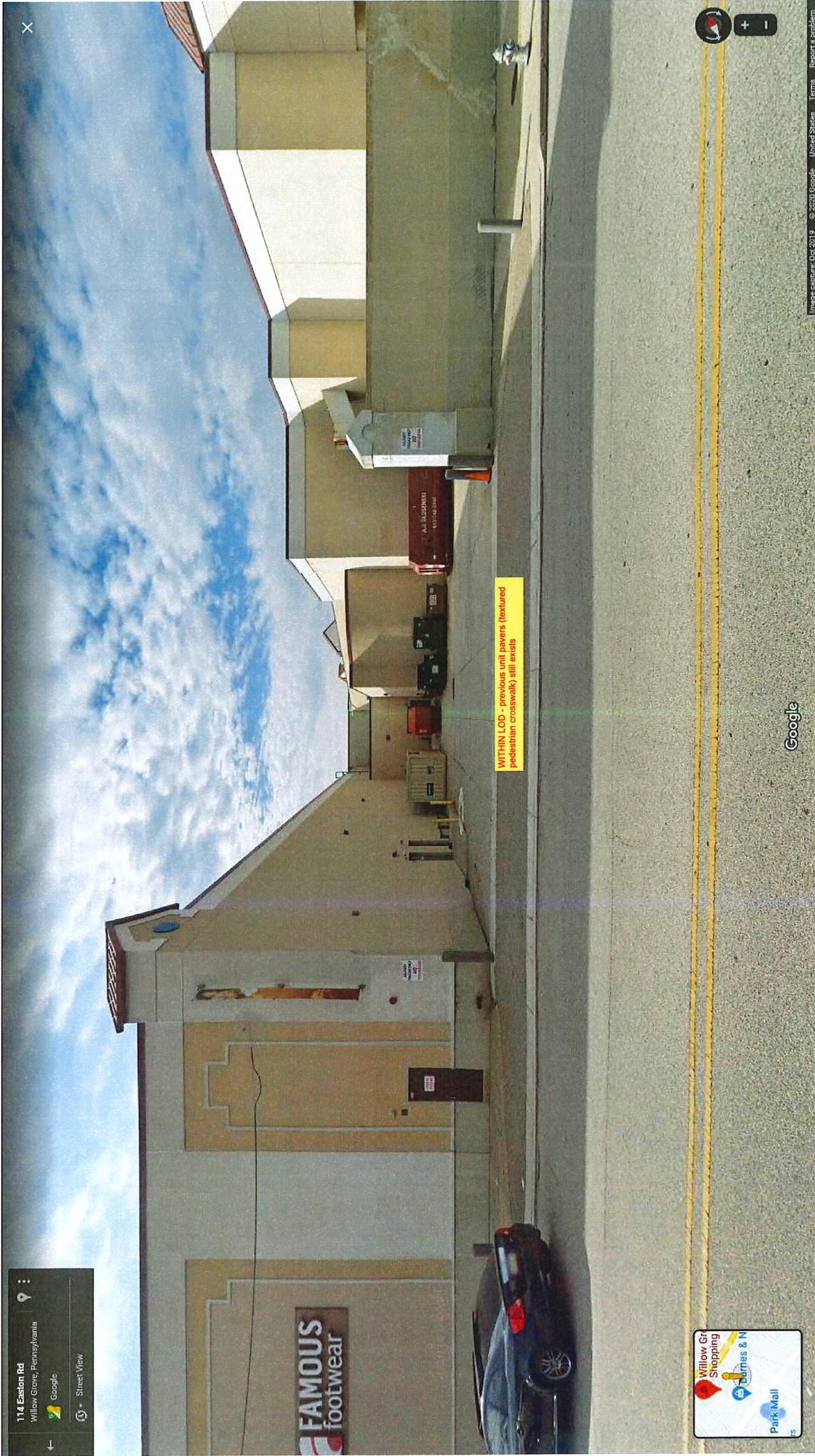


23 Easton Rd  
Willow Grove, Pennsylvania  
Google  
Street View



Google





WITHIN LOD - previous unit pavers (textured pedestrian crosswalk) still exists

Google



October 6, 2020

Mr. Paul Purtell  
Director of Code Enforcement  
Upper Moreland Township  
117 Park Avenue  
Willow Grove, PA 19090

RE: **Traffic Review #1 – Waiver of Land Development**  
Willow Grove Shopping Center Modifications  
Upper Moreland Township, Montgomery County, PA  
McMahon Project No. 820824.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our initial traffic engineering review of the proposed modifications to the Willow Grove Shopping Center in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted for review, the proposed modifications will consist of converting the building space that is currently occupied by Barnes and Noble Books, A.C. Moore, and Five Below into a grocery store. As part of the proposed modifications, it is proposed to remove a portion of the A.C. Moore building to provide a loading area for the grocery store, as well as provide improvements to the sidewalk area and parking area in front of the grocery store. Access to the site will continue to be provided via the existing accesses along Moreland Road (S.R. 0063) and Park Avenue.

The following document was reviewed and/or referenced in preparation of our traffic review:

1. Waiver of Land Development Plans for the Willow Grove Shopping Center, prepared by Bohler Engineering, dated June 2, 2020.

Based on our review of the document listed above, McMahon offers the following comments for consideration by the Township and action by the applicant:

1. According to **Section 350-264** of the **Zoning Ordinance**, the required amount of parking for the shopping center is 530 parking spaces. The plans currently show 794 parking spaces for the shopping center, thereby satisfying the ordinance requirement.
2. The applicant should provide details, with a narrative and any supporting plans, for the expected on-site traffic operations during the construction phases. Of concern is vehicular and pedestrian activity for visitors of the site interacting with construction vehicles and equipment, resulting in unsafe conditions.
3. A stop sign and stop bar should be shown on the plans on the eastern ends of the parking aisles at their intersections with the main drive aisle to the west of the building.

