

UPPER MORELAND TOWNSHIP

Regular Meeting

September 14, 2020 at 7:00 p.m.

AGENDA ITEMS ARE SUBJECT TO CHANGE

INSTRUCTIONS TO JOIN:

Go to Zoom.us. Click “Join a Meeting” Webinar ID: 975 3201 0616 Password: 349167

Join by Phone: Dial 1-929-205-6099 Webinar ID: 975 3201 0616 Password: 349167

SUBMIT COMMENTS/QUESTIONS:

E-mail in advance or during the meeting to: comments@uppermoreland.org

Call in advance during normal business hours to 215-659-3100 x1058 or x1057

Residents requiring special accommodations, please call the Township during normal business hours

- I. Call Meeting to Order
- II. Moment of Silent Meditation/Pledge of Allegiance
- III. Roll Call

PUBLIC HEARING

PUBLIC HEARING #1955 – 7:00 P.M. – Ordinance #1711 – To receive public comments pursuant to the addition of a new Chapter 149 “Fireworks” to the Upper Moreland Township Code of Ordinances regulating fireworks use within the Township to protect persons and property; repealing all inconsistent ordinances, or parts thereof in conflict therewith; and providing for a severability clause and an effective date (attachment).

REGULAR MEETING

- IV. Presentations/Announcements:
 - A Healthcare Insurance Proposal presented by The Benecon Group, Inc.
- V. Public Comments – Non-Agenda Items Only
- VI. Treasurer’s Activity Report, Joseph J. Olszak, Treasurer – August 2020
- VII. Approval of Minutes – August 3, 2020 Regular Meeting (attachment)
- VIII. Committee Recommendations:
 - A. **Finance & Administrative Committee** – The Committee recommends the Board of Commissioners take action on the following:
 - 1. Appointments/Reappointments – None at this time.
 - 2. List of Bills Payable (attachment) – The Committee recommends the approval of:

General Funds Checks:	Beginning Check No.:	<u>128621</u>
	Ending Check No.:	<u>128899</u>

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Debt:	\$ 2,688.22 (Check No.128664, 128849)
Capital:	\$ -----
Less Aqua:	\$ (5,671.10)
Total:	\$ 1,324,847.73
Voids:	=====

Escrow Fund Checks:

Total:	\$ 0
Voids:	=====

Liquid Fuel Fund Checks:

Beginning Check No.: 2897
Ending Check No.: 2903

Total:	\$ 130,264.12
Voids:	=====

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Ending Check No.: 128628

Beginning Check No.: 128671

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Ending Check No.: 128856

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 - a. **Motion to Approve** the sale of surplus vehicles and equipment (attachment).

5. New Business

- B. **Community Development Committee – August 10, 2020** - The Committee recommends the Board of Commissioners take action on the following:

1. Code Enforcement
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D. Public Health & Safety Committee – The Committee recommends the Board of Commissioner take action on the following:

1. **Motion to Approve Ordinance #1711** – To add a new Chapter 149 “Fireworks” to the Upper Moreland Township Code of Ordinances regulating fireworks use within the Township to protect persons and property; repealing all inconsistent ordinances, or parts thereof in conflict therewith; and providing for a severability clause and an effective date (attachment).

IX. Commissioner Comments

X. Adjournment

**NOTICE
UPPER MORELAND TOWNSHIP**

NOTICE IS HEREBY GIVEN THAT THE UPPER MORELAND TOWNSHIP BOARD OF COMMISSIONERS AT ITS REGULAR MEETING SCHEDULED ON SEPTEMBER 14, 2020 AT 7:00 P.M. AT THE TOWNSHIP BUILDING LOCATED AT 117 PARK AVENUE, WILLOW GROVE, PA 19090, WILL CONSIDER THE FOLLOWING AMENDED ORDINANCE, THE TITLE AND SUMMARY OF WHICH APPEARS BELOW:

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING PART II: GENERAL LEGISLATION, TO ADD A NEW CHAPTER 149 "FIREWORKS" TO THE UPPER MORELAND TOWNSHIP CODE OF ORDINANCES REGULATING FIREWORKS USE WITHIN THE TOWNSHIP TO PROTECT PERSONS AND PROPERTY; REPEALING ALL INCONSISTENT ORDINANCES, OR PARTS THEREOF IN CONFLICT THEREWITH; AND PROVIDING FOR A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

The purpose of this amended ordinance is to create a new Chapter 149 of the Upper Moreland Township Code of Ordinances to regulate the sale, storage, use and exhibition of consumer and display fireworks; to establish a permit system for vendors and agriculture uses and to enact provisions to afford the Upper Moreland Township Police and Fire Department the ability to impose fines and issue citations for notices violations.

A COPY OF THE FULL TEXT OF THE PROPOSED ORDINANCE IS AVAILABLE FOR INSPECTION AND COPYING BY THE PUBLIC DURING REGULAR BUSINESS HOURS AT THE TOWNSHIP BUILDING LOCATED AT 117 PARK AVENUE, WILLOW GROVE, PA 19090, THE OFFICES OF THIS NEWSPAPER AND THE MONTGOMERY COUNTY LAW LIBRARY.

PERSONS WITH A DISABILITY WHO WISH TO ATTEND THE MEETING AND REQUIRE AN AUXILIARY AID, SERVICE OR OTHER ACCOMMODATION TO PARTICIPATE IN THE MEETING SHOULD CONTACT TOWNSHIP MANAGER MATTHEW H. CANDLAND AT (215) 659-3100.

**Alex J. Baumler
Upper Moreland Township
Solicitor**

2t Aug 31, S 7 7358481

**Run Date(s): 8/31, 9/7
Publication: INTELLIGENCER**

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 1711

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING PART II: GENERAL LEGISLATION, TO ADD A NEW CHAPTER 149 “FIREWORKS” TO THE UPPER MORELAND TOWNSHIP CODE OF ORDINANCES REGULATING FIREWORKS USE WITHIN THE TOWNSHIP TO PROTECT PERSONS AND PROPERTY; REPEALING ALL INCONSISTENT ORDINANCES, OR PARTS THEREOF IN CONFLICT THEREWITH; AND PROVIDING FOR A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (hereinafter “the Township”) is a Township of the First Class, organized and existing under the laws of the Commonwealth of Pennsylvania; and

WHEREAS, the Pennsylvania Fireworks Law, Act 43 of 2017, took effect on October 30, 2017 (the “Fireworks Law”); and

WHEREAS, the Board of Commissioners of Upper Moreland Township has determined that the use of consumer fireworks in an urban setting provides safety and health hazards if the terms of the Pennsylvania Fireworks Law are not specifically complied with.

NOW, THEREFORE, be it, and it is hereby **ORDAINED** by the Upper Moreland Township Board of Commissioners, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

SECTION 1: A new Chapter is hereby added to the Upper Moreland Township Code of Ordinances and shall be entitled, numbered and read as follows:

CHAPTER 149 – FIREWORKS

§ 149-1. AUTHORITY AND INTENT

This Chapter is adopted pursuant to the authority granted under Pennsylvania’s fireworks regulations and laws as adopted and codified by the Pennsylvania legislature at 72 P.S. § 9401-9416, and pursuant to the authority to regulate fireworks as set forth in the First Class Township Code at 53 P.S. § 56528. This Chapter is adopted with the intent to comply with such state fireworks laws, properly regulate fireworks use within the Township, and to protect the health, safety and welfare of Township citizens.

§ 149-2. DEFINITIONS

The following words and phrases when used in this Chapter shall have the meanings given to them in this section unless the context clearly indicates otherwise:

APA 87-1 – The American Pyrotechnics Association Standard 87-1: Standard for Construction and Approval for Transportation of Fireworks, Novelties, and Theatrical Pyrotechnics, 2001 edition, or any subsequent edition.

Consumer Fireworks: Any combustible or explosive composition or any substance or combination of substances intended to produce visible and/or audible effects by combustion and which is suitable for use by the public that complies with the construction, performance, composition and labeling requirements promulgated by the Consumer Products Safety Commission in 16 CFR (relating to consumer practices) or any successor regulation and which complies with the provisions for “Consumer Fireworks” as defined in the American Pyrotechnics Association (APA) Standard 87-1, including but not limited to Sections *3.1 and *3.5, or any successor standard. The term does not include devices such as “ground and handheld sparkling devices” as defined in APA Standard 87-1, Section *3.1.1, “novelties” as defined in APA Standard 87-1, Section *3.2, or “toy caps” as defined in APA Standard 87-1, Section *3.3.

Display Fireworks: Defined as more fully set forth in 27 CFR 555.11 (Meaning of terms), which is incorporated herein by reference which meet the types of display fireworks devices set forth in the APA Standard 87-1, Section *4.1 which comply with requirements for display fireworks set forth in APA Standard 87-1.

Fireworks: Any composition or device for the purpose of producing a visible or an audible effect for entertainment purposes by combustion, deflagration or detonation that meets the definition of 1.4 G fireworks or 1.3 G fireworks as set forth in the 2003 International Fire Code including, but not limited to, those compositions or devices as defined in APA Standard 87-1.

NFPA 1124: The National Fire Protection Association Standard 1124, *Code for the Manufacture, Transportation and storage of Fireworks and Pyrotechnic Articles*, 2006 edition, or any subsequent edition.

Novelties: Articles of trade having amusement value and whose appeal is often transitory, and which is limited to those items for sale described in American Pyrotechnics Association (APA) Standard 87-1, Section *3.2.

Occupied Structure: A structure, vehicle or place adapted for overnight accommodation of persons or for conducting business whether or not a person is actually present.

Temporary Structure: A structure, other than a permanent facility with fixed utility connections, which is in use or in place for a period of 20 consecutive calendar days or less and is dedicated to the storage and sale of Consumer Fireworks and related items. The term includes temporary retail sales stands, tents, canopies and membrane structures

meeting the specifications of NFPA 1124. The term shall not include a facility that is not licensed to sell Consumer Fireworks under this Chapter.

§ 149-3. USE SALE AND STORAGE OF CONSUMER FIREWORKS

- A. Conditions. A person who is at least 18 years of age and meets the requirements of this Chapter may purchase, possess and use Consumer Fireworks.

- B. Prohibitions. A person may not intentionally ignite or discharge:
 - 1. Consumer Fireworks on public or private property without the express permission of the owner.
 - 2. Consumer Fireworks or sparkling devices within, or throw Consumer Fireworks or sparkling devices from, a motor vehicle or building.
 - 3. Consumer Fireworks or sparkling devices into or at a motor vehicle or building or at another person.
 - 4. Consumer Fireworks or sparkling devices while the person is under the influence of alcohol, a controlled substance or another drug.
 - 5. Consumer Fireworks within 150 feet of any Occupied Structure.
 - 6. Consumer Fireworks within 100 feet of any combustible material.
 - 7. Consumer Fireworks such that the sparks or any portion of the fireworks will land upon the property of another without the owner's express permission.
 - 8. Consumer Fireworks two hours after dusk on the date the person intends to ignite the Consumer Fireworks, dusk being defined as the time as reported for Upper Moreland Township by the National Weather Service.

- C. It is hereby ordained and enacted that no permission is granted by the Township to any person to ignite or discharge consumer fireworks on the streets of the Township of Upper Moreland, the sidewalks of the Township of Upper Moreland or any property owned by the Township of Upper Moreland, including, without limitation, all of the Township's parks and public buildings unless otherwise authorized by a public vote of the Board of Commissioners.

- D. Sale and Storage of Consumer Fireworks: The sale and storage of Consumer Fireworks is licensed and regulated by the Pennsylvania Department of Agriculture. Any persons who intends to sell or store Consumer Fireworks within the Township shall provide proof of such licensure prior to such use being conducted within the Township, in addition to compliance with all other applicable Township ordinances, regulations or codes.

§ 149-4. CONSUMER FIREWORKS – TEMPORARY STRUCTURES

- A. Conditions. If a person is licensed by the Pennsylvania Department of Agriculture to store and sell Consumer Fireworks within a Temporary Structure as defined herein, such use shall be permitted within the Township provided all other applicable Township ordinances and regulations are met.
- B. The person authorized to store and sell Consumer Fireworks within such Temporary Structure shall comply with the regulations of the Pennsylvania Department of Agriculture and shall provide verification of such compliance prior to be permitted to conduct such use within the Township.

§ 149-5. DISPLAY FIREWORKS – PERMITS AND USE PROVISIONS

- A. No Display Fireworks shall be ignited within 300 feet of a facility selling or dispensing gasoline, propane, or other flammable products.
- B. Permits are required to be issued by the Township prior to the use of Display Fireworks. Application for permits shall be made in writing at least 30 days in advance of the planned date of the use of Display Fireworks together with the permit fee. Permit fees shall be as established by resolution of the Board of Commissioners.
- C. Permits for Display Fireworks may only be issued to persons age 21 or older.
- D. Each Display Firework shall be:
 - 1. Handled by a competent operator with the proper authorization to handle, operate or store Display Fireworks;
 - 2. Inspected by the Police Chief, Fire Chief, Fire Marshal or other appropriate officer, and after proper inspection, deemed to not be hazardous to property or endanger any person prior to the display occurring; and
 - 3. After permission is granted under this section, possession and use of Display Fireworks shall be lawful for that purpose only.
- E. License Requirements. Any business entity which performs, provides or supervises Display Fireworks for profit shall provide to the Township proof of registration with the Pennsylvania Attorney General as part of the permitting process.
- F. Display Fireworks may be possessed and used by a person (aged 21 or older) holding a permit from the Township at the display covered by the permit, or when used as authorized by a permit for any of the following additional activities:
 - 1. For agricultural purposes in connection with the raising of crops and the protection of crops from bird and animal damage.
 - 2. By railroads or other transportation agencies for signal purposes or illumination.

3. In quarrying or for blasting or other industrial use.
4. In the sale or use of blank cartridges for a public show or theater.
5. For signal or ceremonial purposes in athletics or sports.
6. By military organizations or organizations composed of veterans of the armed forces of the United States.

§ 149-6. DISPLAY FIREWORKS – BONDING AND EXTENTION REQUESTS

- A. Bond. The Township shall require a bond deemed adequate by the Board from the permittee in a sum not less than \$50,000 conditioned on the payment of all damages which may be caused to a person or property by reason of the Display Fireworks and arising from an act of the permittee or an agent, employee or subcontractor of the permittee. The bonding requirement may be deemed unnecessary or reduced by the Board of Commissioners for the additional activities listed under §10-804(6) above.
- B. Extension of Permit.
 1. Authorization. If, because of unfavorable weather, the Display Fireworks for which a permit has been granted does not occur at the time authorized by the permit, the person to whom the permit was issued may within 24 hours apply, in writing, for a request for extension to the Township. The requested continuance of the permit shall not be later than one week after the date originally designated in the permit.
 2. Conditions. The extension of time shall be granted without the payment of an additional fee and without requiring a bond other than the bond given for the original permit, the provisions of which shall extend to and cover all damages which may be caused by reason of the display occurring at the extended date and in the same manner and to the same extent as if the display had occurred at the date originally designated in the permit.

§ 149-7. PERMITS GRANTED FOR AGRICULTURAL PURPOSES

- A. Authorization. The Township may grant permits for the use of suitable fireworks for agricultural purposes in connection with the raising of crops and the protection of crops from bird and animal damage.
- B. Duration of permit. A permit under this section shall remain in effect for the calendar year in which it was issued.
- C. Conditions. After a permit under this section has been granted, sales, possession and use of fireworks of the type and for the purpose mentioned in the permit shall be lawful for that purpose only.

§ 149-8. AUTHORITY AND CONFISCATION OF MATERIALS

- A. Any Pennsylvania State Police officer or Township police officer shall take, remove or cause to be removed, at the expense of the owner, all stocks of Consumer Fireworks, Display Fireworks or combustibles offered or exposed for sale, stored or held in violation of this Chapter. The owner shall also be responsible for the storage and, if deemed necessary, the destruction of these fireworks.
- B. Any Pennsylvania State Police officer, Township police officer or Township Fire Chief is authorized to cease all fireworks activity when there is a determination that there is imminent or immediate danger to any person(s), property, buildings, structures or premises; and said police officer or Fire Chief may take any steps necessary, within the reasonable performance of their duties, to extinguish, mitigate and/or control any fireworks in order to preserve and protect the life, health, welfare or safety of any person(s) and to preserve and protect property, building structures or premises.

§ 149-9. PENALITIES

- 1. A person using Consumer Fireworks in violation of the provisions of this Chapter commits a summary offense and, upon conviction, shall be punished by a fine. Each section or provision of this Part that is violated shall constitute a separate offense, each of which shall be punishable by a separate fine imposed by the District Justice of not less than \$100 and not more than \$1,000.
- 2. A person selling Consumer Fireworks in violation of the provisions of this Chapter commits a misdemeanor of the second degree.
- 3. A person selling Display Fireworks in violation of the provisions of this act commits a felony of the third degree.
- 4. A person selling federally illegal explosives such as devices as described in 49 CFR 173.54 (relating to forbidden explosives) or those devices that have not been tested, approved and labeled by the United States Department of Transportation, including, but not limited to, those devices commonly referred to as "M-80," "M-100," "blockbuster," "cherry bomb" or "quarter or half stick" explosive devices, in violation of the provisions of this Chapter commits a felony of the third degree.
- 5. All prosecutions related to this Part shall be the responsibility of the Township Police or, if warranted, the Pennsylvania State Police.

SECTION 2: SEVERABILITY.

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, unenforceable or unconstitutional, the Upper Moreland Township Board of Commissioners hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, unenforceable, or unconstitutional portion, part or provision of this Ordinance.

SECTION 3: REPEALER.

Any and all other Ordinances or parts of Ordinances in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

SECTION 4: EFFECTIVE DATE.

This Ordinance shall be effective five (5) days after enactment.

ORDAINED AND ENACTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this _____ day of _____, 2020.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Matthew H. Candland, Secretary

Kevin Spearing, President

UPPER MORELAND TOWNSHIP

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TOWNSHIP of UPPER MORELAND

Montgomery County, Pennsylvania

117 Park Avenue, Willow Grove, PA 19090-3215

Telephone (215) 659-3100 / Fax (215) 659-7363



TREASURER'S ACTIVITY REPORT AUGUST 2020

GENERAL FUND:	EXPENDITURES	RECEIPTS	BALANCE
General Fund	\$ 2,233,858.90	\$ 898,944.35	\$5,072,034.19
Treasurer's Fund			\$100.00
Highway Fund			\$75.00
Secretary Fund			\$150.00
Finance Department			\$500.00
			<hr/>
			\$5,072,859.19
OTHER FUNDS:			
Escrow Fund	\$ -	\$ 500.00	\$604,112.01
Debt Fund	\$ 2,688.22	\$ 6,873.00	\$555,388.86
TD ACCOUNT:			
Cash Account		\$43.30	\$255,639.12
P.L.G.I.T. ACCOUNTS:			
U.M. Twp. General Fund	\$ -	\$ 726,056.72	\$6,267,925.83
Capital Reserve For Equip.	\$ -	\$ 2.96	\$154,485.67
Fire Truck Fund	\$ -	\$ 0.85	\$44,162.53
Liquid Fuels Fund	\$ 129,797.64	\$ 8.21	\$315,824.73
GO Note, Series of 2017	\$ -	\$ 41.39	\$381,540.74

NOTE: This monthly Treasurer's Report is a summary of receipts and expenditures only.

A complete Financial Statement is available for public review in the Township's Finance Office.



JOSEPH J. OLSZAK
TREASURER, TAX COLLECTOR

August 2020 -- Treasurer's Report

**Upper Moreland Township
Board of Commissioners - Regular Meeting
August 3, 2020 Meeting Minutes**

Board of Commissioners Members: Commissioner and President, Kevin C. Spearing; Commissioner and Vice President Charles M. Whiting; Commissioners R. Samuel Valenza, Joseph A. Lavalley, Kip McFatridge, Nicholas O. Scull and Cheryl Lockard

- I. **Call to Order:** The Regular Meeting of the Board of Commissioners of Upper Moreland Township was called to order via audio conference call by the President of the Board of Commissioners, Kevin C. Spearing at 7:00 p.m.
- II. **Moment of Silent Meditation/Pledge of Allegiance**
- III. **Roll Call:** Commissioner and Board President Spearing, Commissioner and Vice President Whiting; Commissioners Lavalley, Valenza and Lockard. Absent: Commissioners Scull and McFatridge. Also present: Matthew H. Candland, Township Manager, and Sean Kilkenny, Township Solicitor.
- IV. **Presentations/Announcements:**
 - A. Commissioner Spearing announced that Commissioner Scull will be late to join the meeting.
 - B. Commissioner Spearing announced that prior to tonight's meeting District Justice Paul Leo administered the ceremonial Oath of Office to Andrew J. Block, Chief of Police.
 - C. Commissioner Spearing announced that at the adjournment of tonight's meeting the Board of Commissioners will hold an Executive Session to discuss legal and personnel matters.

REGULAR MEETING

- V. **Public Comments** - Nothing to report.
- VI. **Treasurer's Activity Report – July 2020**
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 5-0 (five (5) approved: Commissioners Spearing, Lavalley, Whiting, Valenza, Lockard; two (2) absent: Commissioners Scull and McFatridge), the Treasurer's Activity Report as submitted.
- VII. **Approval of Minutes - July 6, 2020**
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 5-0 (five (5) approved: Commissioners Spearing, Lavalley, Whiting, Valenza, Lockard; two (2) absent: Commissioners Scull and McFatridge), the minutes as submitted.
- VIII. **Committee Recommendations:**
 - A. **Finance & Administrative Committee** – The Committee recommends the Board of Commissioners take action on the following:
 1. **Appointments/Reappointments:**
 - a. The reappointment of Lisa Marsteller on the Parks and Recreation Advisory Council as an At Large representative to serve a new two (2) year term that will expire on June 30, 2022.
 - b. The appointment of Michael Davido as a Voting Member on the Police Pension Fund Committee to fill the vacancy left by Mark Drakeley and complete the

remainder of the current term that will expire on April 7, 2021.