4. A stop sign should be shown on the plans at the existing stop bar located on the driveway approach at its intersection with Moreland Road (S.R. 0063).
5. All existing and proposed signs should be clearly labeled on the plans.
6. ADA ramps should be shown on the plans where the sidewalk along the Easton Road site frontage crosses the proposed loading area for the grocery store.
7. The Township should consider requiring the applicant to reconfigure and close off the opening to the first parking aisle adjacent to Moreland Road (S.R. 0063), to reduce vehicular and pedestrian conflicts in close proximity to the access onto Moreland Road (S.R. 0063).
8. Based on information provided on the plan set, the proposed shopping center modifications will result in less commercial space than what currently exists at the shopping center. Therefore, we do not anticipate an increase in traffic during the weekday afternoon peak hour that would be subject to the transportation impact fee.
9. Easton Road is a Montgomery County highway. A County Highway Occupancy Permit may be required for the modifications to the Easton Road service access within the right-of-way. The Township should be copied on all plan submissions and correspondence between the applicant and the County and be invited to any and all meetings between these parties.
10. A response letter must accompany the resubmission of the waiver of land development plans that addresses how each comment has been addressed and satisfied, and where each may be found in the materials being submitted.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed development apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixson, AICP, PP  
Senior Project Manager

BMJ

cc: Matthew Candland, Upper Moreland Township Manager  
Jim Hersh, P.E., Gilmore & Associates

Code Enforcement Department  
Upper Moreland Township  
117 Park Ave.  
Willow Grove, Pa. 19090

March 17, 2020

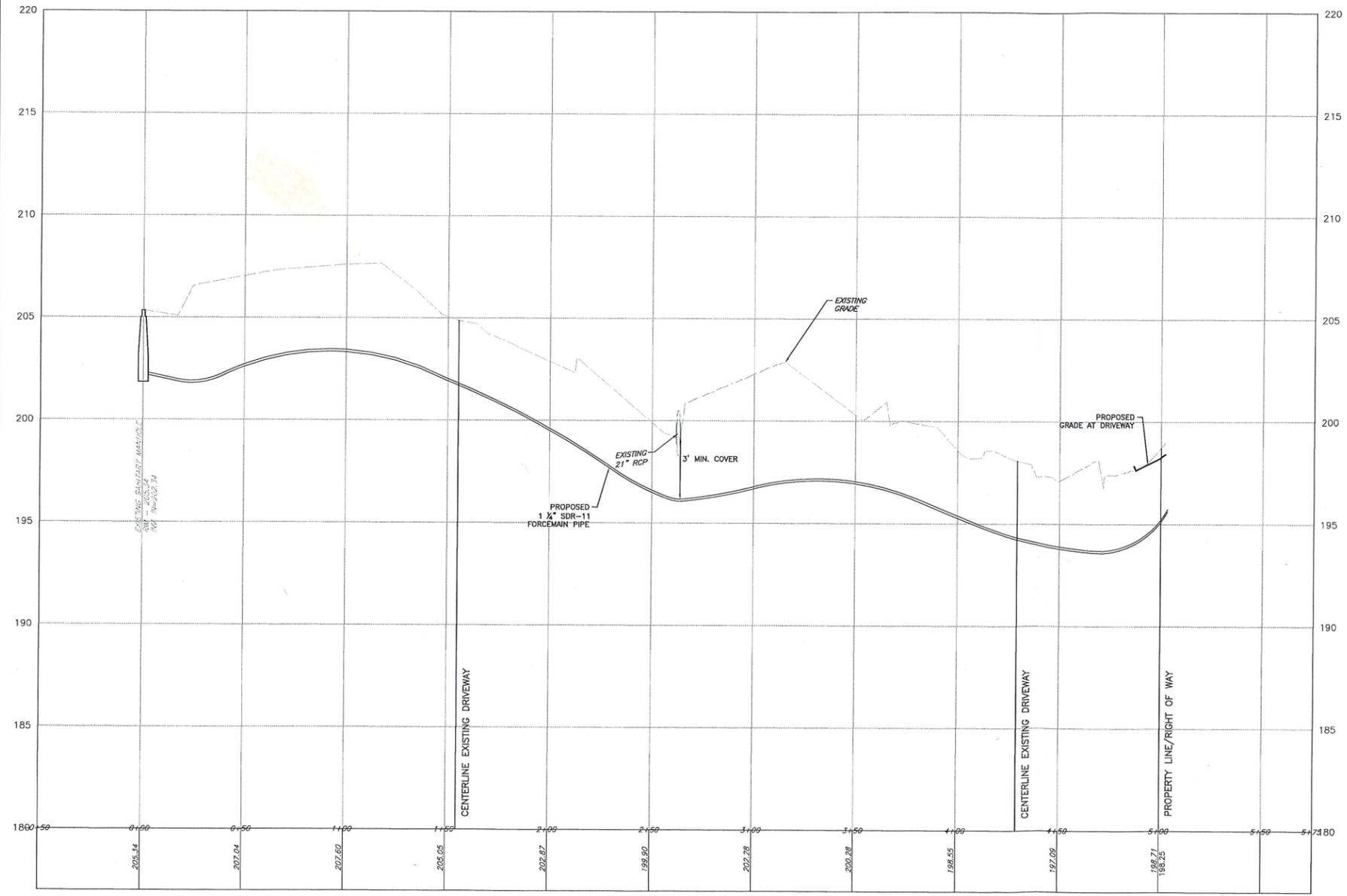
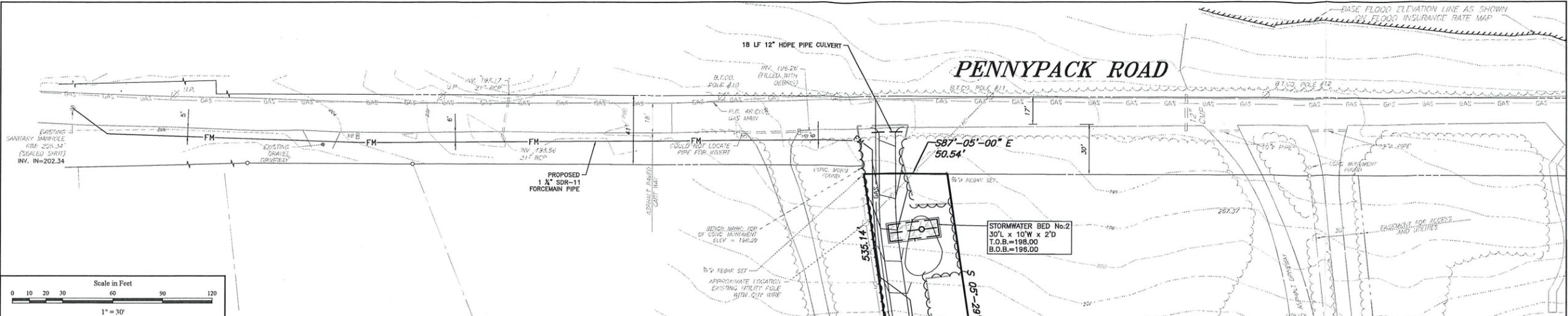
Attention Mr. Paul Purtell