- c. The appointment of Craig Bald as an Alternate Member on the Police Pension Fund Committee to fill the vacancy left by Michael Davido and complete the remainder of the current term that will expire on April 7, 2021.
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 6-0, the above referenced reappointment and appointments.
2. **List of Bills Payable**
 - Commissioner Valenza reviewed the List of Bills Payable, made a motion, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 6-0, the List of Bills Payable, as submitted.
3. **Aqua General Funds Bills**
 - Commissioner Valenza motioned, seconded by Commissioner McFatrige and the Board of Commissioners approved by a vote of 5-0 (five (5) approved: Commissioners Scull, Lavalley, Whiting, Valenza, Lockard; one absent: Commissioner McFatrige; and one (1) abstention (abstention by Commissioner Spearing, Aqua employee), the Aqua General Fund Bills, as submitted.
4. **Other Items**
 - a. **Motion to Approve Resolution R-2020-28** – Condemning racism and discrimination in all forms in Upper Moreland Township.
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 6-0, Resolution R-2020-28.
 - Commissioner Lockard read her statement in support of Resolution R-2020-28.
 - Commissioner Spearing stated his support for Black Lives Matter.
 - Commissioner Whiting referred to Civil Rights Leader, John Lewis, Emmet Till, an African American from Chicago, and the recent tragedy of George Floyd, and stated that the nation has a responsibility to uphold the rights of all human beings in truth and justice.
 - Commissioner Spearing stated that the Township, Police Department and School Board look forward to working together with the Community.
 - b. **Motion to Approve Resolution R-2020-29** – The except properties from Montgomery County 2020 Tax Upset Sale.
 - Commissioner Lockard commented concerns with the sale of properties and evictions.
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 4-2 (four (4) aye Commissioners Lavalley, Lockard, Scull and Whiting; two (2) nay Commissioners Spearing and Valenza), Resolution R-2020-29.
 - c. **Motion to Approve** the submission of a “Proof of Claim” on behalf of the Township regarding the Opioid Litigation against the Purdue Pharma, L.P., et al.
 - Commissioner Valenza motioned, seconded by Commissioner Lockard and the Board of Commissioners approved by a vote of 6-0, the submission of a "Proof of Claim".
 - d. Commissioner Valenza stated that the August 17, 2020 Finance & Administrative Committee meeting is cancelled.
5. **New Business** - Nothing to report.

- B. **Community Development Committee** - The Committee recommends the Board of Commissioners take action on the following:
1. **Code Enforcement** - Nothing to report.
 2. **Land Development/Subdivision Applications**
 - a. **Motion to Approve** the \$19,500 cost design estimates and temporary construction easement and maintenance agreement for the Carson Simpson Farm Streambank Stabilization Project.
 - Dr. Lynnette Saunders, EAC Chair, inquired on the availability of the design. Commissioner Spearing replied that the EAC will be provided with an opportunity to review the concept plan and design.
 - Commissioner Lavelle motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 5-0 (five (5) approved: Commissioners Spearing, Lavelle, Whiting, Valenza, Lockard; two (2) absent: Commissioners Scull and McFatridge), the \$19,500 cost design estimates and temporary construction easement and maintenance agreement.
 - **List of Upcoming Zoning Hearing Board Applications** - Commissioner Lavelle read one application scheduled for the August 13, 2020 Zoning Hearing Board Meeting.
 3. **Other Items**

(Commissioner Scull joined the meeting)

 - a. **Motion to Approve Resolution R-2020-30** – Granting a seasonal drive-in movie theater with conditions, to New Century Associates Group, LP for the outdoor display of motion pictures at the property located at 2000 County Line Road.
 - Commissioner Lockard commented about cars running the entire length of the movie. A representative for New Century Associates replied that the majority of people turn their cars off and some keep them running, but there have been no complaints.
 - Commissioner Lavelle commented on movie ratings in item No. 11 and proposed adding language that prohibits showing movies with the ratings of NC-17 and X. New Century's representative explained ratings and stated that it is their intent to show movies that are family oriented or classics.
 - The Committee directed the Solicitor to amend item No. 11 to include language prohibiting movies with the ratings of NC-17 and X.
 - Commissioner Lavelle motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 6-0, Resolution R-2020-30.
 - b. **Motion to Approve Resolution R-2020-31** – Authorizing the submission of a grant application for the 2020 round of the County Transportation Program (CPT) for road improvements at Maryland/Commerce/Blair Mill Road.
 - Commissioner Lavelle motioned, seconded by Commissioner Spearing and the Board of Commissioners approved by a vote of 6-0, Resolution R-2020-31.
 - c. **Motion to Approve Resolution R-2020-32** – Granting the subdivision application for 4121 Blair Mill Road.
 - Commissioner Lavelle reviewed the waiver requests.
 - Commissioner Lavelle motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 6-0 on waivers 4(A), 4(B) and 4(E).

Upper Moreland Township
Board of Commissioners - Regular Meeting
August 3, 2020 Meeting Minutes

- Lynnette Saunders, Chair of the EAC, commented on pedestrian safety, that sidewalks could be installed away from the tree roots, and replacement trees could be planted.
 - Commissioner Lavalley motioned, seconded by Commissioner Valenza and the Board of Commissioners denied by a vote of 6-0, waiver request 4(C) to waive sidewalks along Blair Mill Road and Home Road.
 - Joanne Hartshorne, the applicant, inquired about a "fee-in-lieu-of" for sidewalks.
 - Commissioner Lavalley motioned, seconded by Commissioner Valenza and the Board of Commissioners denied by a vote of 6-0, request 4(D) to waive curbing along Blair Mill Road.
 - Commissioner Lavalley motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 6-0, Resolution R-2020-32.
 - d. **Motion to Approve** the Betz & Lukens Stormwater Improvements.
 - Commissioner Lavalley motioned, seconded by Commissioner Valenza and the Board of Commissioners approved by a vote of 6-0, the Betz & Lukens Stormwater Improvements.
 - e. **Motion to Approve** the distribution of the project drawings and specifications for public bid through the appropriate portal for interested contractors to access the design documents of PennDOT's approved 2018 ARLE Grant for Traffic Signal Upgrades on Blair Mill/Horsham Roads.
 - Commissioner Lavalley motioned, seconded by Commissioner Valenza and the Board of Commissioner approved by a vote of 6-0, the distribution of the project drawings and specifications for public bid.
- C. **Parks and Recreation Committee** – The Committee recommends the Board of Commissioners take action on the following:
1. **Motion to Approve** the request from Friends of Boileau for the Township's contribution of \$550.00, representing 50% of the cost to install an underground propane tank.
 - Commissioner Scull motioned to table, seconded by Commissioner Spearing and the Board of Commissioners approved by a vote of 6-0, to table the request from Friends of Boileau for the Township's contribution.
 2. **Motion to Approve** the request from Friends of Boileau for the waiver of permit fees for the installation of a new heating system.
 - Commissioner Scull motioned, seconded by Commissioner Spearing and the Board of Commissioners approved by a vote of 6-0, the waiver of permit fees.
 3. **Motion to Approve** Aqua's request for a Sample Station at Pileggi Park as part of a water quality sampling program.
 - Commissioner Lockard motioned to table, seconded by Commissioner Scull and the Board of Commissioners approved by a vote of 6-0, to table the request for a Sample Station at Pileggi Park.
 4. Commissioner Scull stated that the August 17, 2020 Parks and Recreation Committee Meeting is cancelled.
- D. **Public Health & Safety Committee** - The Committee recommends the Board of Commissioners take action on the following:
1. **Motion to Approve** the advertisement of a public meeting to be held on September 14, 2020 to receive public comments on the Township's Fireworks Ordinance.

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- Commissioner Whiting motioned, seconded by Commissioner Spearing and the Board of Commissioner approved by a vote of 6-0, the advertisement of a public meeting to be held on September 14, 2020.
- 2. Commissioner Whiting stated that the August 17, 2020 Public Health & Safety Committee Meeting is cancelled.

IX. Commissioner Comments:

- Commissioner Whiting reminded everyone to wear masks.
- Commissioner Spearing stated that he attended the Korean War Memorial ceremony.
- Mr. Kilkenny thanked Commissioner Lavallo for his participation in the ceremony at the Korean War Memorial in honor of all who served.

X. Visitor Comments - nothing to report.

XI. Adjournment: There being no further business to discuss, the meeting was adjourned at 9:00 p.m.

Respectfully submitted by Kathleen Kristire.

REGULAR MEETING MONDAY EVENING FOR UPPER MORELAND TOWNSHIP

09/14/20

BILLS PAID TO BE APPROVED

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
<p>08/01/20-08/31/20 ***** VOIDED CHECK *****</p>						
01*128622	STEVE LIEBERS	2020 BOOT ALLOWANCE	200.00	01-430-195-	200.00	200.00
01*128623	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC: 117 PARK AVENUE 06/0	466.48	01-430-373-	466.48	466.48
01*128624	AHOLD FINANCIAL SERVICES	POPSICLES AND STICKY BUNS	41.94	01-452-247-	41.94	41.94
01*128625	AQUA PA	WATER: 4355 DAVISVILLE RD 06/1	94.84	01-411-360-	94.84	94.84
01*128626	AQUA PA	WATER: 229 DAVISVILLE RD 06/15	86.87	01-411-360-	86.87	86.87
01*128627	AQUA PA	WATER: 4355 DAVISVILLE RD 06/1	114.38	01-411-360-	114.38	114.38
01*128628	AQUA PA	WATER: 229 DAVISVILLE 06/15-07	94.84	01-411-360-	94.84	94.84
01*128629	AQUASCAPES UNLIMITED	POND SERVICE 7/29/20	334.13	01-454-450-	334.13	334.13
01*128630	ASAP MAILING	POSTAGE / MAILING FEES FOR FAL	2,965.81	01-401-240-	2,965.81	2,965.81
01*128631	BELMONT AND CRYSTAL SPRINGS	WATER ACCT# 19208763	215.35	01-410-200-	215.35	215.35
01*128632	BKH ELECTRICAL INC	PO# 37949 REPLACE OLD LIGHTING REPAIRS NEED AT 10B FIRESTATIO	3,000.00	01-411-373-	3,000.00	4,191.00
01*128633	COLORADO DRONE CHARGERS LLC	Mavic 2 PRCS State Grant	999.00	01-415-740-	999.00	999.00
01*128634	COMMONWEALTH OF PA	PESTICIDE LICENSE MURPHY	10.00	01-454-200-	10.00	10.00
01*128635	DELAWARE VALLEY PROPERTY	CK#29008075-SUBROGATION RECOVE	1,434.41	01-430-330-	1,434.41	1,434.41
01*128636	DELTA DENTAL OF PENNSYLVANIA	DENTAL 08/01-08/31/20	8,100.00	01-486-156-	8,100.00	8,100.00
01*128637	DISTRICT COURT 38-1-14	CIVIL FILING S. URENA	184.85	01-413-240-	184.85	184.85
01*128638	DOUGHERTY LANDSCAPING INC.	LIEN: 126 EASTON ROAD	450.00	01-413-450-	450.00	450.00
01*128639	GEORGE ALLEN PORTABLE	LINDEN AVE RESTROOM 07/17-08/1	70.00	01-454-450-	70.00	70.00
01*128640	GLICK FIRE EQUIPMENT CO., INC.	CAT 6 PUMP SERVICE	225.00	01-411-372-	225.00	1,734.35
		TRUCK REPAIR	534.35	01-411-372-	534.35	
		CAT 6 PUMP SERVICE	225.00	01-411-372-	225.00	
		LABOR FIELD WORK CAT 6 PUMP SE	225.00	01-411-372-	225.00	
		CAT 9 GENERATOR SERVICE	175.00	01-411-372-	175.00	
		CAT 9 GENERATORE SERVICE	175.00	01-411-372-	175.00	
		CAT 9 GENERATOR SERVICE	175.00	01-411-372-	175.00	
01*128641	GOOSE SQUAD	GOOSE CONTROL AND REMOVAL FOR	1,050.00	01-454-450-	1,050.00	1,050.00
01*128642	INNA DOLINSKAYA	REFUND FOR PAVILION 2	90.00	01-367-000-	90.00	90.00
01*128643	KEYSTONE HEALTH PLAN EAST	KEYSTONE AUGUST 2020	231,787.22	01-486-156-	231,787.22	231,787.22
01*128644	LogMeIn, Inc.	06/07/20-06/06/21 SUBSCRIPTION	1,039.20	01-401-320-	1,039.20	1,039.20
01*128645	MAC MEDICAL GASES, INC.	PROPANE	24.00	01-430-330-	24.00	24.00
01*128646	MC CLOSKEY & FABER P.C.	ENGINEERING SERVICES: 551 N YO	1,743.55	01-430-313-	280.00	13,003.80
		ENGINEERING SERVICES: 3855 BLA		01-430-313-	461.90	
		ENGINEERING SERVICES: 2405 MAR		01-430-313-	748.65	
		ENGINEERING SERVICES: TOWNSHIP		01-430-313-	253.00	
		ENGINEERING SERVICES: FAIR OAK	3,847.27	01-430-313-	3,847.27	
		ENGINEERING SERVICES: FAIR OAK	5,107.84	01-430-313-	5,107.84	
		ENGINEERING SERVICES: PA TURNP	2,305.14	01-430-313-	140.00	
		ENGINEERING SERVICES: 2405 MAR		01-430-313-	199.00	
		ENGINEERING SERVICES: 2321 BLA		01-430-313-	247.60	
		ENGINEERING SERVICES: 551 N YO		01-430-313-	405.00	
		ENGINEERING SERVICES: 1845 BYB		01-430-313-	444.04	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*128647	MC MAHON ASSOCIATES, INC.	ENGINEERING SERVICES: TOWNSHIP		01-430-313-	869.50	
		ENGINEERING SERVICES: BLAIR MI	275.00	01-430-313-	275.00	13,115.63
		ENGINEERING SERVICES: DAVISVIL	1,063.75	01-430-313-	1,063.75	
		ENGINEERING SERVICES: YMCA	6,293.13	01-430-313-	6,293.13	
		ENGINEERING SERVICES: GENERAL	1,050.00	01-430-313-	1,050.00	
		ENGINEERING SERVICES: DAVISVIL	288.75	01-430-313-	288.75	
		ENGINEERING SERVICES: MARYLAND	4,145.00	01-430-313-	4,145.00	
01*128648	MCDONALD UNIFORMS	UNIFORM EXPENSES SHIRTS	112.97	01-415-238-	112.97	372.92
		UNIFORM EXPENSES LONG SLEEVE S	52.99	01-415-238-	52.99	
		UNIFORM EXPENSES LONG SLEEVE S	52.99	01-415-238-	52.99	
		UNIFORM EXPENSES LONG SLEEVE S	153.97	01-415-238-	153.97	
01*128649	MONICA DEMURO	REFUND FOR DRAMARAMA CANCELLAT	120.00	01-367-000-	120.00	120.00
01*128650	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC AND GAS 227 DAVISVILL	1,001.02	01-411-360-	1,001.02	1,001.02
01*128651	RUSS WHELAN DOORS &	REPAIR FRONT DOOR	1,717.84	01-411-372-	1,717.84	1,717.84
01*128652	SIRCHIE FINGER PRINT LAB.	MANDELIN REAGENT AMPHET AMINES	41.90	01-410-200-	41.90	41.90
01*128653	STANDARD INSURANCE COMPANY	LIFE INSURANCE	6,577.36	01-486-156-	6,577.36	6,577.36
01*128654	STAR LAWN MOWER INC.	CABLE TWIST, DECK DRIVE BELT	223.69	01-454-374-	223.69	223.69
01*128655	SUAS LLC	3 axis gimbal for drone Stat	1,432.56	01-415-740-	1,432.56	1,432.56
01*128656	SYNATEK	RANGER PRO 627 FITZWATERTOWN R	277.52	01-454-374-	277.52	277.52
01*128657	TIMONEY KNOX, LLP	LEGAL SERVICES: GENERAL	855.50	01-402-314-	855.50	971.50
		LEGAL SERVICES: REGENCY TOWERS	116.00	01-402-314-	116.00	
01*128658	TRESSA McCALLISTER	PAYMENT FOR DRAMARAMA DIRECTIO	1,904.00	01-452-450-	1,904.00	1,904.00
01*128659	UMHJSA	627 B FITZ SEWER AUTHORITY AUG	45.85	01-454-360-	45.85	137.55
		4255 SHOEMAKER SEWER AUTHORITY	45.85	01-454-360-	45.85	
		4355 DAVISVILLE RD SEWER AUTHO	45.85	01-411-360-	45.85	
01*128660	WILLOW GROVE FIRE COMPANY	PHONE BILL - FIRE	319.17	01-411-327-	280.40	319.17
		INK FOR PRINTER - FIRE		01-411-210-	38.77	
01*128661	WILLOW TREE SERVICE	PO# 37847 REMOVAL OF ASH RREES	1,475.00	01-454-450-	1,475.00	1,475.00
01*128662	WITMER PUBLIC SAFETY GROUP	STREAM LIGHT SURVIVOR LED	131.00	01-411-250-	131.00	457.00
		ALL AMERICAN HOSE	326.00	01-411-250-	326.00	
01*128663	WORKPLACE CENTRAL	COVID RELATED HAND SANITIZER	299.96	01-454-200-	299.96	357.03
		SANITIZER GEL, SUPR GLUE	13.17	01-410-200-	13.17	
		D.DOYLE FOLDERS	43.90	01-401-200-	43.90	
01*128665	IMX TAX ID#61-1937314	CLAIMANT : DAVID BURNS	2,070.00	01-430-240-	2,070.00	2,070.00
01*128666	KATIE KOLLAR	REIMB. FOR SUP SUPPLIES	130.29	01-452-247-	130.29	326.94
		MILEAGE REIMBURSEMENT FOR JUNE	196.65	01-452-240-	196.65	
01*128667	MAUREEN CLARKE	PAYMENT FOR HOT ROCKS PAINTING	600.00	01-452-450-	600.00	600.00
01*128668	403 WEINSTEIN SUPPLY	FLUSH VALVE REPAIR KIT	28.22	01-409-373-	28.22	28.22
01*128669	AHOLD FINANCIAL SERVICES	AHOLD SB CLEANER	16.57	01-452-247-	16.57	16.57
01*128670	AIRGAS	TIP ICE	149.45	01-430-330-	149.45	149.45
01*128671	AQUA PA	WATER: 1 BROOK ST 06/15-07/16/	1.50	01-409-360-	1.50	1.50
01*128672	ARDMORE TIRE, INC.	PARK AND REC TIRE	140.00	01-430-330-	140.00	465.18
		#3534	325.18	01-430-330-	325.18	
01*128673	ASPHALT CARE EQUIPMENT & SUPPLIES	POUR POT AND LUTE COMPLET RED	190.96	01-430-200-	190.96	190.96
01*128674	AVM SERVICES	COFFEE	202.13	01-401-240-	202.13	202.13
01*128675	B & H PHOTO	PO#37950	4,917.45	01-415-740-	4,917.45	10,696.44
		APPLE I PAD DJI MAVIC	3,003.00	01-415-740-	3,003.00	
		DJI MAVIC 2 ENTERPRISE	189.00	01-415-740-	189.00	
		DJI MAVIC 2 ENTERPRISE	189.00	01-415-740-	189.00	
		SAMSUNG 10.5	399.99	01-415-740-	399.99	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
01*128676	BERGEY'S INC.	DJI MAVIC #221 STRUT	1,998.00	01-415-740-	1,998.00	
01*128677	BILLOWS ELECTRIC SUPPLY INC.	PUSH CONN	126.08	01-430-330-	126.08	126.08
01*128678	BUCKS COUNTY	PO# 37985 #232	29.31	01-430-373-	29.31	29.31
		#232 HOSE FLEX	3,132.09	01-430-330-	3,132.09	18,364.17
		#445 BELT RETR	60.25	01-430-330-	60.25	
		REPAIR OF TRUCK #437	225.26	01-430-330-	225.26	
		REPAIR OF TRUCK #437	13,126.37	01-430-330-	13,126.37	
01*128679	CAMPBELL DURRANT BEATTY	LEGAL SERVICES: LABOR MATTERS	1,820.20	01-430-330-	1,820.20	
01*128680	CDW GOVERNMENT, INC.	DELL 24IN MONITOR	13,622.61	01-402-314-	13,622.61	13,622.61
		PO# 37993 LOGITECH PTZ PANDEMI	205.40	01-401-320-	205.40	997.39
		PO# 37977 LICENSE # 3504	791.99	01-401-320-	791.99	
01*128681	CHAPMAN FORD OF HORSHAM	TRAFFIC LIGHT MAINT.	2,713.39	01-430-330-	2,713.39	2,713.39
01*128682	CHARLES A. HIGGINS & SONS INC.	TOWNSHIP AUDITOR YEAR ENDED 12	210.00	01-430-373-	210.00	210.00
01*128683	CLIFTON LARSON ALLEN LLP	TOWNSHIP AUDITOR W.G. FIRE COM	11,433.45	01-402-100-	11,433.45	14,373.45
		FUEL HOSE	2,940.00	01-402-100-	2,940.00	
01*128684	COLLIFLOWER INC.	INTERNET 227 DAVISVILLE RD 07/	1.43	01-430-330-	1.43	1.43
01*128685	COMCAST CABLE	INTERNET: PILEGGI PARK 07/29-0	119.46	01-411-327-	119.46	862.98
		INTERNET BOILEAU PARK 08/03-09	139.46	01-401-320-	139.46	
		INTERNET 117 PARK AVE 08/09-09	348.92	01-401-320-	348.92	
		INTERNET 117 PARK AVE 08/09-09	198.35	01-401-320-	198.35	
		CALTREND NEO SUPREME SUBURBAN	56.79	01-401-320-	56.79	
01*128686	COTTMAN TRUCK & VAN OUTFITTERS	WASTE 07/16-07/23/20	260.00	01-411-372-	260.00	260.00
01*128687	COVANTA ENERGY, LLC	WASTE 07/24-07/31/20	9,953.30	01-427-365-	9,953.30	19,803.85
		2ND QUARTER PHONE ALLOWANCE	9,850.55	01-427-365-	9,850.55	
01*128688	DAVID CHUBB	FILING FEE UMT VS WIRELESS COM	105.00	01-401-320-	105.00	105.00
01*128689	DISTRICT COURT 38-2-08	UMT VS KENDALL S. ZYLSTRA FILI	145.85	01-413-240-	145.85	145.85
01*128690	DISTRICT COURT 38-2-08	UMT VS 529 STEWART LLC FILING	184.85	01-413-240-	184.85	184.85
01*128691	DISTRICT COURT 38-2-08	UMT VS HIME INVESTMENT PROPERT	120.85	01-413-240-	120.85	120.85
01*128692	DISTRICT COURT 38-2-08	UMT VS. HOME CARE OPTIONS INC.	120.85	01-413-240-	120.85	120.85
01*128693	DISTRICT COURT 38-2-08	# 10-22428 EASTERN AUTO	127.35	01-413-240-	127.35	127.35
01*128694	EASTERN AUTOPARTS WAREHOUSE	REPAIR NO COLD AIR 117 PARK AV	1,171.63	01-430-330-	1,171.63	1,171.63
01*128695	ELLIOTT LEWIS CORPORATION	NO AC UNIT BOTH UNITS SERVE TH	2,213.58	01-409-373-	2,213.58	3,029.58
		AC 12 NOT COOLING 117 PARK AVE	408.00	01-409-373-	408.00	
		#3513	408.00	01-409-373-	408.00	
		#3506 SOCKET ASY	43.04	01-430-330-	43.04	63.26
01*128697	GRAINGER	PLEATED AIR FILTER	20.22	01-430-330-	20.22	
01*128698	GRANTURK EQUIPMENT CO., INC.	LIFT PIN PLATE LH CHANNEL	71.88	01-409-373-	71.88	71.88
		CONNECTOR AND HPR DOOR SCREEN	463.75	01-430-330-	463.75	977.51
		EARNED INCOME TAX COLLECTOR 07	513.76	01-430-330-	513.76	
01*128699	H.A. BERKHEIMER, INC.	JPL VISION WEBCAM	1,905.36	01-402-312-	1,905.36	1,905.36
01*128700	HELLO DIRECT, INC.	IRON MOUNTAIN STORAGE JULY 2020	315.94	01-401-320-	315.94	315.94
01*128701	IRON MOUNTAIN	07/31/20 DISPOSAL	554.75	01-401-320-	554.75	554.75
01*128702	J.P. MASCARO & SONS	2ND QUARTER ALLOWANCE	14,769.84	01-427-384-	14,769.84	14,769.84
01*128703	JOE RIELLY	FIRE GEAR REPAIR	105.00	01-401-320-	105.00	105.00
01*128704	JOHN FUGELO	LEGAL SERVICES GENERAL	14.00	01-415-238-	14.00	14.00
01*128705	KILKENNY LAW	LEGAL SERVICES: PHILADEPHIA FR	8,472.00	01-402-314-	8,472.00	15,366.00
		LEGAL SERVICES: LIENS	45.00	01-402-314-	45.00	
		TAX ASSESSMENT APPEALS	375.00	01-402-314-	375.00	
		LEGAL SERVICES: BPT	90.00	01-402-314-	90.00	
			2,499.00	01-402-314-	2,499.00	

CHECK NUMBER	PAYEE	DESCRIPTION	INV AMOUNT	ACCOUNT NUMBER	AMOUNT	CHECK AMOUNT
		LEGAL SERVICES: ABINGTON HOSPI	975.00	01-402-314-	975.00	
		LEGAL SERVICES: DAVISVILLE/BYB	420.00	01-402-314-	420.00	
		LEGAL SERVICES: CORANA VIRUS	2,265.00	01-402-314-	2,265.00	
		LEGAL SERVICES: 2255 COMPUTER	225.00	01-402-314-	225.00	
01*128706	KIMBALL MIDWEST	DRILL BIT	15.78	01-430-330-	15.78	15.78
01*128707	LEXISNEXIS	07/01/20-07/31/20	150.00	01-401-240-	150.00	150.00
01*128708	MAC MEDICAL GASES, INC.	PROPANE	24.00	01-430-330-	24.00	24.00
01*128709	MEGAN DeLAURENTIS	CELL ALLOWANCE	105.00	01-401-320-	105.00	105.00
01*128710	MICHAEL REWALD	2020 BOOT ALLOWANCE	200.00	01-430-373-	200.00	200.00
01*128711	MR. & MRS. CHRIS CARSON	PERMIT REFUND	20.00	01-364-300-	20.00	20.00
01*128712	PARTY FAIR	PARTY FAIR RING POPS, CANDY	89.89	01-452-247-	89.89	89.89
01*128713	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC & GAS 1 BROOK ST 06/1	905.72	01-409-360-	905.72	905.72
01*128714	PENDERGAST SAFETY	SAFETY EQUIPMENTGLOVES, RAIN J	71.89	01-427-192-	71.89	71.89
01*128715	PERSONAL PROTECTION	CLARENCE E. DICKERSON PATH AND	55.00	01-410-240-	55.00	110.00
		CLARENCE E. DICKERSON PATH AND	55.00	01-410-240-	55.00	
01*128716	PETROLEUM TRADERS CORPORATION	GASOLINE 1708	2,724.99	01-430-330-	2,724.99	6,867.13
		GASOLINE 1786.40	2,570.81	01-430-330-	2,570.81	
		GASOLINE 1074.10	1,571.33	01-430-330-	1,571.33	
01*128717	RICOH USA, INC.	COPY COUNT BLACK AND WHITE	618.82	01-401-374-	618.82	618.82
01*128718	STEPHEN R. GROSS	PERMIT REFUND	25.00	01-364-300-	25.00	25.00
01*128719	STRATEGICLINK CONSULTING, INC	TOTAL SUPPORT PROGRAM	1,920.00	01-401-374-	1,920.00	1,920.00
01*128720	T.W. REISS, INC.	PARK AND REC MOWERS	135.88	01-430-330-	135.88	329.90
		PARK AND REC MOWERS	194.02	01-430-330-	194.02	
01*128721	TRI-STATE ELEVATOR CO., INC.	REPAIR 7/31/20	711.10	01-409-373-	711.10	711.10
01*128722	TRUCK PRO	#467 BRK ASSY	201.11	01-430-330-	201.11	616.11
		#469 CLUTCH	442.18	01-430-330-	442.18	
		CREDIT FOR INV #194-0061968	-27.18	01-430-330-	-27.18	
01*128723	UMHJSA	ACCT# 7014 117 PARK AVE	396.42	01-409-360-	396.42	546.84
		227-229 DAVISVILLE RD	68.87	01-411-360-	68.87	
		ACCT#7029 117 A PARK AVE	81.55	01-409-360-	81.55	
01*128724	UNIFIRST CORPORATION	UNIFORM MAINTENANCE 7/27/20	398.38	01-430-191-	199.19	847.12
		UNIFORM MAINTENANCE 7/27/20		01-427-191-	199.19	
		UNIFORM MAINTENANCE 08/03/20	448.74	01-427-191-	224.37	
		UNIFORM MAINTENANCE 8/3/20		01-430-191-	224.37	
01*128725	VERIZON	2151991392	3,581.74	01-401-320-	3,581.74	3,884.16
		215-659-5231	40.34	01-401-320-	40.34	
		2156595450	102.43	01-401-320-	102.43	
		ACCT# 450724784	82.37	01-401-320-	82.37	
		2156742639	77.28	01-401-320-	77.28	
01*128726	WORKPLACE CENTRAL	KATHLEEN: FOLDER MLA AND POST	22.96	01-401-200-	22.96	139.48
		VICKY: ENVELOPE	13.28	01-401-200-	13.28	
		VICKY: ENVELOPES	13.28	01-401-200-	13.28	
		GEORGE: TOILET TISSUE	89.96	01-409-200-	89.96	
01*128727	ALISAH MANGIN	PARTIAL REFUND SUPERVISED PLAY	90.00	01-367-100-	90.00	90.00
01*128728	ALISON CROOK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00	90.00
		**** VOIDED CHECK ****				
01*128730	AMY PEIFFER	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00	90.00
01*128731	ANDREA LEMEK	PARTIAL REFUND FOR SUPERVISED	270.00	01-367-100-	270.00	270.00
01*128732	ANDREA MRUK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00	90.00
01*128733	ANGELA ENNIS	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00	180.00
01*128734	ANITA THOMPSON	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00	90.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV		CHECK AMOUNT
			AMOUNT	ACCOUNT NUMBER	
01*128735	ANNMARIE MANGIN	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128736	APEX ELEVATOR INSPECTING	SEMI ANNUAL ELEVATOR INSPECTIO	60.00	01-409-450-	60.00
01*128737	BOB ROSSER	CERT TEST	219.00	01-413-240-	219.00
01*128738	BRIEGE HARTMAN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128739	BUXMONT CHIROPRACTIC PC	REFUND	192.36	01-310-800-	192.36
01*128740	CAITLIN RUSH	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128741	CALVARY CHAPEL OF PHILADELPHIA	REFUND FOR PAVILION	320.00	01-367-000-	320.00
01*128742	CARINA OLIVIERI	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128743	CAROLYN DOMINICA	REFUND	98.00	01-310-800-	98.00
01*128744	CHRIS EJDAHARIAN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128745	CHRIS STRANGE	2 LIC RENEWAL C. STRANGE	173.63	01-411-460-	173.63
01*128746	CLEAN NET USA	JANIRORIAL SERVICES FOR AUGUST	2,075.00	01-409-450-	2,075.00
01*128747	COLETTE SALFI	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128748	COMCAST CABLE	COMCAST: 1 BROOK ST 08/11-09/1	180.78	01-401-320-	180.78
		COMCAST: 117 PARK AVE 08/11-09	133.35	01-401-320-	133.35
		COMCAST: FIRE CABLE 08/18-09/1	329.27	01-401-320-	329.27
		COMCAST: BUEHLER PARK 08/17-09	139.46	01-401-320-	139.46
		COMCAST: 220 MINERAL AVE 08/15	139.46	01-401-320-	139.46
01*128749	CONTRACT CLEANERS SUPPLY INC.	WHITE C FOLD TOWEL	171.89	01-409-200-	171.89
01*128750	COURTNEY PETRUNIS	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128751	CYNTHIA GARDO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128752	DAVID ELMALIAH	PARTIAL REFUND FOR SUPERVISED	270.00	01-367-100-	270.00
01*128753	DAWN HORNE	PARTIAL REFUND FOR SUPERVISED	270.00	01-367-100-	270.00
01*128754	DELAWARE VALLEY PROPERTY	PROP / LIAB INSURANCE PREMIUM	62,802.00	01-486-352-	62,802.00
01*128755	DELAWARE VALLEY WORKERS'	WORKERS COMPENSATION	139,835.00	01-486-354-	139,835.00
01*128756	DIANA LINEBACK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128757	DYNATECH MACHINE TOOL SALES INC	REFUND	269.91	01-310-800-	269.91
01*128758	ELLIOTT LEWIS CORPORATION	PERFORM LEAK CHECK ON UNIT #12	1,177.25	01-409-373-	1,177.25
		UNIT #10 HAS NO AIR CONDITIONI	684.06	01-409-373-	684.06
01*128759	ETTORE SACCO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128760	FEDEX	FED EX SHIPMENT POLICE	102.94	01-410-239-	102.94
01*128761	FSSOLUTIONS	BREATH ALCHOL TEST	141.50	01-486-156-	141.50
01*128762	GEORGE ALLEN PORTABLE	RESTROOM RENTAL 3500 MASON 7/2	140.00	01-454-450-	140.00
		RESTROOM RENTAL 8/14-08/24/20	95.00	01-454-450-	95.00
01*128763	GLICK FIRE EQUIPMENT CO., INC.	LABOR FIELD WORK FIREDEPT.	79.87	01-411-372-	79.87
01*128764	GRAINGER	US FLAG	26.84	01-409-200-	26.84
		RESET VALVE ACORN	333.47	01-409-373-	333.47
01*128765	HEATHER BROWN	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128766	HEATHER KENNEDY	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128767	HEATHER SIPLER	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128768	JANET WITTICK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128769	JASON CAPOBIANCHI	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128770	JENNIFER WARD	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128771	JENNIFER WEBB	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128772	JERC PARNTERS XXXIX LLC	RE TAX REFUNDS JERC PARTNERS	1,087.10	01-401-460-	1,087.10
		RE TAX REFUNDS JERC PARTNERS	482.28	01-401-460-	482.28
		RE TAX REFUNDS JERC PARTNERS	719.77	01-401-460-	719.77
01*128773	JILL CUMMINS	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128774	JODIE SHEAFFER	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128775	JOE RIELLY	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00

CHECK NUMBER	PAYEE	DESCRIPTION	INV		CHECK AMOUNT
			AMOUNT	ACCOUNT NUMBER	
01*128776	JOHNATHAN BARNETT	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128777	JOSEPH LOCASTO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128778	JUSTIN NIXON	REFUND FOR BASKETBALL CAMP	100.00	01-367-000-	100.00
01*128779	KEITH HOITELA	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128780	KELLIE TAYLOR	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128781	KELLY CAMPBELL	PARTIAL REFUND FOR SUPERVISED	270.00	01-367-100-	270.00
01*128782	KENON LEE	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128783	KIM KRAVITSKY	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128784	KRISTA VON SEHT	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128785	KRISTIN ROGERS	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128786	LAURA HATSIS	REFUND	90.00	01-367-100-	90.00
01*128787	LAUREN DOWLING	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128788	LAYAL CRUZ	2020 BOOT ALLOWANCE	207.96	01-410-238-	207.96
01*128789	LOWES BUSINESS ACCOUNT/GEFCF	LOWES ACCT# 82130399021226	14.71	01-409-373-	14.71
01*128790	LYNN ARROYO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128791	MARIA KETT	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128792	MARILE DAVIS	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128793	MARY BLANK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128794	MATILDA GREEN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128795	MCDONALD UNIFORMS	UNIFORMS PD CHIEF CAP BLACK	113.02	01-410-238-	113.02
01*128796	MCI COMM SERVICE	MCI ACCT#2P870692	37.57	01-401-320-	37.57
01*128797	MEGAN SKINNER	PARTIAL REFUND FOR SUPERVISED	270.00	01-367-100-	270.00
01*128798	MELISSA OSBORNE	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128799	MELISSA PETTIT	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128800	MERCEDES SANCHEZ	REFUND FOR PAVILION	60.00	01-367-000-	60.00
01*128801	MICHELLE PIPER	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128802	MICHELLE PRESSLEY	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128803	MICHELLE TESCHNER	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128804	MIRANDA CRESCENZO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128805	NICOLE MACQUEEN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128806	NICOLE SERFASS	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128807	NYDIA MORAVEC	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128808	PA TURNPIKE	TOLL BY PLATE PA-MG2818L	45.30	01-410-240-	45.30
01*128809	PACIFIC TELEMAGEMENT SERVICES	PAY PHONE POLICE	89.06	01-401-320-	89.06
01*128810	PAMELA SCIMECCA	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128811	PARTY FAIR	BLOW POP SUPER	30.50	01-452-247-	30.50
01*128812	PATTY BODAMER	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128813	PECO ENERGY - PAYMENT PROCESSING	ELECTRIC: TRAFFIC LIGHT 07/02-	466.48	01-430-373-	466.48
01*128814	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC: 4255 SHOEMAKER ROAD	214.35	01-454-360-	214.35
		ELECTRIC: DIVISION AVE & FORRE	14.48	01-454-360-	14.48
		ELECTRIC: MASON MILL 07/08-08/	144.25	01-454-360-	144.25
		ELECTRIC: 220 MINERAL AVE 07/0	37.64	01-454-360-	37.64
		ELECTRIC: 07/09-08/07/20	61.44	01-454-360-	61.44
		ELECTRIC: 2668 BYBERRY ROAD 07	21.61	01-454-360-	21.61
		ELECTRIC: 627 FITZWATERTOWN 07	191.26	01-454-360-	191.26
		ELECTRIC: 3500 MASONS MILL 07/	8.39	01-454-360-	8.39
		ELECTRIC: WAR MEMORIAL 07/09-0	26.28	01-454-360-	26.28
		ELECTRIC: STORAGE BLDG. 07/01-	30.85	01-409-360-	30.85
01*128815	PECO ENERGY-PAYMENT PROCESSING	GAS: 117 PARK AVE 07/10-08/10/	78.99	01-409-360-	78.99
01*128816	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC: LIBRARY 07/10-08/10/	1,904.64	01-409-360-	1,904.64

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			AMOUNT	ACCOUNT NUMBER	
01*128817	PECO ENERGY-PAYMENT PROCESSING	ELECTRIC: 117 PARK AVE 07/10-0	3,274.88	01-409-360-	3,274.88
01*128818	PEREGRINE ASSOCIATES	500 BUSINESS CARDS MATT	68.00	01-410-340-	68.00
01*128819	PETER O'HALLORAN	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128820	PETROLEUM TRADERS CORPORATION	GASOLINE QTY.1900.00	2,760.31	01-430-330-	2,760.31
01*128821	PIAZZA FAMILY TRUST	RE TAX REFUNDS	4,817.12	01-401-460-	4,817.12
01*128822	RAMONA SWABY	REFUND FOR BASKETBALL CAMP LUC	310.00	01-367-000-	310.00
01*128823	REGINA PAGANO	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128824	REIMULD GEORGE A. & SHAW BRITTANY	RE TAX REFUNDS	325.65	01-401-460-	325.65
01*128825	RUSHLAND AND LIMITED PARTNERSHIP	REFUND	1,379.97	01-310-800-	1,379.97
01*128826	SARAH MCCAFFERTY	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128827	SCOTT S METHENY	MEMBERSHIP IN PA CRIME PREVENT	25.00	01-410-240-	25.00
01*128828	SEAN O'BRIEN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128829	SETH FLUDER	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128830	SHANNON BRYAN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128831	SHANNON O'SULLIVAN	PARTIAL REFUND FOR SUPERVISED	180.00	01-367-100-	180.00
01*128832	STANLEY W. COOPER	TOILET WILL NOT FLUSH IN TWP B	305.00	01-409-373-	305.00
01*128833	STEVE MARTIN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128834	STEVE SAURMAN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128835	TANISHA JACKSON	REFUND FOR PAVILION 2 & 3	160.00	01-367-000-	160.00
01*128836	THOMAS AND SARAH FEERICK	PERMIT REFUND	20.00	01-364-300-	20.00
01*128837	TRACI FAUERBACH	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128838	TRACY MURRAY	REFUND FOR BASKETBALL CAMP COL	100.00	01-367-000-	100.00
01*128839	TRI-STATE ELEVATOR CO., INC.	ELEVATOR BILLING	165.00	01-409-373-	165.00
01*128840	U.S. BANK CHARLOTTE	2012 GO BOND BEST SERRVICE	565,223.75	01-130-200-	565,223.75
01*128841	UMHJSA	UMJSA: 1 BROOK ST ACCT#7021	145.86	01-409-360-	145.86
01*128842	VALERIE NIELSEN	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128843	VIRA OLEKSYUK	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128844	WATCH GUARD	CAMERA ASSEMBLY	530.00	01-410-260-	530.00
01*128845	WENDY CASPER	PARTIAL REFUND FOR SUPERVISED	90.00	01-367-100-	90.00
01*128846	WILLOW GROVE FIRE COMPANY	FIRE - HOME DEPOT ASSORTED ITE	100.90	01-411-372-	100.90
01*128847	WILLOW TREE & LANDSCAPE SER. INC	PO# 37996 REMOVE TREE AT MASON	3,150.00	01-454-450-	3,150.00
		PO# 38000 EMERGENCY TREE REMOV	2,475.00	01-454-450-	2,475.00
01*128848	WORKPLACE CENTRAL	BASIC BOX	147.98	01-410-200-	147.98
01*128850	ROSEMARY STRAUSSER	PARTIAL REFUND FOR PAVILION	20.00	01-367-000-	20.00
01*128851	DOLTON BASKETBALL, LLC	PAYMENT FOR BASKETBALL CAMP DI	5,940.00	01-452-450-	5,940.00
01*128852	AFTERMATH	BIO HAZARD CLEANING	245.00	01-410-317-	245.00
01*128853	AIR CLEANING SYSTEMS, INC.	Add new vent system for new QR	3,943.00	01-411-372-	3,943.00
01*128854	AIRGAS	CYLINDER RENTAL	43.65	01-430-330-	43.65
01*128855	AQUA PA	HYDRANT SERVICE 05/30-06/30/20	4,758.24	01-411-363-	2,379.12
		HYDRANT SERVICE 06/30-07/31/20		01-411-363-	2,379.12
01*128856	AQUA PA	HYDRANT SERVICE 05/30-06/30/20	520.43	01-411-363-	258.60
		HYDRANT SERVICE 06/30-07/31/20		01-411-363-	261.83
01*128857	ARDMORE TIRE, INC.	SMOOTH FIRE	30.00	01-430-330-	30.00
		SANITATION	270.00	01-430-330-	270.00
		SANITATION	405.00	01-430-330-	405.00
01*128858	ATLANTIC REFRIGERATION CO INC.	MAINT TO ICE MACHINE 227 DAVIS	496.52	01-411-373-	496.52
01*128859	CDW GOVERNMENT, INC.	HP LTO-7 per quote LPJP984	1,051.56	01-401-320-	1,051.56
01*128860	COMCAST CABLE	INTERNET MASONS MILL PARK 08/2	139.46	01-401-320-	139.46
01*128861	COURIER TIMES, INC.	07/01-07/31/20 COURIER TIMES	1,204.20	01-413-340-	1,204.20
01*128862	COVANTA ENERGY, LLC	WASTE 08/04-08/14/20	16,153.60	01-427-365-	16,153.60

CHECK NUMBER	PAYEE	DESCRIPTION	INV		CHECK AMOUNT
			AMOUNT	ACCOUNT NUMBER	
01*128863	DANIEL BELMONTE	PERMIT REFUND	40.00	01-364-300-	40.00
01*128864	DAVIDHEISER'S INC.	SPEEDOMETER CALIBRATIONS	800.00	01-410-317-	800.00
01*128865	DENISE A. ZECCA	REFUND	49.33	01-310-800-	49.33
01*128866	EDWARD McKENNA	ZONING HEARING STENO. 07/23/20	429.50	01-413-316-	429.50
01*128867	FASTENAL COMPANY	ECOFITWSHR	245.71	01-430-330-	245.71
		ECOLCKNUT	400.00	01-430-330-	400.00
01*128868	FRED BEANS PARTS	FD 1041 CLUTCH ASY	196.87	01-430-330-	196.87
		SENSOR	19.48	01-430-330-	19.48
01*128869	GILMORE & ASSOCIATES	ENGINEERING SERVICES: FAIR OAK	785.00	01-430-313-	785.00
		ENGINEERING SERVICES: WILLOW G	1,744.38	01-430-313-	1,744.38
		ENGINEERING SERVICES: 2321 BLA	247.50	01-430-313-	247.50
		ENGINEERING SERVICES: FAIRHILL	1,597.19	01-430-313-	1,597.19
		ENGINEERING SERVICES: 900 SOUT	5,192.38	01-430-313-	5,192.38
		ENGINEERING SERVICES: LUKENS &	1,270.00	01-430-313-	1,270.00
		ENGINEERING SERVICES: 2020 GEN	1,512.50	01-430-313-	1,512.50
		ENGINEERING SERVICES: 1845 BYB	630.00	01-430-313-	630.00
		ENGINEERING SERVICES: 2020 PAV	2,241.66	01-430-313-	2,241.66
		ENGINEERING SERVICES: 2255 WYA	3,620.00	01-430-313-	3,620.00
		ENGINEERING SERVICES: CARSON S	615.60	01-430-313-	615.60
		ENGINEERING SERVICES: 2665 PLE	425.00	01-430-313-	425.00
01*128870	GRAINGER	TOILET PAPER	58.26	01-409-200-	58.26
01*128871	HUNTINGDON MECHANICAL	PERFORMED GENERAL COOLING MAIN	317.00	01-411-372-	317.00
01*128872	JOHN & ELIZABETH BETHARD	PERMIT REFUND	20.00	01-364-300-	20.00
01*128873	MARGARET BLAESE	PERMIT REFUND	20.00	01-364-300-	20.00
01*128874	MC MAHON ASSOCIATES, INC.	ENGINEERING SERVICES BLAIR MIL	560.00	01-430-313-	560.00
01*128875	MCDONALD UNIFORMS	UNIFORM EXPENSES FIRE SHIRTS	316.92	01-415-238-	316.92
		UNIFORM EXPENSES FIRE SHIRTS	54.99	01-415-238-	54.99
01*128876	MICHAEL RUDNITSKY	REFUND	17.36	01-310-300-	17.36
01*128877	NAPA AUTO PARTS	NAPA AUTO PARTS	2,663.54	01-430-330-	2,663.54
01*128878	PATRICIA MCDONOUGH	REFUND FOR PAVILION	100.00	01-367-000-	100.00
01*128879	PBPMYCA	REGISTRATION FOR 41ST ANNUAL B	25.00	01-401-240-	25.00
01*128880	PECO ENERGY-PAYMENT PROCESSING	GAS: 4355 DAVISVILLE 07/07-08/	43.35	01-411-360-	43.35
		ELECTRIC: 4355 DAVISVILLE 07/0	179.67	01-411-360-	179.67
		ELECTRIC & GAS 07/09-08/07/20	1,151.23	01-411-360-	1,151.23
		ELECTRIC: 07/08-08/06/20 MASON	481.28	01-454-360-	481.28
01*128881	PENDERGAST SAFETY	RAIN JACKET	148.10	01-427-192-	148.10
01*128882	PENNBC	MEMBERSHIP DUES	85.00	01-415-240-	85.00
01*128883	PENNSYLVANIA ONE CALL	MONTHLY ACTIVITY BASE	95.20	01-430-240-	95.20
01*128884	RICOH USA, INC.	WATER TONER BOTTLE	41.00	01-401-374-	41.00
01*128885	SEMISCH AND SEMISCH	ZONING HEARING SOLICITOR 04/14	625.00	01-413-314-	625.00
01*128886	SIGNAL CONTROL PRODUCTS, INC.	GREEN LED INDICATOR	360.00	01-430-373-	360.00
01*128887	STRATEGIC RECOVERY PARTNERSHIP INC.	REFUND	4,626.00	01-310-800-	4,626.00
01*128888	THOMAS NOLAN	REFUND FOR MENS SOFTBALL SPRIN	500.00	01-367-000-	500.00
01*128889	TIM KUREK	ZONING HEARING STENO. 08/13/20	240.00	01-413-316-	240.00
01*128890	TIMONEY KNOX, LLP	LEGAL SERVICES GENERAL	29.00	01-402-314-	29.00
01*128891	TOM SAWYER AUTO REPAIR	01/17-06/11/20	445.00	01-430-330-	445.00
01*128892	TRUCK PRO	LEAF VACS	47.58	01-430-330-	47.58
01*128893	UNIFIRST CORPORATION	UNIFORM MAINTENANCE 08/10/20	409.03	01-430-191-	204.52
		UNIFORM MAINTENANCE 08/10/20		01-427-191-	204.51
01*128894	VERIZON	215-441-4385	41.43	01-401-320-	41.43