I'm requesting the use of the right of way along the North side of Pennypack Road for a private sewer line. The line will originate from 3195 Pennypack Road a former subdivided flag lot to be improved with a single family home. A sewer installation and maintenance agreement was signed December 30th with Upper Moreland-Hatboro Joint Sewer Authority and myself, Jose Tavares. The signed agreement is recorded by the County recorder and returned to me. The connection fee was paid January 9th 2020 permit number 9511. The required grading permit application license of the contractor and insurance have been provided. the contractor's notarized license application are completed. The Heritage Tree Assessment is complete. I did ask you that the fee for the trees be postponed until the stone driveway, retention basins and the foundation are installed and backfilled. We are considering planting as many trees as we can on the property.

At this time I'm requesting a permit to cut the trees needed to provide development of the driveway and the house foundation with over dig and the parking area.

Respectfully,

Jose Tavares owner



**JMR ENGINEERING, LLC**

PROFESSIONAL CIVIL ENGINEERING & LAND PLANNING SERVICES  
108 SCHUBERT DRIVE - DOWNTOWN, PA 19335  
VOICE: (484) 880-7342  
EMAIL: ADMIN@JMRENGINEERING.COM  
WEBSITE: WWW.JMRENGINEERING.COM

COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL ENGINEER  
DAVID EDWARD RENTSCHLER  
ENGINEER  
No. 059954

David E. Rentschler  
DAVID E. RENTSCHLER  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. PE059954

**UTILITY USERS LIST**

USERS	RESPONSES
COMCAST CABLE	DID NOT RESPOND
FEDCO	DID NOT RESPOND
VERIZON	DID NOT RESPOND
UPPER MORELAND TOWNSHIP	SENT PLANS

**CALL BEFORE YOU DIG!**

FOR MORE INFORMATION OR TO REQUEST A FREE INFORMATION SHEET VISIT US AT [WWW.CALLBEFOREYOUTODIG.COM](http://www.callbeforeyoudig.com) OR 1-800-242-1776

1-800-242-1776  
POCS SERIAL NUMBER: 20193451446

**PLAN REVISIONS**

REV	DATE	DESCRIPTION OF CHANGES
1	3/18/20	REV. PER TRIP REVISION LETTER

PROJECT: **SITE PLAN FOR 3195 PENNYPACK ROAD**

LOCATION:  
3195 PENNYPACK ROAD  
HATBORO, PA 19040  
UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY, PA

PARCELS:  
TAX PARCEL NUMBER:  
59-00-14275-10-2

CLIENT:  
JOSE TAVARES  
8 STEFWALT ROAD  
HATBORO, PA 19040

PROJECT No.:	1427-B
SURVEY REF.:	BREITINGER 1988
DRAWN BY:	E.C.R./M.O.F.
CHECKED BY:	D.E.R.
PLAN DATE:	DECEMBER 11, 2019
PLAN SCALE:	AS NOTED

SHEET TITLE:  
**SANITARY SEWER FORCEMAIN PLAN**

SHEET NUMBER:  
**1 OF 1**



**PERMITS**

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	1	2	\$72,000.00	\$49.00
Bulk Pick Up	53	51	\$0.00	\$1,179.00
Trailer	2	2	\$0.00	\$80.00
Plumbing	15	16	\$65,342.00	\$1,072.00
Garage Sale	4	4	\$0.00	\$40.00
Public Works	8	8	\$18,125.00	\$232.00
Building	63	63	\$1,378,635.75	\$31,709.00
Commercial Zoning Use	14	3	\$0.00	\$225.00
Fire	36	29	\$11,062.15	\$1,864.00
Miscellaneous	1	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	6	3	\$5,100.00	\$285.00
Well	0	0	\$0.00	\$0.00
Electrical	22	26	\$142,818.47	\$4,017.00
Mechanical	17	16	\$127,310.81	\$2,147.50
<b>Totals:</b>	<b>242</b>	<b>223</b>	<b>\$1,820,394.18</b>	<b>\$42,899.50</b>

**CONTRACTORS**

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	2	0	\$150.00
Demolition Contractor	1	0	\$75.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	4	0	\$300.00
General Contractor	2	3	\$375.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$75.00
<b>Totals:</b>	<b>10</b>	<b>3</b>	<b>\$975.00</b>

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	7	0	\$0.00
Sign Contractor	0	0	\$0.00



General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	1	0	\$0.00
<b>Totals:</b>	<b>9</b>	<b>0</b>	<b>\$0.00</b>

**Uncategorized Subtype**

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

**PERMIT INSPECTIONS**

**Total Inspections:** 122

**LICENSING**

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	3	0	\$150.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
<b>Totals:</b>	<b>3</b>	<b>0</b>	<b>\$150.00</b>

**LAND DEVELOPMENT**

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	1	\$400.00
Public Hearing	4	\$2,650.00
<b>Totals:</b>	<b>5</b>	<b>\$3,050.00</b>

**CODE ENFORCEMENT**

Type	# of Complaints
Trash and Debris	2
Misc	7
Exterior Maintenance	5
High Grass	3
Work Without Permit	2
<b>Totals:</b>	<b>19</b>

**CASHIERING**

Type	# of Transactions	Revenue Collected
Total Transactions	1	\$4.00
<b>Totals:</b>	<b>1</b>	<b>\$4.00</b>



Upper Merion  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2020-09-01 to 2020-09-30 23:59:59