CHECK NUMBER	PAYEE	DESCRIPTION	INV		CHECK AMOUNT	
			AMOUNT	ACCOUNT NUMBER		
01*128895	VERIZON WIRELESS	VERIZON WIRELESS #523565805-00	3,558.74	01-401-320-	3,558.74	3,558.74
01*128896	VINCENT WILTON & SUSAN WILTON	PERMIT REFUND	75.00	01-364-300-	75.00	75.00
01*128897	WORKPLACE CENTRAL	STAPLES, POST IT - KATHLEEN	62.59	01-401-200-	62.59	222.28
		REFILL BALPNT - LYNNE	125.92	01-410-200-	125.92	
		BAL PNT MED - LYNNE	33.77	01-410-200-	33.77	
01*128898	DISTRICT COURT 38-2-08	CIVIL FILING - JESTER	184.85	01-413-240-	184.85	184.85
01*128899	COMMONWEALTH OF PENNSYLVANIA	WASTE HAULER AUTH. STICKER - N	100.00	01-430-330-	100.00	100.00
23*128664	WILLOW GROVE FIRE COMPANY	REIMB. FOR LOAN PAYMENT P31000	965.26	23-471-300-	965.26	965.26
23*128849	RICOH USA, INC.	LEASE PAYMENTS RICOH	1,722.96	23-471-600-	1,722.96	1,722.96
35*2897	ASPHALT CARE EQUIPMENT & SUPPLIES	TACK COAT	893.20	35-439-210-	893.20	893.20
35*2898	BILLOWS ELECTRIC SUPPLY INC.	RESIST COVER	42.75	35-434-240-	42.75	73.10
		ELECTRIC RED WATER BASED MARKI	24.00	35-433-245-	24.00	
		COND NIPPLE	6.35	35-434-240-	6.35	
35*2899	CONTINENTAL CONCRETE	PO#37988 BIKE SAGE GRATES	1,797.00	35-439-210-	1,797.00	1,797.00
35*2900	ELLIOTT & FRANTZ, INC.	ROLLER RENTAL	4,400.00	35-439-210-	4,400.00	4,400.00
35*2901	EUREKA STONE QUARRY, INC.	EUREKA 6/24/20	14,371.72	35-439-210-	14,371.72	111,416.44
		EUREKA 6/24/20	1,151.73	35-439-210-	1,151.73	
		EUREKA 6/25/20	20,715.88	35-439-210-	20,715.88	
		EUREKA 6/26/20	16,838.69	35-439-210-	16,838.69	
		EUREKA 7/7/20	152.52	35-439-210-	152.52	
		EUREKA 7/8/20	141.59	35-439-210-	141.59	
		EUREKA 7/9/20	89.45	35-439-210-	89.45	
		EUREKA 07/13/20	60.78	35-439-210-	60.78	
		EUREKA 7/15/20	17,389.32	35-439-210-	17,389.32	
		EUREKA 7/20/20	19,530.53	35-439-210-	19,530.53	
		EUREKA 7/21/20	20,974.23	35-439-210-	20,974.23	
35*2902	PECO ENERGY - PAYMENT PROCESSING	ELECTRIC: TRAFFIC LIGHT 07/02-	11,455.88	35-434-361-	11,455.88	11,455.88
35*2903	BILLOWS ELECTRIC SUPPLY INC.	CAULING GUN, REEL	30.69	35-434-240-	30.69	228.50
		REEL	77.87	35-434-240-	77.87	
		LOCK PHOTO CELL	72.00	35-434-240-	72.00	
		WEDGE CLAMP	47.94	35-434-240-	47.94	

GRAND TOTAL OF CHECKS = 1,460,782.95

End Date	CustomID	VIN	Title	Winning Bid	Number of Bids	First Name	Last Name
9/9/2020 16:10	220	1M2AX13C9AM011256	2010 Mack Granite with a 29 YD Leach Rear Load Body (30205882)	\$55,433	62	DOUGLAS	DOBRINER
9/9/2020 16:08	3552	1FDWFF37F5XEB87765	1999 FORD F-350 SD (29902052)	\$6,250	49	George	Dry
9/9/2020 16:06	442	1HTSDAAN0XH666626	1999 INTERNATIONAL 4900 CAB AND CHASIS (30158285)	\$2,850	33	John	Gioffredi
9/9/2020 16:05	307	1GBGC24K4LE159595	1999 CHEVROLET C/K2500 (29898776)	\$2,650	44	heather	king
9/9/2020 16:05	444	1M2P296CXVM029533	1997 MACK CAB AND CHASIS (30161561)	\$10,301	54	Jeffery	Mutchler
9/9/2020 16:03	441	1HTGHADT3TH306605	1996 INTERNATIONAL TANDEM DUMP (30158761)	\$7,300	50	Danielle	Gannon
9/9/2020 16:03	236	1HTWCAAR18J687342	2008 INTERNATIONAL LABRIE SIDE LOAD BODY(NOT AUTOMATED) (29898422)	\$4,329	41	Joe	Gibson
9/9/2020 16:03	103	1GNEK13TX1J231292	2001 CHEVROLET TAHOE (29897434)	\$2,800	48	Antonio	Aspite
9/9/2020 16:01	411	JAK0027817	1993 CASE 621 LOADER (30182230)	\$8,650	40	Michael	MCANALLY
9/9/2020 16:01	422	1GBKC34J7XF022948	1999 CHEVROLET C/K 3500 DUMP (29899787)	\$3,350	35	John	Gioffredi
9/9/2020 16:01	434	1HTSLAAL6TH308104	1996 INTERNATIONAL 4700 CAB AND FLATBED (29900096)	\$2,600	19	Danielle	Gannon
9/9/2020 16:01	433	1HTMNAAL22H550972	2002 INTERNATIONAL 4300 CAB AND CHASIS (30162067)	\$3,600	20	Kevin	Pedro
9/9/2020 16:01	235	1HTSLAALX1H397642	2001 INTERNATIONAL MANUAL SIDE LOADE RECYCLER (29897868)	\$2,051	34	Antonio	Aspite
9/9/2020 16:01	309	1HTSLPELXRH558869	1994 INTERNATIONAL CAB AND CHASIS (29899081)	\$2,500	19	Antonio	Aspite
				\$114,664.00			

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. 2020-33

A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO COLLEGE TOWN COMMUNITIES, LLC C/O 230 FAIRHILL ASSOCIATES, LLC FOR CONSTRUCTION OF THREE THREE-STORY MIDRISE APARTMENT BUILDINGS AND ONE FOUR STORY MIDRISE APARTMENT BUILDING AT THE CONSOLIDATED PROPERTY LOCATED AT 230 FAIRHILL STREET AND 551 NORTH YORK ROAD, WILLOW GROVE, UPPER MORELAND TOWNSHIP.

WHEREAS, College Town Communities, LLC c/o 230 Fairhill Associates, LLC (the “Applicant”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application) for the construction of four midrise apartment buildings (the “Project); and

WHEREAS, the Applicant has submitted the following in support of the Land Development Application: a Preliminary/Final Land Development Plan entitled “Fairhill Commons” prepared by C2C Design Group, dated March 20, 2020, last revised July 24, 2020 consisting of sheets 1 to 16 of 16; ADA Accessibility Plans prepared by C2C Design Group, dated March 20, 2020, last revised June 16, 2020, consisting of one (1) sheet; Drainage Area Plans for Fairhill Commons prepared by C2C Design Group, dated March 20, 2020, last revised June 12, 2020, consisting of sheets 1 to 3 of 3; Post-Construction Stormwater Management Narrative prepared by C2C Design Group, dated April 6, 2020, last revised June 12, 2020; R-Tank System Plans prepared by ACF Environmental, dated June 4, 2020, consisting of sheets 1 to 10 of 10, and; Truck Turning Plan prepared by prepared by C2C Design Group, dated March 26, 2020, consisting of one (1) sheet (the “Plans”), attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, the Plans involve the properties owned by the Applicant located at 230 Fairhill Road, Willow Grove, PA 19090 (“230 Fairhill”) and 551 N. York Road, Willow Grove, PA 19090 (“551 N. York”), Montgomery County, in the C-2 Commercial Zoning District, Tax Parcel Numbers 59-00-07066-00-3 and 59-00-19901-00-2 (collectively, the “Property”); and

WHEREAS, the 230 Fairhill and 551 N. York properties are to be consolidated and all buildings and existing improvements contained on the Property are to demolished as part of this land development; and

WHEREAS, the Project proposes to construct three (3) three-story midrise apartment buildings and one (1) four-story midrise apartment building consisting of 132 units, 264 bedrooms. Additionally, the proposed apartment buildings will be classified as “Student Homes” to be mainly occupied by students attending nearby colleges and universities; and

WHEREAS, associated on-site improvements for the project include a total of 264 parking spaces with landscape areas, curbing, sidewalk and ADA compliant access points. Additionally, associated off-site improvements include the widening of Fairhill Street by four feet, curbing, sidewalk, stormwater improvements to convey on-site runoff to the Round Meadow Run within the Pennypack Creek Watershed and the installation of two underground infiltration basins, a vegetated swale, and a rain garden. All proposed buildings will be serviced by public water and sewer; and

WHEREAS, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 11 below; and

WHEREAS, on June 13, 2019, the Upper Moreland Township Zoning Hearing Board granted Applicant certain variances pursuant to ZHB Order 19-18 with respect to the 230 Fairhill property; and

WHEREAS, by Decision and Order CU19-0010, dated June 17, 2019, the Upper Moreland Township Board of Commissioners granted conditional use approval to Applicant to construct the three-story mid-rise apartment buildings on the 230 Fairhill property, subject to certain conditions of approval; and

WHEREAS, on August 28, 2019, upon having acquired an equitable ownership interest in title to the 551 N. York property, Applicant filed a conditional use application to construct three, 16-unit midrise apartment buildings on the 551 N. York property; and

WHEREAS, on October 10, 2019, the Upper Moreland Township Zoning Hearing Board granted the Applicant certain variances pursuant to ZHB Order 19-35 with respect to the 551 N. York property; and

WHEREAS, on October 30, 2019, Applicant filed an Addendum to its Conditional Use Application for 551 N. York of August 28, 2019, requesting that Upper Moreland Township consider the application for conditional use approval in conjunction with the Board of Commissioner’s Conditional Use Approval for the 230 Fairhill property; and

WHEREAS, on November 12, 2019, the Upper Moreland Township Board of Commissioner’s by Resolution granted preliminary land development plan approval to Applicant for the 230 Fairhill property subject to certain conditions of approval; and

WHEREAS, by Amended Decision and Order CU19-0042, dated February 3, 2020, the Upper Moreland Township Board of Commissioners granted conditional use approval to Applicant for the construction of the mid-rise apartment buildings on the consolidated 230 Fairhill and 551 N. York property, subject to certain conditions of approval; and

WHEREAS, the Township Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions set forth in the review letter dated July 8, 2020, attached hereto as **Exhibit "B"** and incorporated herein by reference; and

WHEREAS, the Township Landscape Architect has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated July 8, 2020 attached hereto as **Exhibit "C"** and incorporated herein by reference; and

WHEREAS, The Township Traffic Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letters dated July 8, 2020 and July 29, 2020 attached hereto as **Exhibit "D"** and incorporated herein by reference; and

WHEREAS, based on Applicant's presentation of the Project on July 13, 2020 and August 10, 2020, the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant's Land Development Plans; and

WHEREAS, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Upper Moreland Township Board of Commissioners that the Applicant's Preliminary/Final Land Development Plans are hereby granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. The Applicant shall fully comply with the conditions imposed on the development: of 230 Fairhill Road by Upper Moreland Township Zoning Hearing Board Order 2019-18; on the development of 230 Fairhill Road contained in the Upper Moreland Township Board of Commissioners' Conditional Use Decision and Order, #CU 19-0010, dated June 17, 2019; on the development of 230 Fairhill Road contained in the Upper Moreland Township Board of Commissioners' grant of Preliminary Land Development Plan Approval Resolution 2019-34 dated November 12, 2019; on the development of 551 N. York Road by Upper Moreland Township Zoning Hearing Board Order # 2019-35, dated October 10, 2019, and; on the development of the consolidated 230 Fairhill and 55 N. York Property contained in the Upper Moreland Township Board of Commissioner's Amended Conditional Use Decision and Order CU19-0042, dated February 3, 2020.

2. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of

the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and DEP permits.

3. Applicant shall strictly comply with all applicable Americans With Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code Council, ANSI 117.1, for the construction of accessible facilities on the Property.

4. The Applicant shall comply with all conditions and comments set forth in the Township Engineer's review letter attached hereto as **Exhibit B**.

5. Unless waived by the Board of Commissioners, the Applicant shall contribute a fee-in-lieu of open space dedication in the amount of **\$66,000.00** in accordance with §300-34.F of the Township's Subdivision and Land Development Ordinance, (calculated based on 132 apartment units and \$500 per 1,000 square feet of required open space).

6. The Applicant shall enter into a Stormwater Management Facilities Agreement with the Township for perpetual ownership and maintenance of proposed stormwater Best Management Practices, to be prepared by the Township Solicitor, and executed prior to the start of construction.

7. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township Landscape Architect's review letter attached hereto as **Exhibit C**.

8. The applicant shall comply with all conditions and comments set forth in the Township's Traffic Engineer's review letter dated July 8, 2020 and attached hereto as **Exhibit D**. This will result in a Traffic Impact Fee requirement of **\$60,928.00**.

9. This Conditional Preliminary/Final Land Development Approval is made strictly contingent upon Applicant's compliance with the Township's Traffic Engineer's review letter dated July 29, 2020 requiring Applicant to secure a Highway Occupancy Permit ("HOP") from PennDOT and which further requires Applicant's submission of Traffic Impact Assessment ("TIA") to PennDOT to be concurrently reviewed by the Township's Traffic Engineer whose comments shall be coordinated with PennDOT and addressed accordingly in Applicant's TIA submission.

10. Application shall provide four (4) negotiated wayfinding signs subject to PENNDOT approval and in general conformance with the Upper Moreland Township Wayfinding Study as produced by Clive Gresham.

11. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapters 287 "Stormwater Management," and 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

- A. §287-18.Y(6)(a): From the requirement that pipe diameters be a minimum of 18 inches to permit pipe diameters use of 12-inch pipes;
- Granted Denied
- B. §287-18.K: From the requirement that stormwater management storage facilities should completely drain both the volume control and rates control capacities over a period of time not less than 24 and not more than 72 hours from the end of the design storm. Due to infiltration rates and the underground basin design plan, Applicant's Underground Bed will dewater in 1.23 hours, faster than the required 24 hours;
- Granted Denied
- C. §300-15.B(1)(b)[1] and §300-15.B(1)(b)(3): From the requirement that residential streets shall have a minimum right-of-way width of 50 feet and a paved width of 30 feet to permit a right-of-way width of 45 feet and a paved width of 28 feet along Fairhill Street and a right-of-way width of 60 feet along York Road;
- Granted Denied
- D. §300-17.D: From the requirement to provide a 20-foot wide strip of open space between the proposed buildings and parking lot to permit a 10-foot wide strip of open space;
- Granted Denied
- E. §300-17.I: From the required minimum parking lot dimensions as calculated by the table in this Section to permit a two-way parking aisle width of 24 feet, where a width of 25 feet is required per the table's calculation;
- Granted Denied
- F. §300-18.E: From the requirement that sidewalks shall have a maximum running slope of 5% to permit Applicant to construct the sidewalk along Fairhill Road in excess of 5% where the existing Fairhill Road slope exceeds a 5% slope;
- Granted Denied

G. §300-19.A(7): From the requirement that concrete curbs shall be constructed with a minimum 8-inch reveal to permit a concrete curb with a reveal of 6 inches within the interior of the site;

Granted Denied

H. §300-34.D(4): From the open space requirement that no more than 30% of forested areas may be cleared or developed, and that 70% or more shall be retained and maintained as open space. The Applicant has gone on a site visit with Township staff where it was determined that the existing number and size of trees on the Property do not meet the definition of a Forest and therefore Applicant proposes to remove all existing forested areas within the Property limits;

Granted Denied

I. §300-43.B(2): From the requirement to construct a softening buffer for portions of the property line located near the proposed driveway connection to York Road. Applicant has requested a waiver along the proposed driveway connection to York Road as well as the remainder of the property line (433 lf) where eight (8) trees and a fence is being proposed in lieu of the required 17 trees (minimum shrub component has been met).

Granted Denied

J. §300-43.B(2)(d): From the requirement that in the buffer area no man-made slopes shall be steeper than one foot in height for each four feet of width 4:1 (25%), to permit man-made slopes of 3:1 (33%) within the buffer area;

Granted Denied

K. §300-43.C(2): From the requirement to provide a screen buffer along the eastern and western portions of the property line located near the proposed driveway connection to York Road. Applicant requests to be waived of this requirement for portions along the proposed driveway connection to York Road, as well as the 170 lf adjacent to the York Road side of the property where a double row of evergreen trees was not provided.

Granted Denied

L. §300-43.C(3)(b): From the requirement that buffer plantings are required to be located within 20-feet of the property line. The Applicant has proposed buffer plantings approximately 35 feet from the property line at the top of a retaining wall to provide optimum screening;

Granted Denied

M. §300-43.C(4)(b): To permit the use of fences in conjunction with retaining walls, without the use of evergreen and planting material;

Granted Denied

N. §300-43.D(1)(a): From the requirement that one shade tree is required for every 6 parking spaces facing residential areas. The Applicant is requesting a waiver to allow the proposal of 35 shade trees in-lieu-of the 44 shade trees required based on the site topography and large underground stormwater management facility required in the parking lot limiting planting opportunities. Applicant also requests a waiver from the requirement to plant 78 shrubs facing residential areas as Applicant is only proposing a fence in lieu of this requirement in this area;

Granted Denied

O. §300-43.D(1)(b): From the requirement that a minimum of 10% of any parking facility over 5,000 square feet in gross area shall be devoted to landscaping to permit Applicant to devote 8% of the gross parking lot area to landscaping based on the site topography and large underground stormwater management facility required in the parking lot limiting planting opportunities;

Granted Denied

P. §300-43.D(1)(d): From the requirement that a planting island is to be 15 feet wide and 20 feet long with a minimum of one single tree trunk to be placed in each island and two trees for each double row of parking to Applicant's proposed parking lot landscaping islands which are less than 20 feet long and some of which are less than 15 feet in width;

Granted Denied

Q. §300-43.D(1)(e): From the requirement that parking islands less than 300 square feet must have permanently install irrigation to not require permanent irrigation be provided in Applicant's 15 feet by 18 feet parking islands which are less than 300 square feet;

Granted Denied

R. §300-43.D(2)(c): From the requirement of a maximum allowed six consecutive parking spaces without a 15-foot wide landscape island. The Applicant proposes 19 consecutive parking spaces without a landscape island;

- Granted Denied

S. §300-43.G(1)(b): From the requirement of one shade tree per dwelling unit The Applicant is requesting a waiver to allow the proposal of 79 shade trees in-lieu of the 132 shade trees required based on the site configuration, stormwater facilities and utilities;

- Granted Denied

T. §300-44.A(1): From the requirement to retain all heritage trees on the premises. Applicant has proposed removal of all heritage trees;

- Granted Denied

U. §300-44.A(2): From the requirement to preserve a minimum of 25% of all woodland areas on the property to permit Applicant to the removal of all woodland areas;

- Granted Denied

V. §300-45.A.: From the requirement to provide 173 required replacement trees. In consideration for granting of this waiver, the Applicant agrees to pay the Township a calculated sum of **\$79, 275.00** for tree replacement fee in lieu;

- Granted Denied

W. §300-50.B: From the requirement of a preliminary plan for all subdivisions and land developments proposed within the Township;

- Granted Denied

X. §300-52.C(1): From the requirement to show existing features within 400 feet of the site. The Applicant has provided an aerial photograph of the surrounding area showing existing storm sewer appurtenances within 400 feet of the property in lieu thereof;

- Granted Denied

12. This Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

13. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

14. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 14th day of September, 2020.

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS:**

ATTEST:

Matthew H. Candland, Township Manager

By: _____
Kevin C. Spearing, President

In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.

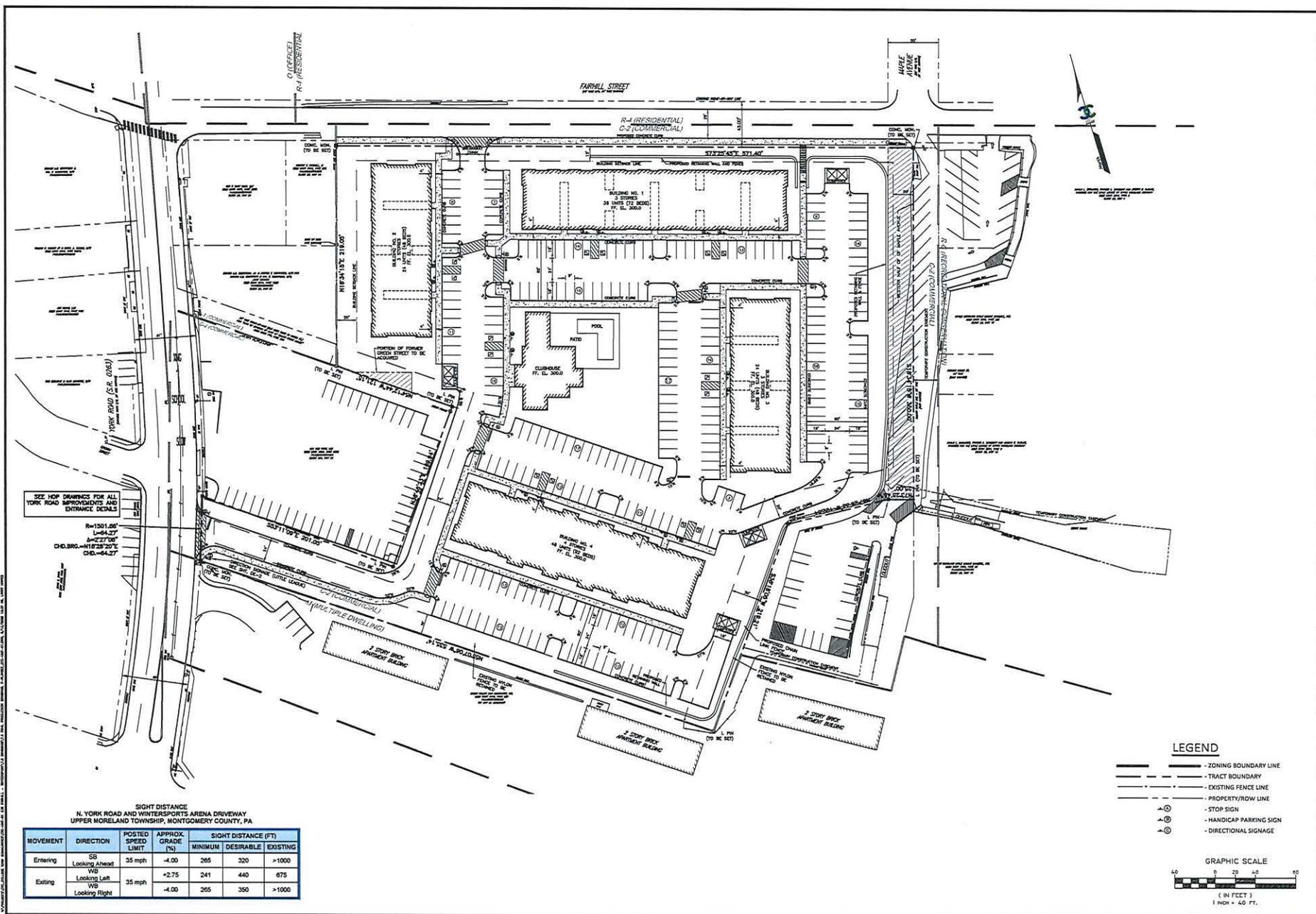
Attest: _____

ACCEPTED BY:
**College Town Communities, LLC
c/o 230 Fairhill Associates, LLC**

By: _____
Name:
Date:

EXHIBIT

A

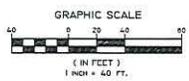


SIGHT DISTANCE
N YORK ROAD AND WHITESPORT'S ARENA DRIVEWAY
UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PA

MOVEMENT	DIRECTION	POSTED SPEED LIMIT	APPROX GRADE (%)	SIGHT DISTANCE (FT)		
				MINIMUM	DESIRABLE	EXISTING
Entering	SB Looking Ahead	35 mph	-4.00	265	320	>1000
	WB Looking Left		+2.75	241	440	675
Exiting	WB Looking Right	35 mph	-4.00	265	350	>1000

LEGEND

- ZONING BOUNDARY LINE
- TRACT BOUNDARY
- EXISTING FENCE LINE
- PROPERTY/ROW LINE
- STOP SIGN
- HANDICAP PARKING SIGN
- DIRECTIONAL SIGNAGE



NO.	DATE	DESCRIPTION
1	12/2020	ISSUED FOR REVIEW COMMENTS
2	1/1/2021	REVISED DRAWING PER COMMENTS
3	1/1/2021	REVISED DRAWING PER COMMENTS
4	1/1/2021	REVISED DRAWING PER COMMENTS
5	1/1/2021	REVISED DRAWING PER COMMENTS

DESIGN GROUP

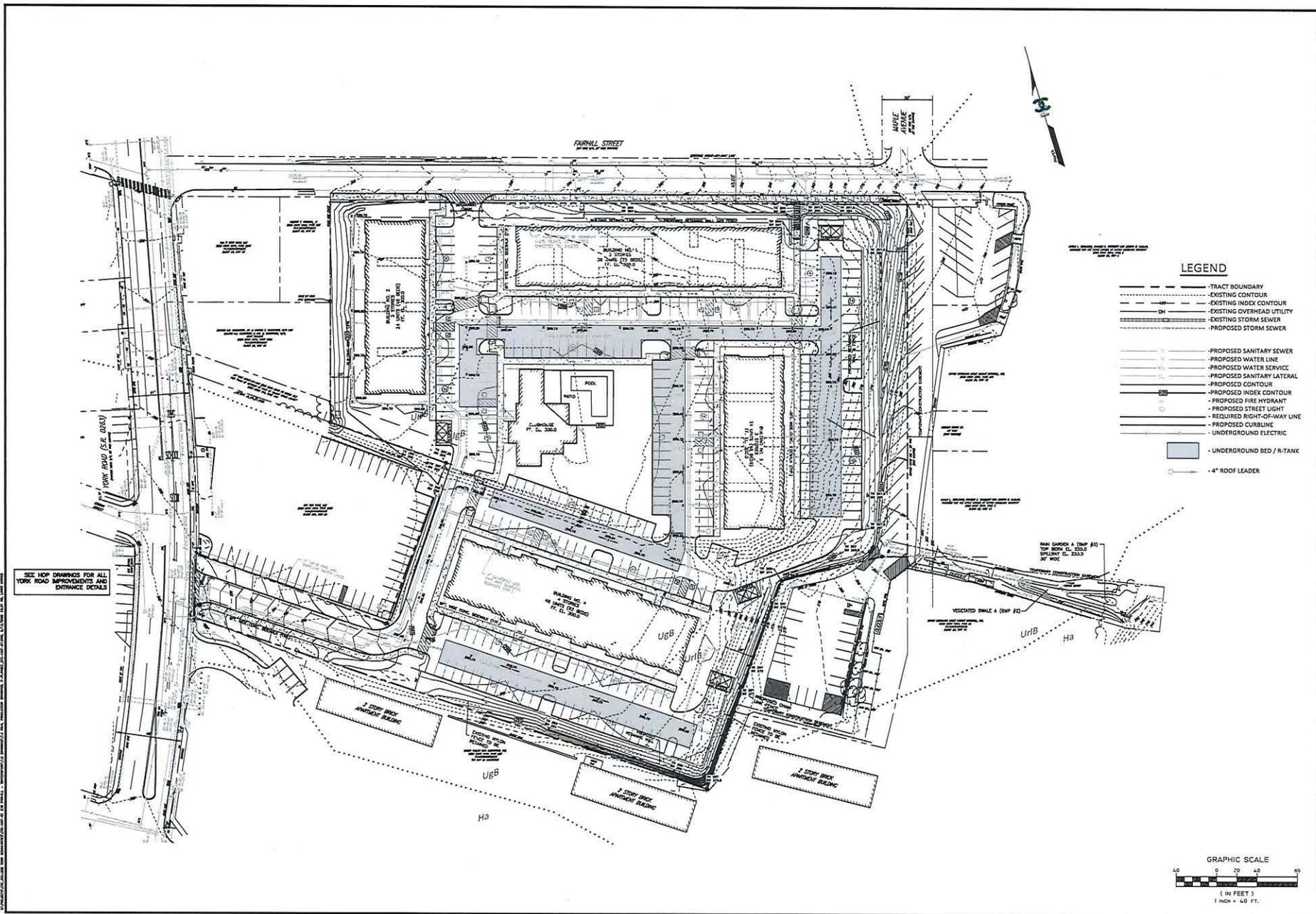
C2C DESIGN GROUP
Civil Engineering and Surveying
Soil Remediation and Construction

LAYOUT PLAN

C2C DESIGN GROUP
37 East Penn Avenue
P.O. Box 1000
Pittsburgh, PA 15222
610.865.9999 www.c2cgroup.com

FAIRHILL COMMONS
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA

PROJECT #: C2C-1447-01
SCALE: 1"=40'
DRAWN BY: CHS
CHECKED BY: DSF
DATE: 3/25/2020
SHEET NO.: 3 OF 18



SEE HOP DRAWINGS FOR ALL YORK ROAD IMPROVEMENTS AND ENTRANCE DETAILS

LEGEND

- - - - - TRACT BOUNDARY
- - - - - EXISTING CONTOUR
- - - - - EXISTING INDEX CONTOUR
- - - - - EXISTING OVERHEAD UTILITY
- - - - - EXISTING STORM SEWER
- - - - - PROPOSED STORM SEWER

- - - - - PROPOSED SANITARY SEWER
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED SANITARY LATERAL
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED INDEX CONTOUR
- - - - - PROPOSED FIRE HYDRANT
- - - - - PROPOSED STREET LIGHT
- - - - - REQUIRED RIGHT-OF-WAY LINE
- - - - - PROPOSED CURBLINE
- - - - - UNDERGROUND ELECTRIC

- UNDERGROUND BED / R-TANK
- ⚡ 4" ROOF LEADER

NO.	DATE	DESCRIPTION
1	3/27/2020	ISSUED FOR REVIEW COMMENTS
2	3/27/2020	ISSUED FOR REVIEW COMMENTS
3	3/27/2020	ISSUED FOR REVIEW COMMENTS
4	3/27/2020	ISSUED FOR REVIEW COMMENTS
5	3/27/2020	ISSUED FOR REVIEW COMMENTS

DESIGN GROUP



C2C Design Group
Civil Engineering and Surveying
37 East River Avenue
Scranton, PA 18503
610.800.0000 www.c2cgroup.com

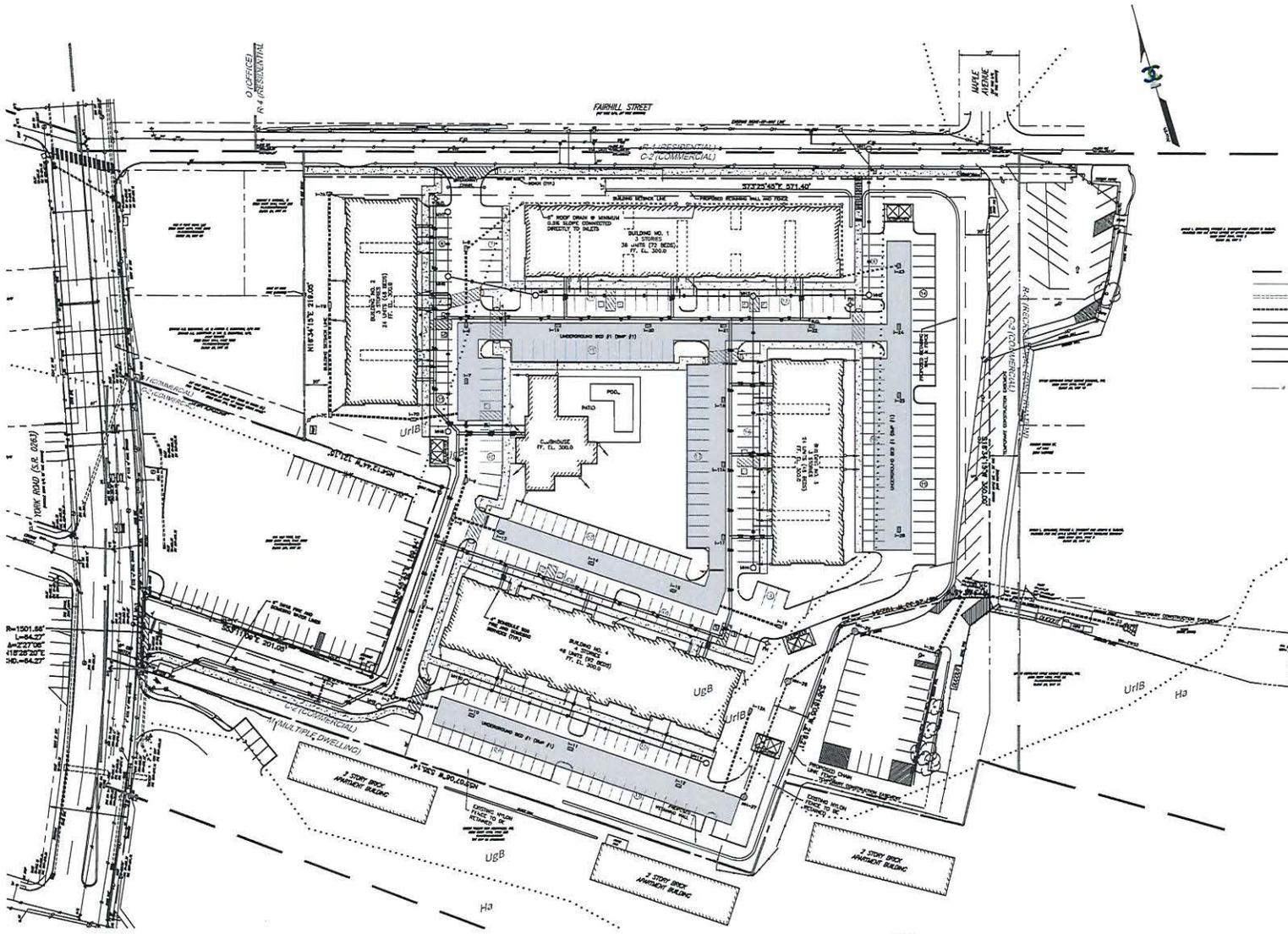
GRADING PLAN

C2C DESIGN GROUP

FAIRHILL COMMONS

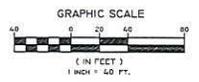
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA

PROJECT #	CTC-UMT-01
SCALE	1"=40'
DRAWN BY	DBS
CHECKED BY	BSF
DATE	3/25/2020
SHEET NO.	4 OF 18
SHEET TITLE	GR-1



LEGEND

- - - - - TRACT BOUNDARY
- EXISTING OVERHEAD UTILITY
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- S --- PROPOSED SANITARY SEWER
- W --- PROPOSED WATER LINE
- W/S --- PROPOSED WATER SERVICE
- W/S --- PROPOSED SANITARY LATERAL
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- --- PROPOSED SANITARY SEWER MANHOLE
- --- EXISTING SANITARY SEWER MANHOLE
- --- PROPOSED STORM SEWER MANHOLE
- --- PROPOSED LIGHT
- --- UNDERGROUND BED / R-TANK
- --- 4" ROOF LEADER



- NOTE**
1. ALL UTILITIES (INCLUDING BUT NOT LIMITED TO WATER, STORMWATER, GAS, ELECTRIC, PHONE, ETC.) SHALL HAVE A MINIMUM 18-INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE WITH THE SANITARY SEWER LINES, OR WHATEVER IS REQUIRED BY THE INDIVIDUAL UTILITY. WHICHEVER IS GREATER. SANITARY SEWER LINES SHALL BE LOCATED BELOW WATER LINES.
 2. THE MATERIAL OF CONSTRUCTION FOR AUTHORITY SANITARY SEWER SHALL BE 18"-18" PIPE AND CSIO FITTINGS IN THE ROADWAY AND A MINIMUM OF SDR-28 PIPE AND FITTINGS IN OFF ROAD AREAS.

P=1501.84'
L=64.27'
A=27.08'
H=72.201'
36.0-64.27'

NO.	DATE	DESCRIPTION
1	5/17/2020	ISSUED FOR PERMITS
2	5/25/2020	ISSUED FOR PERMITS AND NCEC PERMITS
3	5/25/2020	ISSUED FOR PERMITS AND NCEC PERMITS
4	5/25/2020	ISSUED FOR PERMITS AND NCEC PERMITS

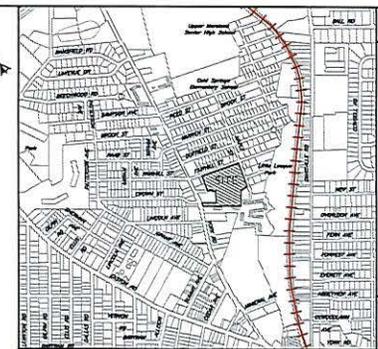
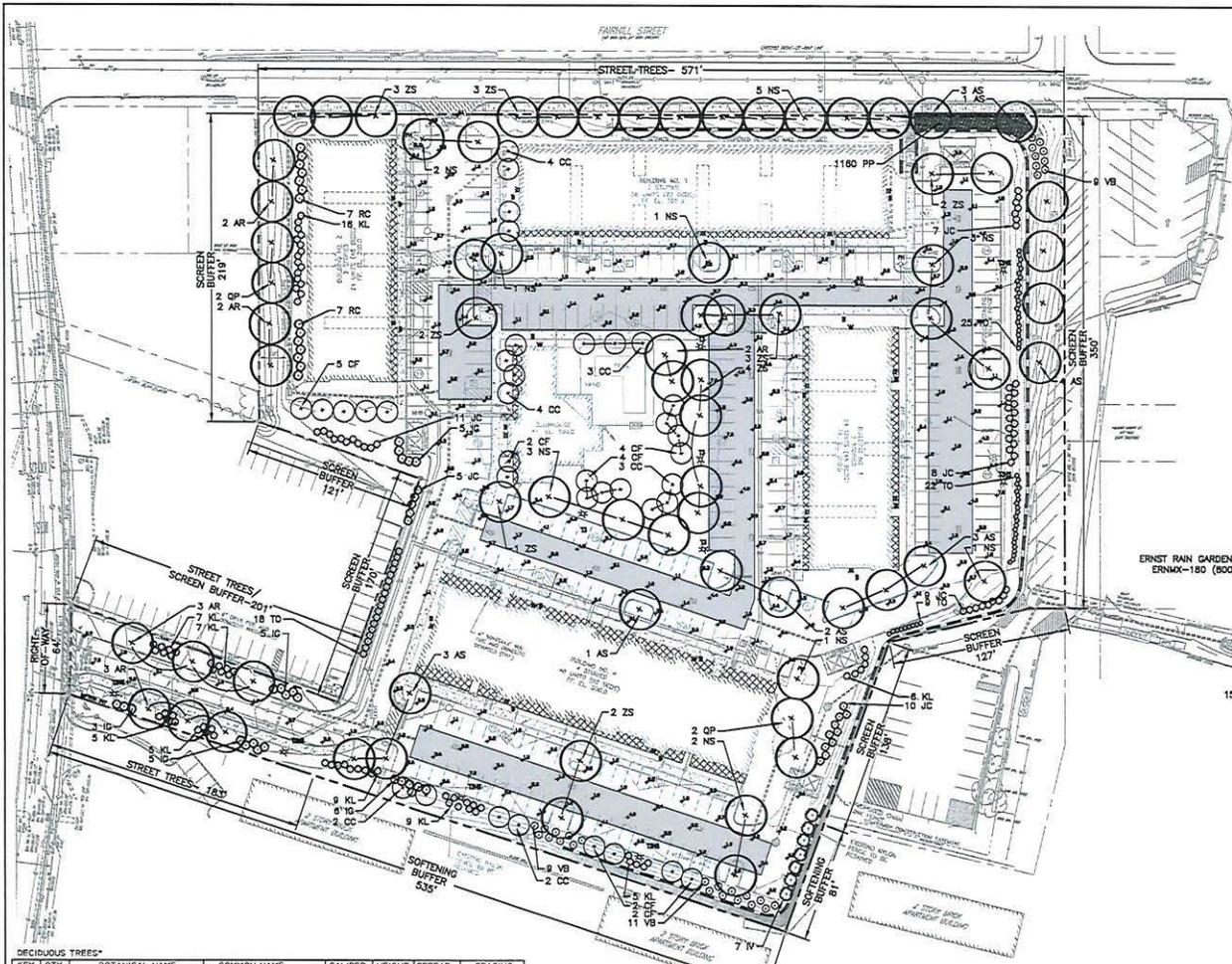
DESIGN GROUP

 Civil Engineering and Surveying
 Solutions for the Built and Natural World

UTILITY PLAN
C2C DESIGN GROUP
 37 East Penn Avenue
 Suite 200
 P.O. Box 1000
 York, PA 17402
 www.c2cgroup.com

FAIRHILL COMMONS
 UPPER MORELAND TOWNSHIP
 MONTGOMERY COUNTY, PA

PROJECT #	CTC-1461-01
SCALE	1"=40'
DRAWN BY	DSB
CHECKED BY	BSF
DATE	5/25/2020
DRW. NO.	5 OF 18
DATE	



LOCATION MAP
SCALE: 1"=60'

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING OF CORRECT GRADES AND ADJUSTING. LAYOUT TO BE APPROVED BY OWNER.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING OF CORRECT GRADES AND ADJUSTING. LAYOUT TO BE APPROVED BY OWNER.
 3. CONTRACTOR SHALL REPORT ANY SOIL OF UNUSUAL CONDITIONS OBSERVED DURING THE COURSE OF PLANT INSTALLATION.
 4. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL PLANT MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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 50. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

DECIDUOUS TREES*

KEY QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	SPACING
AR 12	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3" CAL	14 FT.	8 FT.	AS SHOWN
AS 17	ACER SACCHARINUM**	SUGAR MAPLE	3" CAL	14 FT.	8 FT.	AS SHOWN
NS 18	NYSSA SYLVATICA**	BLACK OAK	3" CAL	14 FT.	8 FT.	AS SHOWN
QP 4	QUERCUS PALUSTRIS**	PIN OAK	3" CAL	14 FT.	8 FT.	AS SHOWN
ZD 20	ZELKOVA SERRATA	JAPANESE ZELKOWA	3" CAL	14 FT.	8 FT.	AS SHOWN

*SHADE TREES SHALL BE PRUNED TO HAVE A CLEAR TRUNK TO 7 FEET.