Date Printed: 10/01/2020

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## OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>

**Total Revenue Collected: \$47,078.50**



**PERMITS**

Type	# of Apps. Created	# of Permits Issued	Estm. Cost of Issued	Revenue Collected
Grading	3	2	\$715,272.00	\$149.50
Bulk Pick Up	42	42	\$0.00	\$929.00
Trailer	1	1	\$0.00	\$80.00
Plumbing	19	19	\$65,401.00	\$1,265.50
Garage Sale	4	4	\$0.00	\$40.00
Public Works	7	7	\$3,885.00	\$245.00
Building	58	57	\$1,073,299.27	\$18,887.50
Commercial Zoning Use	10	7	\$0.00	\$525.00
Fire	34	26	\$98,336.00	\$2,784.00
Miscellaneous	0	0	\$0.00	\$0.00
Holding Tank	0	0	\$0.00	\$0.00
Sign	6	3	\$27,200.00	\$340.00
Well	0	0	\$0.00	\$0.00
Electrical	20	22	\$153,844.00	\$4,174.00
Mechanical	14	22	\$140,088.00	\$2,689.50
<b>Totals:</b>	<b>218</b>	<b>212</b>	<b>\$2,277,325.27</b>	<b>\$32,109.00</b>

**CONTRACTORS**

Commercial

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$75.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	6	4	\$750.00
General Contractor	11	3	\$1,050.00
Sign Contractor	0	1	\$75.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	4	0	\$300.00
<b>Totals:</b>	<b>22</b>	<b>8</b>	<b>\$2,250.00</b>

Residential

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

Home Improvement

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	1	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	7	0	\$0.00
Sign Contractor	0	0	\$0.00



General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	2	0	\$0.00
<b>Totals:</b>	<b>10</b>	<b>0</b>	<b>\$0.00</b>

**Uncategorized Subtype**

Type	# of New Contractors	# of Renewals	Revenue Collected
Fire Sprinkler Contractor	0	0	\$0.00
Mechanical Contractor	0	0	\$0.00
Demolition Contractor	0	0	\$0.00
House Moving Contractor	0	0	\$0.00
Plumbing Contractor	0	0	\$0.00
General Contractor	0	0	\$0.00
Sign Contractor	0	0	\$0.00
General Contractor - Under \$30,000	0	0	\$0.00
Electrical Contractor	0	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>0</b>	<b>\$0.00</b>

**PERMIT INSPECTIONS**

<b>Total Inspections:</b>	<b>118</b>
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**LICENSING**

Type	# of New Licenses	# of Renewals	Revenue Collected
Home Occupancy Zoning Use	2	1	\$150.00
Amusement License	0	0	\$0.00
Sandwich Sign	0	0	\$0.00
Massage	0	0	\$0.00
Billboard	0	0	\$0.00
Recreational Trailer	0	0	\$0.00
<b>Totals:</b>	<b>2</b>	<b>1</b>	<b>\$150.00</b>

**LAND DEVELOPMENT**

Type	# of Apps. Created	Revenue Collected
Zoning Change	0	\$0.00
Conditional Use	0	\$0.00
Subdivision	0	\$0.00
Land Development	0	\$0.00
Public Hearing	3	\$1,900.00
<b>Totals:</b>	<b>3</b>	<b>\$1,900.00</b>

**CODE ENFORCEMENT**

Type	# of Complaints
Trash and Debris	1
Misc	6
Exterior Maintenance	5
High Grass	7
Work Without Permit	4
<b>Totals:</b>	<b>23</b>

**CASHIERING**

Type	# of Transactions	Revenue Collected
Total Transactions	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>



Upper Moreland  
Township  
117 Park Avenue  
Willow Grove, PA  
19090

# Commissioners Report

For the period of: 2019-09-01 to 2019-09-30 23:59:59

Date Printed: 10/01/2020

## OPEN RECORDS

Type	# of Requests	Revenue Collected
Public Record Request	0	\$0.00
<b>Totals:</b>	<b>0</b>	<b>\$0.00</b>

**Total Revenue Collected: \$36,409.00**

To: Public Works Committee

From: David Elsier, Director of Public Works

Date: September 2020

Re: **UMPW DEPARTMENTAL REPORT**



## PUBLIC WORKS DIRECTOR'S NOTES

- Oversaw all day-to-day operations of the Public Works Department
  - Repaired potholes throughout the Township.
  - Reported street lights that are not working.
  - Contacted Penn Dot about pothole concerns on all state roads within the Township.
  - Reported traffic and street lights that needed attention.
  - Responded to e-mails and phone calls from residents with questions or problems.
  - Completed various reports and schedules to help with operations of the Public Works Department.
  - Submitted the Public Works 2021 Budget
  - Installed 2 inlets on Betz Rd to collect storm water that was causing a public safety issue during the winter months
  - Prepared all leaf vacuums for leaf season that starts in October
- 
- **Vehicle Maintenance** - Township mechanics maintained all Township vehicles and equipment.
  - **Storm Water Maintenance** - Township staff continues to inspect and repair all storm water inlets.

## SANITATION DIVISION

### **September**

During the month of August 2020, our Sanitation Division picked up 630 tons of compacted trash.

Since the last report period we had 24 bulk pick-ups. For the same period in 2019 we collected 18 bulk items

We collected 148 tons of yard waste since the last report period. For the same period in 2019, we collected 292 tons of yard waste.

We collected 32 electronic items (E-cycling) since the last report period. For the same period in 2019, we collected 29 electronic items.