ORNAAMENTAL TREES

KEY QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SPACING
CC 18	CERCIS CANADENSIS	EASTERN REDBUD	8 FT.	5 FT.	AS SHOWN
CF 18	COENUS FLORIDA	FLOWERING DOGWOOD	8 FT.	3 FT.	AS SHOWN

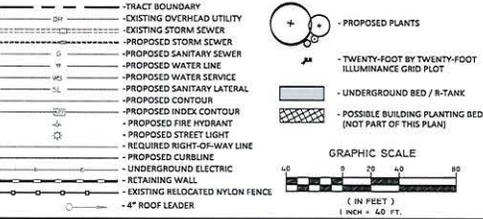
SHRUBS

KEY QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SPACING
IC 24	ILEX GLABRA	HOLLY	30"	18"	5 FT.
IV 22	ILEX VERTICILLATA	WINTERBERRY HOLLY	30"	18"	9 FT.
JC 26	JUNIPERUS CHINENSIS SPARTAN	SPARTAN JUNIPER	9 FT.	18"	5 FT.
KL 59	KALPA LATIFOLIA	MOUNTAIN LAUREL	30"	18"	5 FT.
RC 14	RHOODOCHORON CATAWBENSIS	CATAWBA RHOODOCHORON	4 FT.	4 FT.	9 FT.
TD 75	THUNIA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	8 FT.	4 FT.	3 FT.
VB 29	VBURNUM X BURKWOODII	BURKWOOD VIBURNUM	30"	18"	7 FT.

GROUNDCOVER

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PP 1180	PACHSANDRA PROCLUMBENS	ALLEGHENY PACHSANDRA	2" POTS	12"

LEGEND

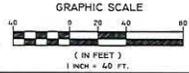


Plantings

Quantity	Species	Height	Width	Depth	Notes
12	AR	14 FT.	8 FT.	3 FT.	AS SHOWN
17	AS	14 FT.	8 FT.	3 FT.	AS SHOWN
18	NS	14 FT.	8 FT.	3 FT.	AS SHOWN
4	QP	14 FT.	8 FT.	3 FT.	AS SHOWN
20	ZD	14 FT.	8 FT.	3 FT.	AS SHOWN

Site Schedule

Symbol	Item	QTY	Material	Notes	LF	Notes
✕	T245	1	12" x 12" x 12" CONCRETE	12" x 12" x 12" CONCRETE	6.00	176
✕	T345	4	12" x 12" x 12" CONCRETE	12" x 12" x 12" CONCRETE	6.00	176
✕	T3	4	12" x 12" x 12" CONCRETE	12" x 12" x 12" CONCRETE	6.00	176
EE	EE	20	12" x 12" x 12" CONCRETE	12" x 12" x 12" CONCRETE	6.00	176



LANDSCAPING REQUIREMENTS (8300-43)

STREET TREES
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER

STREET BUFFER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER

SCREEN BUFFER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER

SOFTENING BUFFER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER
 PROVIDED: 4 SHRUBS ORNAMENTAL TREES & 10 SHRUBS PER 100 FT. OF PROPERTY PERMETER

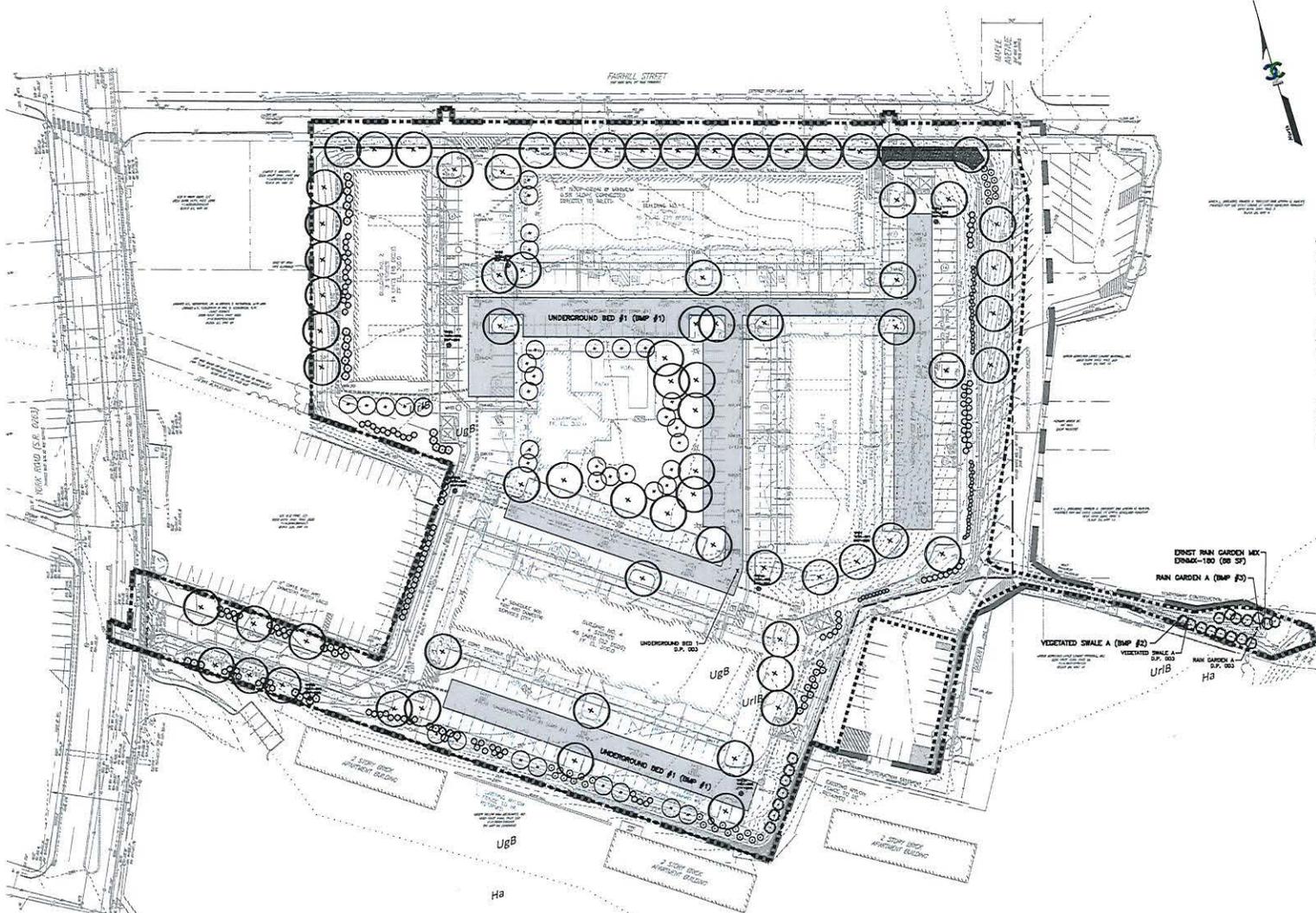
DESIGN GROUP
 Civil Engineering and Surveying
 Construction

LANDSCAPE & LIGHTING PLAN

C2C DESIGN GROUP
 27 East River Avenue
 Mount Airy, NC 27030
 610.680.6699 www.c2cdg.com

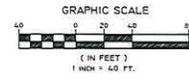
FARRILL COMMONS
 UPPER MORELAND TOWNSHIP
 MONTGOMERY COUNTY, PA

PROJECT #: C2C-1441-01
 ROAD: 1"=40'
 SHEET NO.: 050
 CHECKED BY: SEJ
 DATE: 3/29/2022
 DWG. NO.: 8 OF 18
 SHEET NO.: LL-1



LEGEND

- TRACT BOUNDARY
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING OVERHEAD UTILITY
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT
- REQUIRED RIGHT-OF-WAY LINE
- PROPOSED CURBLINE
- UNDERGROUND ELECTRIC
- LIMIT OF DISTURBANCE
- PROJECT SITE BOUNDARY
- PROPOSED TREE
- SOIL TYPE BOUNDARY LINE
- SOIL TYPE DESIGNATION
- INFILTRATION TEST LOCATION
- RAIN GARDEN AREA SEED MIX
- UNDERGROUND BED / R-TANK
- 4" ROOF LEADER



NO.	DATE	DESCRIPTION
1	3/2/2020	ISSUED FOR REVIEW COMMENTS
2	3/2/2020	ISSUED FOR REVIEW COMMENTS AND REVISIONS
3	3/2/2020	ISSUED FOR REVIEW COMMENTS AND REVISIONS
4	3/2/2020	ISSUED FOR REVIEW COMMENTS AND REVISIONS

DESIGN GROUP

Civil Engineering and Surveying
Soils and Geotechnical
Construction

POST CONSTRUCTION & STORMWATER MANAGEMENT PLAN

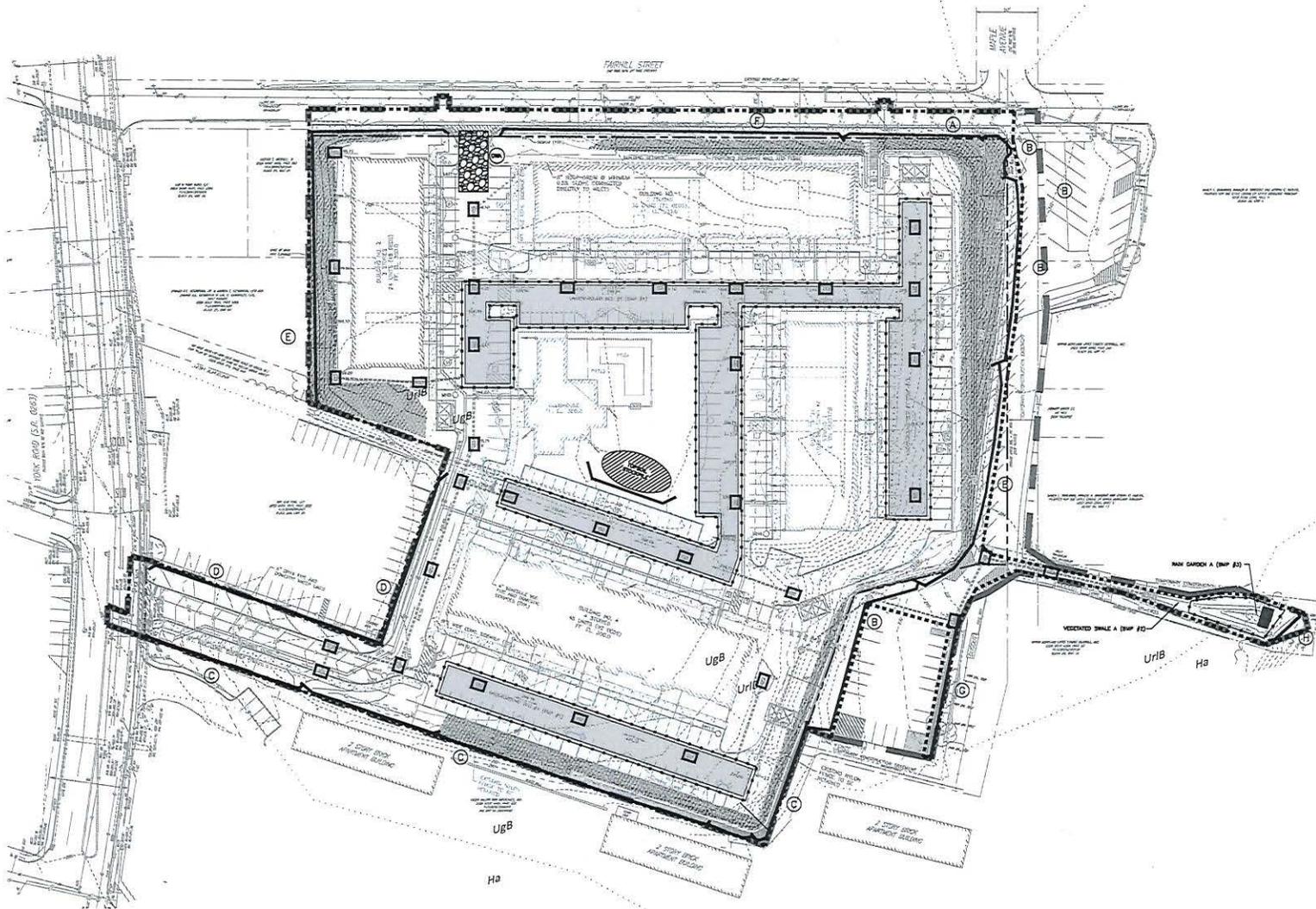
C2C DESIGN GROUP
27 East River Avenue
Montgomery County, PA 19104
610.830.6000 www.c2cgroup.com

FAIRHILL COMMONS

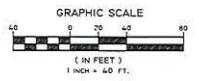
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA

PROJECT #	ETC-14NT-01
SCALE	1"=40'
DRAWN BY	DBB
CHECKED BY	DBF
DATE	3/25/2020
SHEET NO.	7 OF 18
DRAWING NO.	

PCSM-1



- LEGEND**
- - - - - EXISTING CONTOUR
 - - - - - EXISTING INDEX CONTOUR
 - - - - - SOIL TYPE BOUNDARY LINE
 - UgB SOIL TYPE DESIGNATION
 - OVERHEAD WIRES
 - UNDERGROUND UTILITIES
 - - - - - PROPOSED CONTOUR
 - - - - - PROPOSED INDEX CONTOUR
 - - - - - PROPOSED SPOT ELEVATION
 - - - - - PROPOSED STORM SEWER
 - - - - - EROSION CONTROL BLANKET ESC-2
 - - - - - COMPOST SOCK (18")
 - - - - - CONSTRUCTION ENTRANCE
 - - - - - CONCRETE WASHOUT AREA
 - - - - - LIMIT OF DISTURBANCE (6.68 ACRES)
 - - - - - PROJECT SITE BOUNDARY
 - - - - - INLET PROTECTION
 - - - - - UNDERGROUND BED / R-TANK
 - - - - - EROSION CONTROL BLANKET ECP-2
 - - - - - ORANGE CONSTRUCTION FENCE
 - - - - - 4" ROOF LEADER



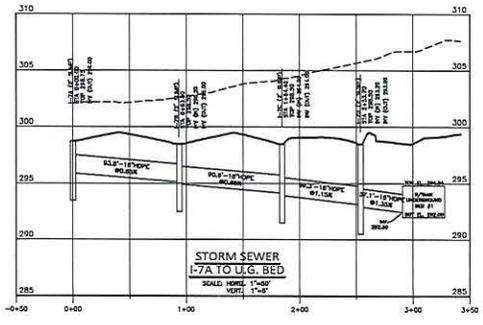
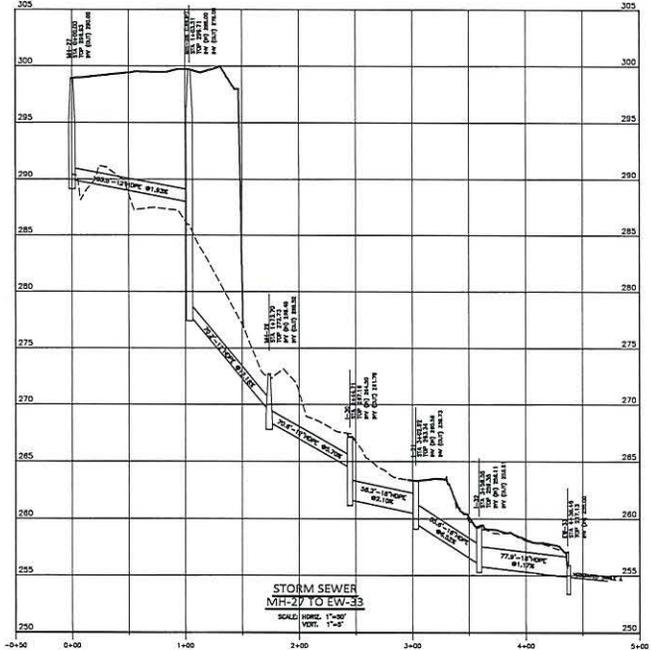
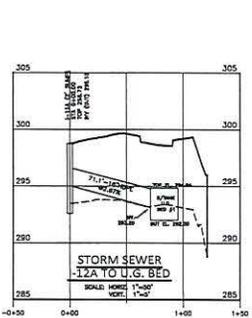
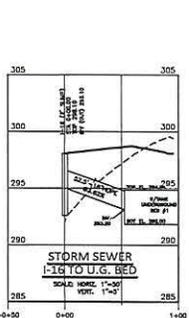
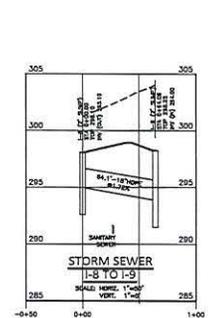
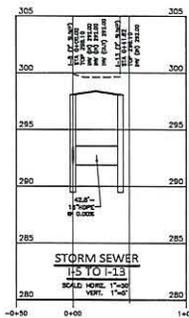
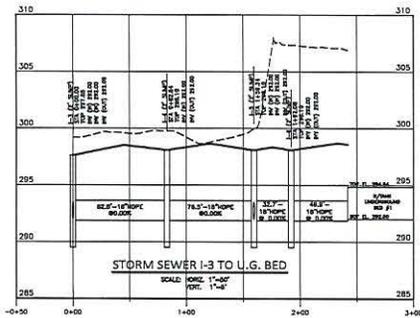
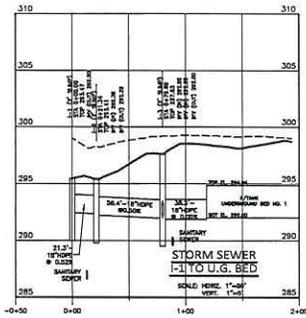
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4	10/1/2020	ISSUED FOR REVIEW COMMENTS
5	10/1/2020	ISSUED FOR REVIEW COMMENTS
6	10/1/2020	ISSUED FOR REVIEW COMMENTS
7	10/1/2020	ISSUED FOR REVIEW COMMENTS
8	10/1/2020	ISSUED FOR REVIEW COMMENTS
9	10/1/2020	ISSUED FOR REVIEW COMMENTS
10	10/1/2020	ISSUED FOR REVIEW COMMENTS

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FAIRHILL COMMONS
 UPPER MORELAND TOWNSHIP
 MONTGOMERY COUNTY, PA

PROJECT #	ETC-1047-01
SCALE	1"=40'
DRAWN BY	DBB
CHECKED BY	BSF
DATE	5/25/2020
DWG. NO.	8 OF 18
SHEET NO.	ESC-1



NOTE: ALL INLETS ARE STAMPED 2 FT. EXCEPT I-30, I-31, AND I-32

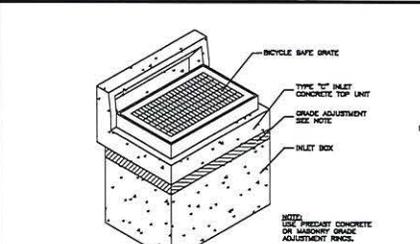
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99	3/2/2020	REVISED PER MOORE COMMENTS
100	3/2/2020	REVISED PER MOORE COMMENTS

DESIGN GROUP
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STORM SEWER PROFILES
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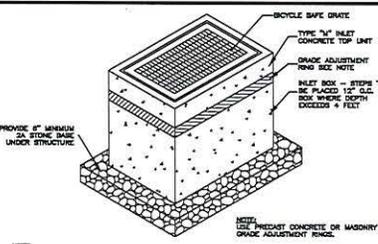
PROJECT # C2C-LANT-01
 SCALE AS SHOWN
 DRAWN BY DRB
 CHECKED BY BDF
 DATE 3/25/2020
 SHEET NO. 10 OF 15
 SHEET NO. PR-2

FAIRHILL COMMONS
 UPPER MORELAND TOWNSHIP
 MONTGOMERY COUNTY, PA



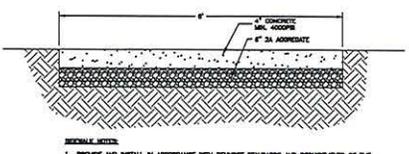
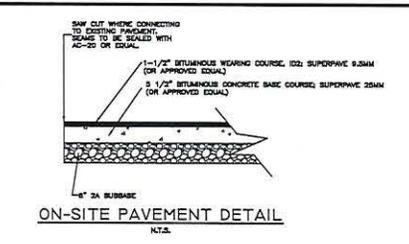
NOTES

1. INLETS MUST BE SET TO ACCEPT THE SPECIFIED PIPE SIZE WITHOUT SLOPING OUT ANY OF THE INLET CORNERS. ALL PIPES EXTENDING OR OTHER PIPES SHALL BE CUT FLUSH WITH THE INLET WALL.
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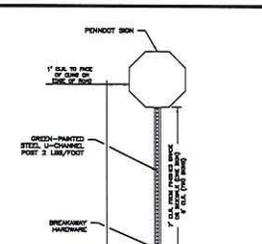
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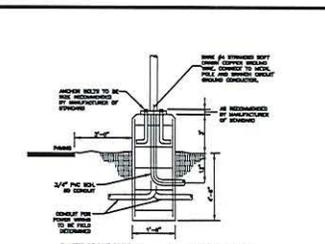
NOTES

1. PROVIDE AND INSTALL IN ACCORDANCE WITH PONDOUT DIMENSIONS AND REQUIREMENTS OF THE CURRENT 408 PUBLICATION.
2. WHERE A SIDEWALK ADJUTS A CURB WALL, BUILDING OR ANY OTHER STRUCTURE, A PRE-CASTED CONCRETE JOINT 1/4" HIGH BY THICKNESS SHALL BE PLACED BETWEEN THE SIDEWALK AND SAID STRUCTURE FOR THE FULL LENGTH OF SAID STRUCTURE.
3. MAINTAIN MINIMUM SLOPE OF 2% AND CROSS SLOPE OF 2%.



MINIMUM SIGN

TYPE	MINIMUM SIGN	STOP	SIZE
(A)	8'-11"	STOP	30X36
(B)	10'-12"	NO PARKING OR STOPPING	12X18
(C)	10'-4"	RESERVED PARKING	12X18
(D)	10'-0"	WAY ACCESSIBLE	12X8



POLE DATA

LINE	CD	CATALOG NUMBER	HEIGHT	HOISTING CONFIGURATION	DIAMETER	WEIGHT (APPROXIMATE)
E	1	LSI01 9110 24120A CLP-90C-A75	20'	STOP	4"	11.2 1.0 4.2 2.2

ADDITIONAL POLE INFORMATION AVAILABLE AT LSI-INDUSTRIES.COM

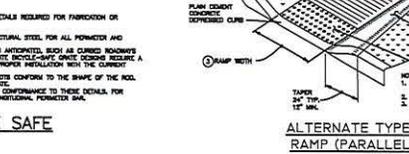
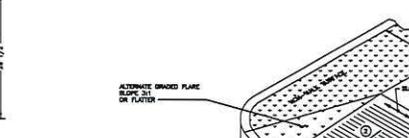
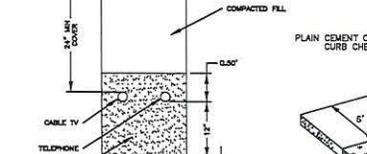
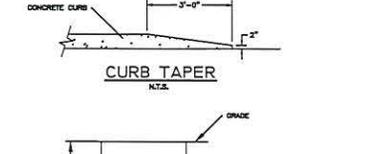
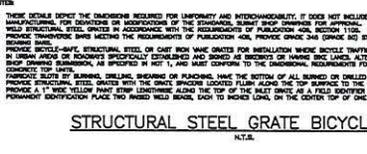
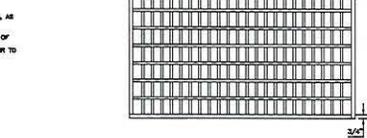
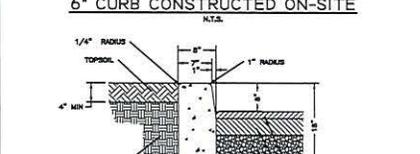
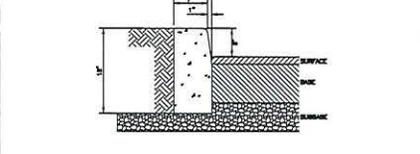
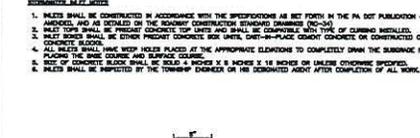
LUMINAIRE SCHEDULE

LINE	CD	CATALOG NUMBER	DESCRIPTION	WATT	LAMP	LUMENS	BEAMS
A	1	LSI01-LED-170-20000000	LED AREA LIGHT-10'-0" (4000K)	70W	LED	10000	72
C	1	LSI01-LED-170-20000000	LED AREA LIGHT-10'-0" (4000K)	70W	LED	10000	72

ADDITIONAL FIXTURE INFORMATION AVAILABLE AT LSI-INDUSTRIES.COM

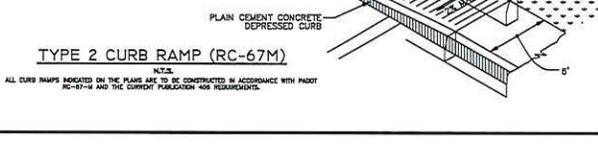
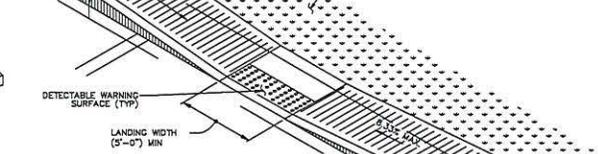
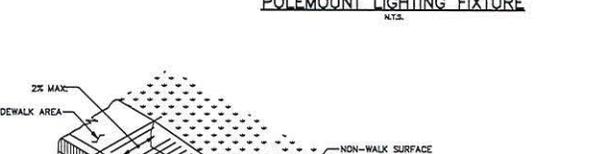
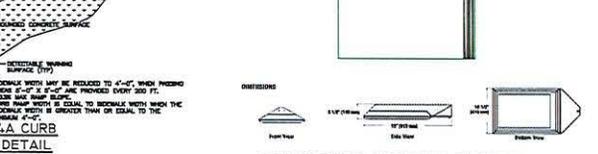
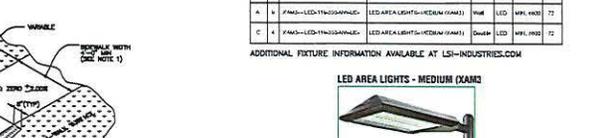
CONCRETE CURB NOTES

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NO.	DATE	DESCRIPTION
1	12/15/2023	ISSUED FOR PERMIT COMMENTS
2	12/22/2023	REVISED DRAWING BOARD AND WADDED LINES FOR PERMIT COMMENTS
3	1/12/24	ISSUED FOR PERMIT COMMENTS

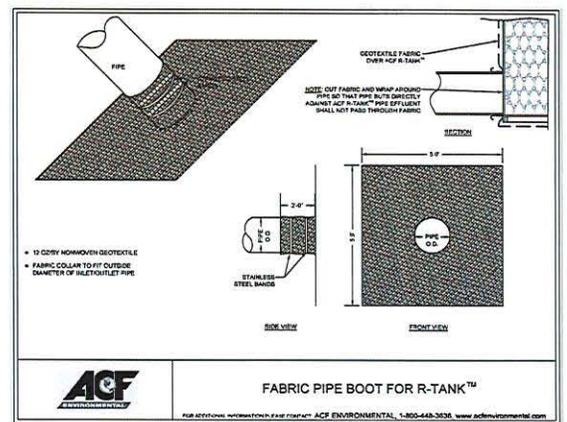
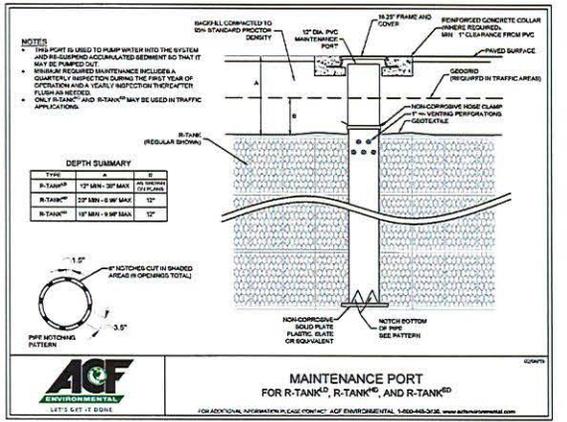
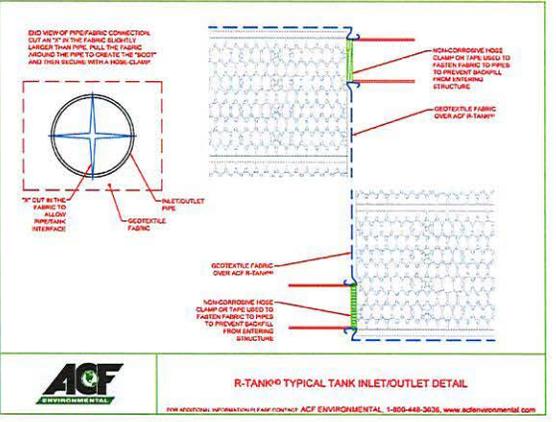
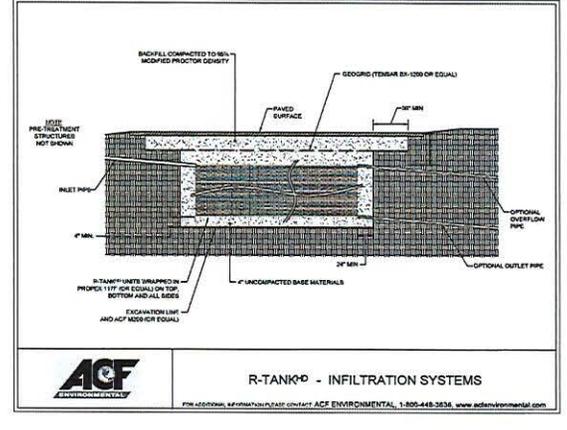
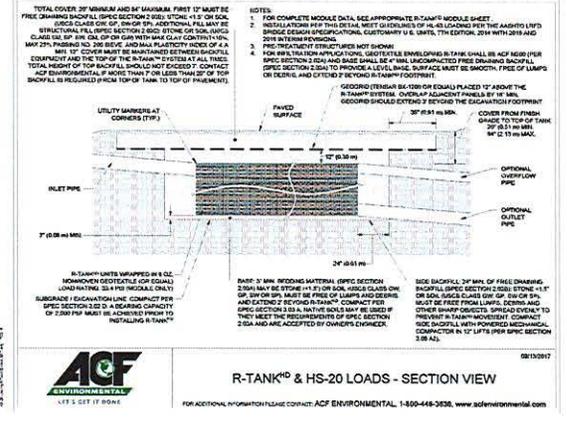
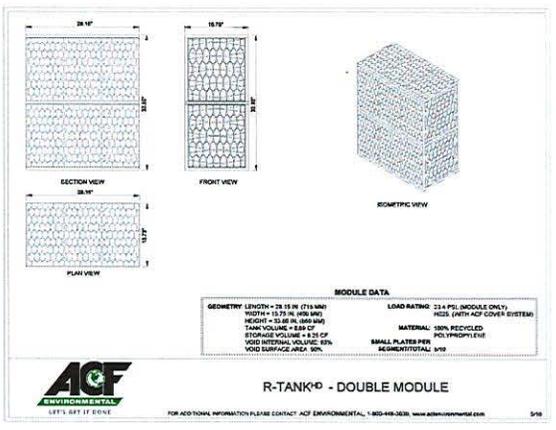
DESIGN GROUP

C2C DESIGN GROUP
Civil Engineering and Surveying
Soil Conservation
Construction

610.862.0200 www.c2cgroup.com

FAIRHILL COMMONS
MONTGOMERY COUNTY, PA
UPPER MERIDALE TOWNSHIP

PROJECT # CTS-1447-01
SCALE AS SHOWN
DRAWN BY DBS
CHECKED BY DSF
DATE 3/27/2023
DWG. NO. 11 OF 15
SHEET NO.



PROJECT #	CTC-1407-01
SCALE	AS SHOWN
DRAWN BY	DSB
CHECKED BY	DSF
DATE	3/25/2020
SHEET NO.	14 OF 18
TOWNSHIP	UPPER MERIDIAN TOWNSHIP
COUNTY	MONROE COUNTY, LA
CLIENT	FAIRHILL COMMONS
DESIGNER	C2C DESIGN GROUP
CONTRACTOR	ACF ENVIRONMENTAL
DATE	3/25/2020
SCALE	AS SHOWN
DRAWN BY	DSB
CHECKED BY	DSF
DATE	3/25/2020
SHEET NO.	14 OF 18

NOTE:
FOR PROJECT-SPECIFIC DETAILED DRAWINGS, REFER TO THE R-TANK SYSTEM OVERLAY, LAYOUT, DETAILS AND SPECIFICATIONS DRAWING SET (10 SHEETS), DATED 08/04/20, PREPARED BY ACF ENVIRONMENTAL. FINAL SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY THE TOWNSHIP PRIOR TO THE START OF CONSTRUCTION.

EXHIBIT

B



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

July 8, 2020

File No. 18-10032

Paul E. Purtell, Code Enforcement Director
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090-3215

Reference: Fairhill Commons
Preliminary Land Development
230 Fairhill Street, TMPs # 59-00-07066-00-3 and #59-00-19901-00-2

Dear Paul:

Pursuant to your request, Gilmore & Associates, Inc. has performed a review of the proposed Land Development application for the above-referenced project. Upon review of the plans, we offer the following comments:

I. Submission

- A. Preliminary Land Development Plan prepared for Fairhill Commons, prepared by C2C Design Group, dated March 20, 2020, last revised June 12, 2020, consisting of sheets 1 to 16 of 16.
- B. ADA Accessibility Plans prepared by C2C Design Group, dated March 20, 2020, last revised June 16, 2020, consisting of one (1) sheet.
- C. Drainage Area Plans prepared for Fairhill Commons prepared by C2C Design Group, dated March April 2, 2020, last revised June 12, 2020, consisting of sheets 1 to 3 of 3.
- D. Post-Construction Stormwater Management Narrative prepared by C2C Design Group, dated April 6, 2020, last revised June 12, 2020.
- E. R-Tank System Plans prepared by ACF Environmental, dated June 4, 2020, consisting of sheets 1 to 10 of 10.
- F. Truck Turning Plan prepared by prepared by C2C Design Group, dated March 26, 2020, consisting of one (1) sheet.

II. General

The subject property consists of two parcels within the C-2 Commercial Zoning District. Parcel 59-00-07066-00-3 is located at 230 Fairhill Street between York Road (S.R. 263) and Maple Avenue. The 3.9-acre property currently contains a 3-story manufacturing/office building and 1-story metal pole building, along with accessory buildings and structures. Parcel 59-00-19901-00-2 is a flag lot located at 551 N York Road, south of the intersection with Fairhill Street. The 2.1-acre property currently contains a 1-story metal pole building previously utilized as an ice-skating rink with an associated parking lot. The two lots are to be consolidated, and all buildings and existing improvements are to be demolished as part of this land development. The Applicant proposes to construct three (3) three-story midrise apartment buildings and one (1) four-story midrise apartment building, containing a total of 132 units. The apartments will be classified as "Student Homes" mainly occupied by students attending nearby colleges and universities. Associated on-site improvements for the project include a total of 264 parking spaces with landscape areas, curbing, sidewalk, retaining walls, etc. Associated off-site improvements include the widening of Fairhill Street by four feet, curbing, sidewalk, stormwater improvements to convey on-site runoff to the Round Meadow Run within the Pennypack Creek Watershed, east of the site near the Little League Baseball field. To account for the increase in impervious surface coverage, the Applicant proposes to install two underground infiltration basins, a vegetated swale, and a rain garden. All proposed buildings will be serviced by public water and sewer.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

III. Reference Documentation

- A. Zoning Map Amendment which rezoned a subject parcel to be located within C-2 Commercial Zoning District.
- B. Upper Moreland Township Zoning Hearing Board Decision & Order No. 19-18, dated June 13, 2019.

On June 13, 2019, the Upper Moreland Township Zoning Hearing Board granted the Applicant, College Town Communities, LLC, the following variances per ZHB No. 19-18:

1. §350-78 – To allow 68% impervious surface coverage, where a maximum 60% impervious surface coverage is permitted.
2. §350-75(D)(2) – To allow the site to not share a common property line with railroad tracks serving a commuter rail station.
3. §350-80(B) – To allow a rear yard setback of 12 feet (amended from five feet) for proposed building #2 and a rear yard setback of 22 feet (amended from 11 feet) for proposed building #9, where the minimum required rear yard setback is 30 feet.
4. §350-75(D)(9) – To allow six-foot wide sidewalks, where sidewalks shall be a minimum width of eight feet and maximum width of 12 feet.
5. §350-275(G) & §350-75(D)(10) – To allow for the proposed streetscape improvements.
6. §350-135(B) – To allow 100% disturbance of steep slopes on the property.

The above-referenced variances were granted subject to the following conditions:

1. All use and development permitted by this Decision shall substantially conform to the exhibits and testimony presented by the Applicant, unless inconsistent with any specific conditions imposed by this Board, in which case these specific conditions shall take precedence.
2. The Applicant shall apply for and obtain all permits required by the Township Codes in a timely manner.
3. The Applicant shall comply with all requirements of the Township during the land development process, and shall comply with all requirements of the Conditional Use Approval from the Board of Commissioners.

Upon review of the plans, we have no specific comments with respect to the above-referenced conditions. We defer review of the proposed streetscape improvements and associated relief to McCloskey & Faber.

- C. Upper Moreland Township Zoning Hearing Board Decision & Order No. 19-35 dated October 10, 2019.

On October 10, 2019, the Upper Moreland Township Zoning Hearing Board granted the Applicant, College Town Communities, LLC, the following variances per ZHB No. 19-35:

1. §350-78 – To allow 68% impervious surface coverage, where a maximum 60% impervious surface coverage is permitted.
2. §350-75(D)(2) – To allow the site to not share a common property line with railroad tracks serving a commuter rail station.
3. §350-75(D)(9) – To allow six-foot wide sidewalks, where sidewalks shall be a minimum width of eight feet and maximum width of 12 feet.
4. §350-135(B) – To allow 100% disturbance of steep slopes on the property.

The above-referenced variances were granted subject to the following conditions:

1. All use and development permitted by this Decision shall substantially conform to the exhibits and testimony presented by the Applicant, unless inconsistent with any specific conditions imposed by this Board, in which case these specific conditions shall take precedence.
2. The Applicant shall apply for and obtain all permits required by the Township Codes in a timely manner.
3. The Applicant shall comply with all requirements of the Township during the land development process, and shall comply with all requirements of the Conditional Use Approval from the Board of Commissioners.

Upon review of the plans, we have no specific comments with respect to the above-referenced conditions.

- D. Upper Moreland Township Conditional Use #CU19-0010 for premises 230 Fairhill Street, dated June 17, 2019, granting Conditional Use approval for the proposed 3-story mid-rise apartment buildings, subject to the following conditions:

1. Applicant shall comply with all response letters issued in response to the Township consultant review letters, including but not limited to, seeking the referenced relief from provisions of the Zoning Ordinance (Chapter 350 of the Upper Moreland Township Code of Ordinances) and Subdivision and Land Development Ordinance (SALDO)(Chapter 300 of the Upper Moreland Township Code of Ordinances).
2. Applicant shall comply with all applicable requirements set forth in the Township's Zoning Ordinance, unless relief from such requirements are requested by the Applicant and granted by the Upper Moreland Township Zoning Hearing Board.
3. Applicant shall comply with all applicable requirements set forth in the Township's SALDO, unless waivers from such requirements are requested by the Applicant and granted by the Board of Commissioners.
4. Applicant shall comply with all testimony presented at the April 1, 2019 and May 6, 2019 conditional use hearings.
5. The approved use shall be designated as a "Student Home" use, and shall be operated in accordance with the following definition:

"A living arrangement for a number of students unrelated by blood, marriage, or legal adoption attending or planning to attend either undergraduate or graduate programs at local colleges or universities or who are on a semester or summer break for studies at local colleges or universities or any combination of such persons. "Student Homes" shall not include fraternities or sororities which are nationally recognized and/or chartered. Furthermore, the term does not apply to property owned or operated by an accredited educational institution."

6. Applicant shall allow Little League patrons to use its parking from May-August of each year.

We defer to the Township Solicitor to determine if an agreement is necessary between the Little League and Applicant to memorialize this condition.

7. Applicant shall pour the concrete for the foundation walls to the expansion joints and provide an architectural masonry finish.

We defer to the Township's Code Enforcement Department to ensure this condition is met during the building permit review process.

8. Applicant shall limit the building height of each building to 3 stories.

The proposed buildings located on the portion of the property subject to this CU Approval are three stories and comply with the condition. However, the Zoning Data table on Title Sheet (TI-1) shall be updated accordingly.

9. Applicant shall make a reasonable effort to assist the Upper Moreland Township Little League in mitigating its stormwater issues and provide any such agreements and/or plans to the Board of Commissioners. The Applicant shall arrange for the Little League's stormwater issues to be maintained as a separate item in its stormwater study and/or stormwater report.

A site meeting was held on February 10, 2020 at the little league field to discuss drainage concerns and potential assistance that could be provided by the Applicant. The submitted plans depict the installation of a concrete curb and inlet along the southern most parking areas, extension of an existing storm pipe, installation of a vegetated swale and rain garden. The depicted improvements are consistent with what was discussed at the site meeting and appear adequate to address the condition of Conditional Use approval.

It appears the vegetated swale and rain garden on the Little League property will be utilized to meet Township and/or NPDES stormwater requirements and an Ownership & Maintenance Agreement will be required for the facilities. Assuming the Applicant will be the entity responsible for ownership & maintenance, an easement agreement between the Little League and Applicant will be required to allow access for maintenance.

10. Applicant shall widen Fairhill Street along the project frontage, in compliance with the testimony presented at the April 1, 2019 conditional use hearing.

The Applicant proposes to widen Fairhill Street by four feet for a total proposed paved width of 28 feet, which we believe is consistent with what was discussed during the Conditional Use proceedings.

11. Applicant shall construct a sidewalk from the Little League field to York Road in compliance with §350-275.B

Sidewalk is currently proposed to extend to the edge of the Little League property, which we believe meets the intent of this condition.

12. Applicant shall comply with all applicable federal, state, and local codes, regulations, and requirements regarding construction of the Project.
13. Applicant shall provide wayfinding amenities on York Road directing visitors to the Little League field, in compliance with applicable state and Township regulations, subject to PennDOT approval.

We defer to McMahan Associates and PennDOT regarding a review of the required wayfinding amenities.

14. Applicant shall comply with the streetscape requirements set forth in §350-75.D.

We defer to the Township's Landscape Architect with respect to the above referenced condition regarded streetscape standards.

15. Applicant shall present a sign plan during the land development phase of the project for approval by the Board of Commissioners.

Presentation of the required sign plan should be made to the Community Development Committee and Board of Commissioners.

16. Applicant shall comply with pedestrian lighting standards recommended by the Board of Commissioners, selected on appropriate streetscape improvement plans, as incorporated in the design.

We defer review of the pedestrian lights to be incorporated into the streetscape until the plans are revised to propose pedestrian lights.

17. Applicant shall pay a transportation impact fee in the amount determined by the Board of Commissioners in consideration of the determinations made by McMahon and Associates and Applicant's engineer, Bogia Engineering, Inc.

We defer to McMahon Associates for calculation of the required Traffic Impact Fee.

18. Applicant shall establish a 25-foot front yard setback from the proposed new curb line of the widened Fairhill Street, according to the draft site plan submitted with the Application, subject to feasibility determined during the land development process and reviewed by the Township's engineers.

A 27-foot front yard setback is provided between the proposed apartment buildings and the proposed curb line of Fairhill Street thereby meeting this condition.

- E. Upper Moreland Township Amended Conditional Use CU #19-0042 for premises 551 N. York Road, dated February 3, 2020, granting Conditional Use approval for the proposed mid-rise apartment buildings, subject to the following conditions:

1. The Use shall comply with the testimony and evidence presented at the December 2, 2019 Conditional Use Hearing.
2. Applicant shall comply with the Conditional Use Comments set forth in the Review Letters issued by the Township Engineer, Township Landscape Architect, Township Traffic Engineer, Montgomery County Planning Commission, and Upper Moreland Township Advisory Planning Agency.
3. The Applicant shall fully comply with the conditions imposed on the development of the adjacent parcel located at 230 Fairhill Street by Upper Moreland Township Zoning Hearing Board Order 2019-18.
4. The Applicant shall fully comply with the conditions imposed on the development of the adjacent parcel located at 230 Fairhill Street contained in the Upper Moreland Township Board of Commissioners' Conditional Use Decision and Order, #CU 19-0010, dated June 17, 2019.
5. The Applicant shall fully comply with the conditions imposed on the development of the adjacent parcel located at 230 Fairhill Street contained in the Upper Moreland Township Board of Commissioners' grant of Preliminary Land Development Plan Approval Resolution 2019-34 dated November 12, 2019.
6. The Applicant shall fully comply with the conditions imposed on the development of 551 N. York Road by Upper Moreland Township Zoning Hearing Board Order #2019-35 dated October 10, 2019.
7. The Applicant shall provide a total of four (4) wayfinding amenities on York Road which direct visitors traveling in the northern and southern directions to the Little League field in compliance with applicable state and Township regulations, subject to PennDOT and Upper Moreland Township approvals.

The Applicant currently proposes two wayfinding signs located at the southern site entrance off of York Road, which complies with the requirements of Resolution 2019-34, Condition 6. We defer to the Board as to whether two additional signs shall be provided in accordance with this condition.