**Public Works Department  
September '2020**

**Summary of materials handled by Sanitation Division  
(in tons)**

Single Stream	202	
Curbside Yard Waste	148	
<hr/>		
Total Recycling Tonnage	350	
Trash Tonnage	630	
Tipping Fee Cost Avoidance	\$19,705	\$56.30
Cost of Single Stream Recycling	\$11,530	\$65.51
Percent of Waste Recycled	36%	

<u>Materials</u>	<u>Glass/Pastic/ Cans</u>	<u>Paper</u>	<u>Single</u>	<u>Yard Wate</u>	<u>Trash</u>	<u>% Recycled</u>
2019	0	0	146	292	523	30%
2020	0	0	202	148	523	36%

	<b>2019</b>	<b>2020</b>
Bulk Metal Items	18	24
E-Cycling Items	29	32



PROJECT	WORK PERFORMED LAST PERIOD (September 21 <sup>st</sup> to October 12 <sup>th</sup> )	WORK TO BE PERFORMED THIS PERIOD (October 12 <sup>th</sup> to November 16 <sup>th</sup> )
<b>GENERAL TOWNSHIP PROJECTS</b>		
1. NPDES – MS4 Reporting	<ul style="list-style-type: none"> <li>Completed Yearly MS4 Progress Report and submitted to DEP.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project status and perform work as necessary.</li> </ul>
2. Misc. Consulting Services	<ul style="list-style-type: none"> <li>Miscellaneous coordination with Township Staff, Consultants and Commissioners.</li> </ul>	<ul style="list-style-type: none"> <li>Complete any miscellaneous items requested by the Township.</li> </ul>
3. Fair Oaks Basin	<ul style="list-style-type: none"> <li>Open bids on 9/28</li> <li>Evaluate bids and prepare project award recommendation.</li> </ul>	<ul style="list-style-type: none"> <li>Coordinate with AH Cornell on contract documents</li> <li>Coordinate pre-construction meeting and issue notice to proceed.</li> <li>Construction scheduled to start by end of October.</li> </ul>
4. Mason's Mill Park	<ul style="list-style-type: none"> <li>Issue final payment recommendation.</li> </ul>	<ul style="list-style-type: none"> <li>Project is in 18-month maintenance period.</li> </ul>
5. Betz & Lukens Drainage Improvements	<ul style="list-style-type: none"> <li>Project was successfully installed by Public Works</li> </ul>	<ul style="list-style-type: none"> <li><b>Project complete, remove from list next month.</b></li> </ul>
<b>PRIVATE DEVELOPMENT PROJECTS</b>		
1. Fairhill Commons	<ul style="list-style-type: none"> <li>No work completed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project status and perform work as needed.</li> </ul>
2. 2700 Turnpike Dr. (Acme Box)	<ul style="list-style-type: none"> <li>Received revised plan set.</li> </ul>	<ul style="list-style-type: none"> <li>Review revised plan set and issue letter.</li> <li>Applicant is looking to start construction in coming months.</li> </ul>
3. Jaguar Land Rover Dealership	<ul style="list-style-type: none"> <li>Construction Observation</li> </ul>	<ul style="list-style-type: none"> <li>Continue construction observation as needed.</li> </ul>
4. 28 N. York Road	<ul style="list-style-type: none"> <li>E&amp;S control observation.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project status and perform work as needed.</li> </ul>
5. Federation Housing (432-512 Davisville Road)	<ul style="list-style-type: none"> <li>Review initial land development plan submission.</li> </ul>	<ul style="list-style-type: none"> <li>Issue review letter and coordinate with staff and design engineer regarding plan revisions.</li> </ul>

PROJECT	WORK PERFORMED LAST PERIOD (September 21 <sup>st</sup> to October 12 <sup>th</sup> )	WORK TO BE PERFORMED THIS PERIOD (October 12 <sup>th</sup> to November 16 <sup>th</sup> )
6. 1845 Byberry Road	<ul style="list-style-type: none"> <li>No work performed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project and perform work as needed.</li> </ul>
7. 4121 Blair Mill Road – Minor Subdivision	<ul style="list-style-type: none"> <li>No work performed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project and perform work as needed.</li> </ul>
8. 2255 Wyandotte Road	<ul style="list-style-type: none"> <li>No work completed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitory project and perform work as needed.</li> </ul>
<b>CONSTRUCTION PROJECTS</b>		
1. 4205 Shoemaker Road	<ul style="list-style-type: none"> <li>No work occurred this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project status and perform work as necessary.</li> </ul>
2. 2405 Maryland Road Appts.	<ul style="list-style-type: none"> <li>No work performed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Monitor project status and perform work as necessary.</li> </ul>
3. Willow Grove Day Camp YMCA	<ul style="list-style-type: none"> <li>No work performed this period.</li> </ul>	<ul style="list-style-type: none"> <li>Construction observation and monitor project status and perform work as needed.</li> </ul>
4. Station @ Willow Grove (Petrucci)	<ul style="list-style-type: none"> <li>No work occurred this period.</li> </ul>	<ul style="list-style-type: none"> <li><b>Project is in 18-month maintenance period, which is set to expire in June 2021.</b></li> </ul>
5. Lightbridge Academy	<ul style="list-style-type: none"> <li>No work performed this period.</li> </ul>	<ul style="list-style-type: none"> <li><b>Project is in 18-month maintenance period, which is set to expire in January 2022.</b></li> </ul>



## **McCloskey & Faber, P.C.**

**Landscape Architecture • Land Planning • Graphic Design**

**Date:** October 5, 2020 (prior report dated 09/10/2020)

**Subject:** Township Landscape Architect's Monthly Status Report

**Project:** Upper Moreland Township, Montgomery County, PA  
M&F Project No. 215

**From:** James R. Faber, ASLA

The following is a summary of our work during the previous month and pending work that we anticipate in the coming months. Developments with no activity for the previous months and/or are not on-going are included in our "Township Landscape Architect – Application Reviews and Field Work Schedule" spreadsheet (unless otherwise directed).

A. Landscape Architectural Plan and Field Reviews:

1. 432-514 Davisville Road – Age Restricted Apartments
  - a. Receive land development submission on September 16, 2020; General coordination regarding same.
  - b. Pending: Finalize and issue 1<sup>st</sup> Landscape Plan review.
2. PA Turnpike Cell Antennae (Everett, Forest and Division Avenues)
  - a. General coordination with PA Turnpike Representatives regarding requested planting design proposal adjustments; General coordination with Township Director of Code Enforcement regarding same.
  - b. General coordination with PA Turnpike Commission Landscape Department Representative regarding schedule of installation of plantings.
3. 28 N. York Road
  - a. Prepare pre-construction meeting talking notes; Prepare for and attend pre-construction meeting on September 11, 2020.

## **McCloskey & Faber, P.C.**

Township Landscape Architect's Monthly Report

October 5, 2020

Page 2

4. Willow Grove Shopping Center (Federal Realty)
  - a. Receive plan submission (civil engineer drawings); General coordination regarding same.
  - b. Review archived file information regarding previous landscape renovation in 2010.
  - c. Receive landscape design drawings; General coordination regarding same.
  - d. Begin review of landscape design (in progress).
  - e. **Pending:** Finalize and issue landscape design review letter.
  
5. YMCA Davisville Road
  - a. Prepare for and attend site meeting on September 11, 2020 with Landscape Contractor to observe follow up to July 6, 2020 site observations.
  - b. General coordination with Township Engineer, Landscape Contractor and Applicant's Project Manager regarding acceptable quantities and timing of anticipated escrow release request.
  - c. General coordination with Civil Engineer Project Manager regarding follow up from site observations regarding cattail.
  
6. 3195 Pennypack Road Grading Permit Plan
  - a. Prepare pre-construction tree clearing meeting notes; Prepare for and attend pre-construction meeting at site on September 1, 2020.
  - b. Prepare for and attend meeting at site on September 17, 2020 with Applicant's Representative to observe installed tree protection fence; General coordination with Township Engineer construction observation representative regarding same.
  - c. Prepare and issue email memo on following site visit on September 17, 2020.

# **McCloskey & Faber, P.C.**

Township Landscape Architect's Monthly Report

October 5, 2020

Page 3

## **B. Davisville and Byberry Road improvements:**

1. General coordination regarding landscape improvements at corner (Bommentre) property.
2. Prepare further revisions to landscape design based on request from Owner's attorney; and issue revised PDFs on September 17, 2020.

## **C. Fair Oaks Park – Landscape Design:**

1. Prepare for and attend pre-bid conference meeting at site on September 17, 2020.
2. General coordination with Township Engineer staff regarding Addendum #2 (related to topsoil depth).

### Distribution List (via Email):

Joseph A. Lavalley, V.P. Board of Commissioners, Ward 4  
Kevin Spearing, Board of Commissioners, Ward 2  
Kip McFatrige, Board of Commissioners, Ward 5  
Matthew Candland, Township Manager  
Vicky Sykes, Executive Assistant to Township Manager  
Paul Purtell, Director of Code Enforcement  
David Elsier, Director of Public Works  
Sean Kilkenny, Esq., Solicitor  
Alex Baumler, Kilkenny Law Office  
Erik Garton, P.E., Gilmore & Associates  
Jim Faber, ASLA, Township Landscape Architect

jalavalle@comcast.net  
kevinumtwp@hotmail.com  
mcfatrige@gmail.com  
mcandland@uppermoreland.org  
vtsykes@uppermoreland.org  
ppurtell@uppermoreland.org  
delsier@uppermoreland.org  
sean@skilkennylaw.com  
alex@skilkennylaw.com  
egarton@gilmore-assoc.com  
jfaber@mcfpc.com

Issue Date:

October 5, 2020

UPPER MORELAND TOWNSHIP - TOWNSHIP LANDSCAPE ARCHITECT APPLICATION REVIEWS AND FIELD WORK SCHEDULE

M&F No. 215

Project Name and Address	Landscape Plan Rev. Approval Date	Site Visit and/or Tree Count	Pre - Construction Meeting	Tree Protection Fence Review	Most Recent Landscape Install. Review	Most Recent Escrow Release Review	Insp. to Begin 18-Mth Guarantee Period	End of Guarantee Period		Status
								Date Due	Insp. Letter	
<b>Landscape Plan Reviews in Progress or Not Approved</b>										
1130 Easton Road - Pad site LD 15-28	LPR3 3/9/16	7/23/2015 & 8/4/2015								Development staff meeting: August 18, 2015 [Await revised plan submission (technical plan comments)]
551 N. York Road and 230 Fairhill St. Fairhill Commons	CU Review 11/25/19 LPR3 08/26/20	3/5/2019 Site visit 9/5/19 Tree count								Phone conference (Conditional Use): 3/26/19 Development staff meeting: 8/28/19 Development pre-submission meeting: 1/30/20 Virtual Development coordination meeting: 5/13/20 [Await revised plan submission (technical plan comments)]
432-514 Davisville Road - Conditional Use (Age Restricted Apartments)	CU review 11/05/19	11/05/19								Pre-submission meeting: 8/10/20
1800 Cathedral Road - Minor Subdivision	LPR1 11/06/19									
1845 Byberry Road (Arrimour)	LPR1 01/13/20									[Await revised plan submission]
2855 Wyandotte Road	LPR1 8/4/2020	1/30/20								[Await revised plan submission]
Willow Grove Shopping Center Federal Realty										[Prepare review of landscape design - due 10/6]
<b>Landscape Plan Approved - Awaiting Construction</b>										
2700 Turnpike Drive - Acme Corrugated Box	LPR4 3/19/20	12/12/18								
240 Fitzwaterdown Road (Malvern Inst) (Amended Phase II of Willow Crest Manor) LD 16-23	LPR2 6/16/17	5/17/16								Development Staff meeting: 5/20/16; Waiver review memo: 7/7/16; Email review of technical plan comments: 7/5/17 [Await formal response to technical plan comments - reviewed informally]
2200 Byberry Road - Carr and Duff Driveway	LPR3 7/19/19	5/23/19								

Project Name and Address	Landscape Plan Rev. Approval Date	Site Visit and/or Tree Count	Pre - Construction Meeting	Tree Protection Fence Review	Most Recent Landscape Install. Review	Most Recent Escrow Release Review	Insp. to Begin 18-Mth Guarantee Period	End of Guarantee Period		Status
								Date Due	Insp. Letter	
<b>Project Under Construction - Landscape Installation NOT Approved</b>										
2300 Easton Road - Verizon store (Formerly Ruby Tuesday restaurant)	LPR3 10/24/2016	9/1/16	12/21/16 KJF	n/a	6/12/19					[Await final request for escrow release associated with landscape installation.]
4205 Sheemaker Road - Minor Subdivision (Fox Lake Realty, LP)	LPR4 3/30/15	8/27/14	8/4/16 JRF		11/8/19 Plan markup 9/1/20 email - all OK					Tree removals started early June 2016 prior to M&F review; Removals halted by Twp. Staff. M&F contacted Applicant June 3rd to discuss; Site visit on 11/10/16 to review trees with Applicant prior to removal. Site visit on 7/15/20 to discuss outstanding punch list items.
Philadelphia Freedom Valley YMCA 3400 Davisville Road	1/17/17 CU and ZO LPR3 9/21/17 FINAL	1/12/2017 2/22/17 6/9/17	8/17/17 pre-demo 10/20/17 Pre-con 4/16/2018 Stage 2 (Demo)	8/22, 8/24, 9/5/17 tree clearing 12/8/17 - bf review 12/14/17 - memo	07/09/20 Plan markup <b>ACTIVE</b>	9/11/20				Field change request plans rec'd 2/16/18 Pre-installation meeting 3/27/19 [Pending; Follow up from 9/11/20 site visit - await renovation of stormwater management facility]
2405 Maryland Road (Apartment complex)	LPR7 7/24/18 Amended Plan 12/10/2018	11/4/15	2/21/19	6/1/18	8/13/2020 Ph 3	5/27/20 <b>ACTIVE</b>				Development staff meeting: December 1, 2015 CU Review: July 5, 2017 Pool Amenity plans reviewed in March 2019 [Await response to Building 3 planting review]
2321 Blair Mill Road (Lightbridge Academy) LD 16-10	LPR3 10/11/16	3/30/16	2/21/19 no M&F rep		7/2/20 plan markup <b>ACTIVE</b>					Development staff meeting: 4/22/16 Waiver review memo: 7/7/16 [Await response to 7/2/20 punch list from 6/24/2020 site visit]
900 S. York Road - Jaguar Land Rover	LPR4 8/26/19		9/25/19		2/4/20 2/19/20 <b>ACTIVE</b>					Waiver of land development
28 N. York Road - Land Development Martin Harrison	LPR2 01/27/20	11/7/18	9/11/20 KJF							[Monitor tree protection; Await installation of required landscaping]
3195 Pennypack Road - Grading Permit Plan	LPR1 01/27/20	Tree count by Arborist	9/1/20 KJF	9/17/20						
<b>Project Under Guarantee - Landscape Installation Approved - in Guarantee Period</b>										
Station at Willow Grove (Petrucci / JERC Partners) N. York and Davisville Roads	LPR3 3/7/18	8/28/17	4/6/18	4/9/18	10/21/19	10/10/19	11/1/19	7/1/21		[Await response to Review of landscaping prior to end of guarantee, Spring of 2021.] [Public Art Piece is approved - still to be installed.]
<b>End of Guarantee Inspection Performed - Landscape Issues Remain</b>										
2901 Blair Mill Road (Blair Mill Townhomes), Willow Crossing LD-06-7 Formerly Sabia Townhouses (Builder: Ed Moser)	10/3/12 Amended plan review	5/1/06	7/15/11		10/30/15 email		12/28/15	6/16/17	5/30/17 email	[Revisit site upon completion of punch list items.]
2440 Maryland Road (Fairfield Inn) Ajesh Patel LD14-2	LPR4 10/17/14	1/16/14	2/17/15	3/19/15	5/27/16	12/4/15		12/1/17	10/11/17	[Revisit site upon completion of punch list items.]

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**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY****PROJECT STATUS  
October 8, 2020****DAVISVILLE ROAD YMCA**

- YMCA access construction completed.
- Roadway and traffic signal improvements complete at Davisville and Terwood Road.
- **Final inspections with PennDOT held 10/6. Contractor to address punchlist items.**

**WARMINSTER ROAD BRIDGE RECONSTRUCTION**

- Full reconstruction of bridge along Warminster Road by PennDOT.
- Construction moved to 2021 per Township coordination with PennDOT
- Full road closure is required. McMahon reviewing detour route for potential impacts.
- Pedestrian flashing warning device at Mill Road reviewed by McMahon. No further comments.

**WILLOW GROVE TRAIN STATION RELOCATION**

- Meeting held with SEPTA to discuss restarting project. SEPTA programming capital project for 2022-2023 budget.

**ROUTE 611 BRIDGE OVER TURNPIKE RAMP**

- Township and McMahon to coordinate with Montgomery County Planning Commission to add the project to the State TIP.
- Township officials met with PennDOT and MCPC staff on 9/14/18 to stress the importance of the project. Both agencies committed to support the project during the next TIP update which started in 2019.
- Montgomery County Planning Commission requested DVRPC to reallocate funds from the TIP to improvements at the Willow Grove Interchange. Request was denied by DVRPC.

**2015 GREEN LIGHT GO GRANT**

- Approved for the installation of video detection at the intersections of Easton Road\Blair Mill Road and Easton Road\Fitzwatertown Road. Amount Requested - \$34,800. Township match \$34,800.
- Township approved an increase to the project cost for the intersection improvements in the amount of \$5,204.76. The project costs include approximately \$9,000 in contingency items for conduit replacement, etc.
- Video Detection installed at intersections. Awaiting Project Close-out by PennDOT.

**BYBERRY ROAD AND DAVISVILLE ROAD**

- Awarded Green Light Go Grant for traffic signal improvements at the intersection. Grant Award - \$252,520. Township match - \$63,130. – Due to Covid-19, PennDOT has pulled the Green Light Go funding from the project. **The Township is submitting for reimbursement of design services.**

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY  
PROJECT STATUS  
October 8, 2020**

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- Awarded Montgomery County Transportation Program (CTP) funding for \$31,565 to be applied to Green Light Go match requirement. **County allowing CTP funding to be utilized for project.**
- Awarded PennDOT MTF for right-turn lane on Davisville Road in the amount of \$390,000.
- PennDOT comments addressed on HOP. Awaiting property owner coordination for permit.
- McCloskey and Faber prepared landscaping plans.
- Coordination meeting with utility companies held 10/9/19. **PECO design complete for relocations. PECO looking to schedule work. Tree removal required for PECO pole installation.**
- Property Owner Coordination on going. Letters sent to Property Owners by Township in January 2020. **Responses received from 5 of the 6 property owners, with four signatures received. Follow-up with remaining property owners ongoing.**
- Coordination with PennDOT for execution of agreement. **Agreement awaiting PennDOT signature.** Environmental Documentation completed and submitted to PennDOT 4/8/2020.

**BLAIR MILL ROAD**

- Coordination with Horsham Township for proposed improvements at the intersections of Blair Mill Road at Witmer Road\Commerce Road and Easton Road. Horsham Township received \$3 million award from PennDOT MTF.
- McMahon developed concept plan for widening along Blair Mill Road at Easton Road to lengthen existing right turn lane to new traffic signal at Gibraltar Road and adding sidewalk along the southern side to connect to existing sidewalk.
- Horsham Township preference is to not add additional widening to their project.
- UMT to consider other grant opportunities to pursue separately.
- Upper Moreland contacted residents adjacent to proposed improvements.

**EASTON ROAD (PA 611) AND MILL ROAD/SYCAMORE ROAD**

- McMahon submitted formal request to PennDOT to prohibit large trucks from turning right from NB Easton Road to Mill Road.
- **Signing plan and alternate route analysis submitted to PennDOT for review 8/3/2020. Coordination with PA Turnpike for installation of signage.**

**2018 ARLE SUBMISSION – BLAIR MILL ROAD AND HORSHAM ROAD**

- Signal upgrades (pedestrian signals, APS, emergency pre-emption, video detection).
- Grant Request - \$106,500.
- Construction anticipated for Fall 2020.
- **Project Awarded to Armour.**

**WELSH ROAD ADAPTIVE TRAFFIC SIGNAL SYSTEM**

- Joint municipal project between Upper Dublin Township, Horsham Township, Abington Township, Upper Moreland Township to upgrade 17 intersections to adaptive operation. Upper Moreland Township maintains Blair Mill Road and Computer Road intersections.
- Rhythm Engineering INSync System selected. Design engineer revised recommendation to the Econolite Adaptive system.

**UPPER MORELAND TOWNSHIP  
MONTGOMERY COUNTY  
PROJECT STATUS  
October 8, 2020**

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**2020 ARLE SUBMISSION**

- Submitted 2018 GLG award for York Road Signal upgrades (Signal coordination from Davisville to Easton, rail crossing coordination, addition of pedestrian crossing on western leg of intersection with Davisville Road).
- Grant Request - \$288,750. Township match \$40,000

**MONTCO CTP GRANT SUBMISSION**

- Maryland Road and Commerce Avenue intersection improvements.
- Grant Request - \$354,685. Township match \$204,685.
- Grant Submitted 7/31/2020. Announcements likely in Fall 2020.

**DCED CFA MULTIMODAL TRANSPORTATION FUND GRANT SUBMISSION**

- Blair Mill Road and Easton Road intersection improvements
- Maryland Road and Commerce Avenue intersection improvements.
- Maryland Road Structure Replacement
- Grant Request - \$3,000,000.
- Grant Submitted 9/30/2020.

**2020 GRANT SCHEDULE**

- PennDOT Multimodal Transportation Fund – November 6, 2020
- DVRPC Regional Trails Program – November 13, 2020

## October 2020 Report to CDC from EAC

In order to make the EAC more visible to the community, an electronic photo frame was installed in our display stand at the library. It rotates through photos of our events and our logo. We hope to also create posters about the EAC that would be changed every few months and be displayed over our display stand along with a new larger sign directly above the stand.

We are also hoping to provide more copies of the book, Nature's Best Hope to the library so that it could be used for a book discussion group.

We are pleased to hear that the bid has been awarded for Fair Oaks basin and hope that the proposed planting plan with all the great native species will be followed. This will provide habitat for birds and pollinators. Educational signage should also be installed. Wyncote Audubon will lead bird walks and will partner with the EAC to provide educational events once it is safe to do so. We also hope that the township will develop a plan and have the resources necessary to maintain the native plants and remove invasive species.

When the rain gardens were planted at the middle school, educational materials were to be developed around them but then COVID-19 disrupted school. Commissioner Spearing would like to see the EAC help out the schools by perhaps taking photos of the gardens and developing an educational PowerPoint for classes to use. We would like to do this and increase the connections with Upper Moreland schools.

We would like to see some type of shade tree commission here in Upper Moreland. A number of other townships have them and we would like to see our tree canopy increased and more trees protected.

- a. <https://ecode360.com/9005975> Abington Township
- b. <https://ecode360.com/11719892> Township of Worcester
- c. <https://myhatboro.org/shade-tree-commission/> Hatboro

The EAC would like to do an event next fall that would educate people on the value of trees, where and how to plant them, and the value of replacing dying trees. We would give away trees at this event.

A number of states and municipalities have adopted rules that require private mosquito sprayers to notify neighbors 48 hours in advance of spraying and require that they follow required rules. As it is now, companies show up at a property and start spraying while neighbors might have their windows open and children and pets outside. Although the companies say there are only natural oils in their spray this is not usually true. These sprays usually contain bifenthrin which is an EPA listed pesticide and certain rules must be followed when it is applied:

It is not to be applied less than 24 hours before rain is expected.

It is not to be applied to gutters, pavements or any other surface with stormwater runoff potential.

It is not to be applied if wind speeds are above 10 mph.

Bifenthrin is extremely toxic to fish and aquatic invertebrates and has long-lasting effects.

It is also highly toxic to bees exposed to direct spray or residues on plants.

Bifenthrin affects the central nervous system and is a potential human carcinogen.

Bifenthrin has the potential to bioaccumulate.

We would like to see the township enforce these rules and require neighbor notification, especially since we are a Bird Town. Birds that eat poisoned insects don't do well.

On a lighter note, there will be a tree planting event at Fulmor Heights Saturday Oct. 17th and Oct. 24<sup>th</sup>. The event will run from 7:45 am to no later than 1:00 pm. Lunch will be provided. The trees are being planted to help create a riparian buffer along the stream within Fulmor Heights. Holes for the trees will be augered in advance so no real digging required! Bring gloves, mask, and water.