8. The exposed concrete/masonry of the buildings in excess of eighteen (18") inches vertical shall include an architectural masonry finish of one of the following: a masonry/stone veneer, a stucco/EIFS finish, or an adhered manufactured stone veneer or an equivalent, as approved by Upper Moreland Township.
9. The approved Use shall be designated as a "Student Home" use and shall be operated in accordance with the following definition:

"A living arrangement for a number of students unrelated by blood, marriage, or legal adoption attending or planning to attend either undergraduate or graduate programs at local colleges or universities or who are on a semester or summer break for studies at local colleges or universities or any combination of such persons. "Student Homes" shall not include fraternities or sororities which are nationally recognized and/or chartered. Furthermore, the term does not apply to property owned or operated by an accredited educational institution."

The proposed "Student Home" use is identified on the Record Plan in accordance with this condition

10. The Applicant shall comply with all applicable requirements set forth in the Upper Moreland Township Zoning Ordinance, unless relief from such requirements are requested by Applicant and granted by the Upper Moreland Township Zoning Hearing Board.
11. Applicant shall comply with all applicable requirements set forth in the Upper Moreland Township Subdivision and Land Development Ordinance, unless relief from such requirements are requested by the Applicant and granted by the Upper Moreland Township Board of Commissioners.

IV. Review Comments

A. Zoning Ordinance (Chapter 350)

We have identified no issues with the proposed plan in regards to the requirements and provisions of the current Upper Moreland Township Zoning Ordinance.

B. Waivers Requested

The Applicant has requested the following waivers from the Upper Moreland Township Subdivision & Land Development Ordinance (Chapter 300):

1. §300-15.B(1)(b)[1] – To permit a cartway width of 28 feet and right-of-way width of 45 feet on Fairhill Street, where a width of 30 feet and 50 feet is required, respectively.

Proposed widths are consistent with the Conditional Use approval and we have no objection to this request.

2. §300-17.D – To permit a 10-foot wide strip of open space between the proposed buildings and parking lot, where 20 feet is required.

Proposed width is consistent with the Conditional Use approval and we have no objection to the request.

3. §300-17.I – To permit a two-way parking aisle width of 24 feet, where a width of 25 feet is required.

We defer to the Fire Marshal for review of the site with respect to emergency vehicle circulation. We have no objection to the request from a site engineering perspective.

4. §300-18.E – To permit a sidewalk running slope greater than the maximum allowable 5% in areas where the existing site conditions exceeds a 5% slope.

The existing slope of Fairhill Street is greater than 5% and we have no objection to the installation of sidewalk at a slope equal to existing road slope. The sidewalk that connects the York Road right-of-way to the site will need to be installed at 5% or less in accordance with ADA and UCC Standards. As currently depicted, the slope appears to be 6% +/- . As such, the design may need to incorporate a ramp & landing near the York Road right-of-way in order to provide 5% for the remainder of the sidewalk area.

5. §300-19.A(7) – To permit a concrete curb with a reveal of 6 inches within the interior of the site, where an 8-inch reveal is required.

Reduced curb height will allow for easier ADA accessibility and we have no objection to the request.

6. §300-34.D(4) – To permit the removal of all forested areas within the property, where 70% of all forested areas shall be maintained.
7. §300-43.B(2) – To not require a softening buffer for portions of the property line located near the proposed driveway connection to York Road.
8. §300-43.B(2)(d) – To permit man-made slopes of 3:1 within the buffer area, where a maximum slope of 4:1 is allowed.

We have no objection to this request. The Applicant will be required to stabilize 3:1 slopes with erosion control matting during construction.

9. §300-43.C(2) - To not require a screen buffer for portions of the property line located near the proposed driveway connection to York Road.
10. §300-43.C(4)(b) – To permit the use of fences in conjunction with retaining walls, without the use of evergreen and planting material.
11. §300-43.D(1)(a) – One shade tree is required for every 6 parking spaces. The Applicant is requesting a waiver to allow the proposal of 29 shade trees in-lieu-of the 44 shade trees required.
12. §300-43.D(1)(b) – To devote 8% of the gross parking lot area to landscaping, where 10% is required.
13. §300-43.D(1)(d) – To permit parking lot landscaping islands that are 15 feet by 18 feet, where 15 feet by 20 feet is required.
14. §300-43.D(1)(e) – To not require permanent irrigation be provided in parking islands less than 300 square feet.
15. §300-43.D(2)(c) – To permit greater than the maximum allowed six consecutive parking spaces without a 15-foot wide landscape island. The Applicant proposes 19 consecutive parking spaces.
16. §300-43.G(1)(b) – One shade tree per dwelling unit is required. The Applicant is requesting a waiver to allow the proposal of 79 shade trees in-lieu-of the 132 shade trees required.
17. §300-44.A(1) – To permit the removal of all heritage trees.
18. §300-44.A(2) – To permit the removal of all woodland areas, where a minimum of 25% of existing woodlands are required to be preserved.
19. §300-52.C(1) – From the requirement to show all existing features within 400 feet of the proposed land development. We would support a partial waiver from this section conditioned upon the Applicant providing an aerial photograph plan depicting all storm sewer appurtenances within 400 feet of the property.
20. §287-18.Y(6)(a) – To permit pipe diameters less than the minimum required 18 inches. The Applicant proposes to use 12-inch pipes

We defer to McCloskey & Faber for comment on all waivers related to landscaping requirements of the Ordinance. Specifically, numbers 6, 7, and 9 through 18 listed above.

C. Subdivision & Land Development Ordinance (Chapter 300)

We have identified the following issues with the proposed plan in regards to the requirements and provisions of the current Upper Moreland Township Subdivision & Land Development (SALDO) Ordinance:

1. §300-14.G – The Board of Commissioners (Board) may grant modification to the requirements of this ordinance provided the Applicant proves undue hardship. Any waivers should be formally requested from the Township unless the plans are revised to address all comments of this letter relative to the SALDO and Stormwater Ordinances.
2. §300-15.B(1)(b)[3] – York Road should have minimum right-of-way width of 100 feet and a minimum paved width of 52 feet. The full width and half-widths of the York Road legal right-of-way, ultimate right-of-way, and cartway should be dimensioned on the plans. The Applicant should offer the area within the York Road right-of-way to PennDOT. Alternatively, the Applicant should submit a formal waiver request from the requirements of this section to not dedicate additional right-of-way along York Road.
3. §300-16 – We defer to McMahon Associates for review of the plans with respect to driveway locations, parking lot circulation, and traffic impacts.
4. §300-17 – We defer to the Township Code Enforcement Department for review of the plans with respect to the minimum number of required accessible parking spaces and their proposed locations.
5. §300-25 – The Applicant will be required to secure the necessary Erosion & Sediment Control and NPDES permits from the Montgomery County Conservation District for the proposed earth disturbance on site. The Township should be copied on all correspondence with MCCD. In addition, the Construction Sequence located on the Notes Sheet, Sheet 15, should be revised to include a note stating the Township & Township Engineer shall be contacted at least 48 hours prior to the start of construction. Also, the Construction Sequence should be revised to include all site improvements, including paving, building construction, Fairhill Street improvements, etc.
6. §300-26 – The plans shall be submitted to the Upper Moreland – Hatboro Joint Sewer Authority for review. Also, the required PA DEP Planning Module Application must be submitted to the Township for review and signature.
7. §300-27 – The plans shall be submitted to AQUA PA for review and a copy of the agreement with AQUA PA provided upon receipt.
8. §300-30 – All proposed monumentation shall be installed and certified by a Professional Land Surveyor licensed in the Commonwealth of Pennsylvania. A note stating this requirement should be added to the plan.
9. §300-32 – We defer to the Township's Fire Marshal for review and approval of the plans with respect to emergency access and fire protection. Approval from the Fire Marshal is required prior to recording of the plans.
10. §300-33 – Deeds for the existing lots and legal descriptions for the revised lots, right-of-way dedication, utility easements, etc. shall be submitted to our office for review and approval. All metes and bounds should be clearly labeled on the plan. In addition, the Applicant is proposing off-site improvements on the adjacent Little League property. As such, the Applicant will be required to obtain a temporary construction easement for any work on adjacent properties.
11. §300-34.F – The Applicant is required to contribute a fee-in-lieu of open space dedication in accordance with this section. We calculate the fee, based on 132 units at \$500.00 per unit, to be \$66,000.00.
12. §300-39 – We defer to McCloskey & Faber for review of the plans with respect to the requirements of this section and §350-275.
13. §300-52.B – The plan proposes the consolidation of the two subject parcels; however, Note 1 on the Cover, Sheet 1, states two separate owners for each parcel. Documentation should be provided showing that the Applicant is the owner of both properties. Alternatively, Note 1 should be updated to state the equitable owner of each property. In addition, the Existing Features and Demolition Plan, Sheet 2, should be revised to note that the common lot line is to be extinguished.

14. §300-52.C(2) – The Layout Plan, Sheet 3, should be revised to show both the existing legal right-of-way and proposed ultimate right-of-way for Fairhill Road and York Road (S.R. 0263). The areas between the legal and ultimate rights-of way that are to be offered for dedication to the governing body having jurisdiction should be clearly depicted on the plan.
15. §300-52.D(5) – The location, size, and material of all proposed utility connections, including gas and electric services should be added to the Utility Plan, Sheet 5.
16. §300-54.C(1)(b) – Specifications and design calculations for all retaining walls must be submitted to the Township Engineer for review and approval prior to the start of construction.
17. There are several discrepancies with the provided Fairhill ADA Accessibility Plan. We recommend the Applicant contact this office to discuss the required accessibility plan revisions.
18. Township standard cross-sectional details for utility trench restoration in paved and unpaved areas should be added to the plans.
19. A cross-sectional detail should be provided for the Dumpster Enclosure Detail on the Construction Details, Sheet 12, showing the concrete depth and specifications.
20. The Conditional Use Note on Sheet 1 should be revised to reference Conditional Use Approval CU19-0010 in addition to CU19-0042.
21. The Title Sheet, Sheet 1, should be revised to specifically note the variances granted per Zoning Hearing Board Decision & Order No. 19-18, as well as the date of the hearing and all conditions. In addition, the approval date for CU#19-0010 should be revised to June 17, 2019.
22. Note 12 on the Title Sheet, Sheet 1, states "green items" are to be proposed within the proposed apartment complex. The location of these facilities should be depicted on the plan with associated details.
23. The duplicate contact information for Comcast should be removed from the Title Sheet, Sheet 1.
24. Stop signs and stop bars should be located before a crosswalk with a minimum four feet between the leading edges of the crosswalk and stop bar. The Stop signs should be in line with the stop bar. Alternatively, the Applicant may propose pavement markings such as "STOP" at the stop bars where signage cannot be placed. The Layout Plan, Sheet 3, should be revised accordingly. Ultimately, we defer to McMahon & Associates with respect to parking lot circulation and signage.
25. The plans include two separate Luminaire Schedules on the Landscape & Lighting Plan, Sheet 6, and the Construction Details, Sheet 11. The schedules should be revised to correlate with one another. In addition, we recommend the proposed lights on the Landscape & Lighting Plan, Sheet 6, be labeled in accordance with the Luminaire Schedule for clarity.
26. The bottom of Underground Basin 1 should be noted in the Profile: *Sanitary Sewer MH4 to MH3*, located on the Sanitary Sewer Profiles, Sheet 9, to confirm adequate coverage is provided between the bottom of the underground basin and top of the sanitary pipe.
27. The Applicant is responsible for all other required approvals, permits, etc. (i.e. MCPC, MCCD, PADEP, PennDOT, Municipal Authority, Fire Marshal, etc.) Copies of these permits or approvals shall be forwarded to the Township.

F. Stormwater Management Ordinance (Chapter 287)

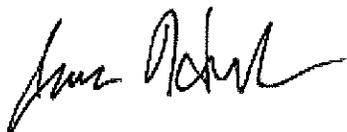
We have identified the following issues with the proposed plan in regards to the requirements and provisions of the current Upper Moreland Township Stormwater Management Ordinance:

1. §287-18.K – BMP storage facilities should completely drain both the volume and rate control capacities over a period of time not less than 24 hours and not more than 72 hours from the end of the design storm. The provided dewatering calculations within the PCSM Narrative show a dewatering time of 1.23 hours for Underground Basin 1. The Applicant should request a waiver from the requirements of this section.
2. 287-18.S – We note the following discrepancies between the Storm Sewer Tabulation Profiles located on Sheet 10:
 - a. MH28 – RIM elevation.
 - b. UGB1 – The RIM elevation should be set at 294.84.
3. §287-18.W – The Outlet Structure (MH-27) Underground Bed #1 detail on the Construction Details, Sheet 12, should be revised as the noted elevations are inconsistent with the information noted within the underground basin pond report, storm sewer calculations, and profiles. The detail should be revised to show any manhole components required for construction, such as conversions slabs, eccentric cones, frames and covers, etc. Side and top sectional views of the structures should be added to plan for further detail with noted dimensions, thickness, weirs, inlet/outlet pipes, etc.
4. §287-31 – A Stormwater Maintenance Agreement will be prepared by the Township Solicitor and executed prior to the plans being recorded.
5. §287-36 – The provided roof leader pipe diameters should be clarified between 4-inch and 6-inch PVC. The calculations within the PCSM Narrative and Legend on the Utility Plan, Sheet 5, should be updated accordingly. In addition, Architectural plans should be submitted to our office showing roof lines of each building to confirm a maximum 4,000 square-foot drainage area to each roof leader, per the provided calculations.

In order to expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. Additional review comments not referenced in this letter may be made upon review of the revised plan submission.

If you have any questions regarding the above, please contact this office.

Sincerely,



James J. Hersh, P.E.
Senior Project Manager
Gilmore & Associates, Inc.

JJH/ve/sl

cc: Matthew Candland, Township Manager
Sean Kilkenny, Esq. & Jennifer Prior, Township Solicitor
Matthew J. Genesisio, 230 Fairhill Associates, LLC, Applicant
Michael Yanoff, Esq., Applicant's Representative
Chuck Frantz, P.E. C2C Design Group
Kim Flanders, RLA, McCloskey & Faber, PC
Chad Dixson, P.E., McMahon & Associates
Erik Garton, P.E., V.P., Gilmore & Associates, Inc.
Vincent Esposito, E.I.T., Gilmore & Associates, Inc.

EXHIBIT

C



McCloskey & Faber, P.C.

Landscape Architecture • Land Planning • Graphic Design

July 8, 2020

Mr. Paul E. Purtell
Director, Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Reference: Second Landscape Plan Review for Fairhill Commons; **551 N. York Road**,
Upper Moreland Township, Montgomery County, PA, M&F No. 215

Dear Mr. Purtell:

We are in receipt of a revised land development submission consisting of sixteen sheets prepared by C2C Design Group, dated June 12, 2020. Proposed landscape development is included on Landscape and Lighting Plan, Sheet LL-1 (6 of 16) and Construction Details, Sheet DE-2 (12 of 16). The submission was received by our office on June 12, 2020. A revised Sheet LL-1 was received by our office on June 22, 2020, which is the subject of our review. A tree count was performed by our office at the site with the Project Landscape Architect on September 5, 2019. An Arborist report dated June 10, 2020 was included with the submission.

The Applicant proposes to demolish existing structures in order to construct four (2, 3 and 4 stories) student apartment buildings (with 132 two-bedroom units total) and clubhouse and 264 parking spaces. The 6.12-acre development site is located in the C-2 Commercial zoning district. C-1 Commercial zoning district lies adjacent to the west, M-Multiple Dwelling zoning district lies adjacent to the south, and R-4 Residential zoning district exists across Fairhill Street to the north.

The Applicant received certain zoning relief associated with maximum impervious coverage, site proximity to commuter rail station, rear yard setback, sidewalk widths, streetscape requirements, and steep slope disturbance.

We are in receipt of a revised waiver request letter dated June 22, 2020. We offer the following comments relative to the *landscape-related waiver* requests:

1. **Section 300-34. D. (4), Forest Preservation** *"No more than 30% of Forest may be cleared or developed; 70% or more shall be retained and maintained as open space."* The Applicant is proposing to remove 100% of the forest areas. **We defer to the Township.**
2. **Section 300-43. B. (2), Softening buffer** *"A 'softening buffer' is a mixed perimeter landscape planting intended to provide an informal separation between neighboring developments."* The Applicant is requesting relief from a portion of the minimum Softening buffer planting requirements along the southern property line adjacent to the Apartment use. **No objection.**

Along the access strip from York Road, Street trees and shrub groupings are required/provided in lieu of Softening buffer plantings, which seems appropriate along the driveway.

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
Fairhill Commons
July 8, 2020
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For the remainder of the 433 LF of property line adjacent to the Apartment use, the Applicant has provided eight Ornamental trees and 56 shrubs. The waiver request letter appears to imply that the waiver is requested for relief from the shrub requirement. Whereas, it appears that the minimum shrub requirement has been met. We note that, however, 17 trees are required, and the landscape design provides for only 8 trees. A vinyl fence is proposed along this property line. We feel the combination of fence and proposed plantings is appropriate and meets the intent of the Softening buffers.

The linear footage of property line, as well as the required and proposed plantings, as indicated within the "Landscaping Requirements" chart should be reviewed and corrected to accurately reflect the proposed conditions.

3. **Section 300-43. B. (2) (d), Softening buffer** *"Within the buffer area, no man-made slopes shall be steeper than one foot in height for each four feet in width (25%)."* The Applicant proposes slopes up to 33%. **No objection** based on the planting design as submitted.
4. **Section 300-43. C. (2), Screen buffer** *"A 'screen buffer' is a predominantly evergreen perimeter landscape planting intended to provide a visual separation between neighboring developments."* The Applicant is requesting relief from a portion of the minimum Screen buffer planting requirements along the access strip from York Road, wherein Street trees are required/provided, along with shrub groupings, in lieu of Screen buffer plantings, which seems appropriate along the driveway. **No objection.** (Additional relief from the minimum Screen buffer requirements appears necessary. Comments are included below under the "PLANTING REQUIREMENTS" section of this letter.)
5. **Section 300-43. C. (3)(b), Screen buffer** *"Screen buffers shall be located within 20 feet of the property lines or right-of-way lines."* Per the waiver request letter, Screen buffer plantings are proposed approximately 35 feet from the property line above a proposed retaining wall for optimal screening. **No objection.**
6. **Section 300-43. C. (4) (b), Screen buffer** *"Walls, fences and/or earth berms may be used in combination with evergreen plant material, subject to the approval of the Upper Moreland Township Board of Commissioners. Details and elevations of fences and walls are to be provided to the Township Engineer and Township Landscape Architect for review."*
 - The Applicant is proposing to utilize fencing in conjunction with retaining walls toward meeting minimum screen buffer requirements adjacent to the Little League properties.
 - Use of walls/fences to meet screen buffer requirements does not necessarily require a waiver but **is subject to approval of the Board of Commissioners.**
 - The response letter indicates that details and elevations for the proposed wall/fence will be provided. The plan notes a chain link fence, which does not provide screening. We would not recommend a chain link fence with plastic slats or a chain link fence with mesh as screening. **Type of wall and fence should be presented to the Board of Commissioners.**
 - Additional comments relative to proposed plantings associated with the proposed fence have been provided below, under the "Landscape Plan Requirements" section.

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
Fairhill Commons
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7. **Section 300-43. D. 1. (a), Parking area landscaping** One shade tree is required for every six parking spaces, and six shrubs for every two parking spaces facing residential.
 - The Applicant has provided 35 of the required 44 trees. (The “Landscaping Requirements” chart should be corrected.) We note that several Individual Lot landscape Shade trees are also provided near parking areas. **No objection** based on the proposed planting design.
 - The shrub requirement has not been met. However, a vinyl fence is proposed. The parking area shrub requirement is intended to screen/soften headlights from view from the adjacent property. **No objection** based on the proposed planting and fence design.
 - Shrubs proposed facing residential are intended to meet minimum Softening buffer requirements and may not count toward meeting more than one requirement. As such, the waiver request letter should be revised accordingly for clarification.
8. **Section 300-43 D. (1) (b), Parking area landscaping** *“A minimum of 10% of any parking facility over 5,000 square feet in gross area, outside curb to outside curb, shall be devoted to landscaping.”* Per the waiver request letter, the Applicant is proposing 8% parking area greenspace. Limitations as noted in the letter include the site topography and the large underground stormwater management facilities. Since the proposed parking areas are not a “sea” of parking, we have **no objection**.
9. **Section 300-43. D. 1. (d), Parking area landscaping** *“Planting islands shall be a minimum of 15 feet wide and 20 feet long. A minimum of one single-trunked shade tree shall be placed in each 300 square feet of planting island.”* Two parking lot islands are void of trees in order to provide for pedestrian circulation (sidewalks). The waiver letter indicates that the Applicant has proposed 15-foot wide by 18-foot deep parking islands. However, we note at least two parking lot islands which are 10 feet in width, are near or directly adjacent to larger green areas,. We have **no objection** to the waiver as requested.
10. **Section 300-43 D. (1) (e), Parking area landscaping** *“Shade trees located within any parking island which is less than 300 square feet measured from outside curb to outside curb will require permanently installed irrigation.”* The applicant is requesting relief from the requirement for irrigation for parking lot islands less than 300 square feet in area. Some of these islands are in area adjacent to larger greenspace areas. We would have **no objection** for parking lot islands with less than 300 square feet of greenspace, not adjacent to larger greenspace areas, since drought tolerant tree species are provided.
11. **Section 300-43.D.(2)(c), Parking area landscaping** Multiple dwelling use shall not have more than six parking spaces in a row without an island. The parking lot layout includes a maximum of 19 spaces in a row without an island. The overall parking lot layout is not a “sea” of parking. **No objection**.
12. **Section 300-3.G. (1) (b), Individual lot landscaping** One shade tree is required per unit. While we would have **no objection** to a reduction to the minimum lot landscaping requirements, we believe there may be opportunities to provide additional plantings. We offer the following

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
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July 8, 2020
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comments and recommendations:

- Based on our calculations, it is our understanding that 14 shade trees and 14.5 shade tree equivalents are proposed toward meeting Individual Lot Landscaping. (The “Landscaping Requirements” chart should be adjusted for clarification.)
- The waiver request letter indicates that the Applicant has proposed 72 of the minimum 132 required trees. However, the 72 trees also include trees required for other landscape categories such as Parking Area Landscaping and Street trees. Per Section 300-43.G.(1)(a), Individual Lot Landscaping is to include plantings above the minimum requirements for other landscape categories. The provided Individual Lot landscaping quantity should be revised accordingly.
- The Applicant may wish to install shrubs as shade tree equivalents within the slope between the fence and the Little League parking lot in order to reduce maintenance in this area.
- We strongly suggest that building foundation landscaping is provided. At a minimum, we recommend appropriate landscape beds are provided to enhance each main building entrance. The plan has been revised to depict “Possible building planting beds (not part of this plan).”
- As part of a Master Plan for the development of Memorial Park prepared by McCloskey & Faber in 2002, streambank stabilization was recommended along Round Meadow Run, which is the receiving stream from the development area. To help meet this goal, the Township may wish to consider converting replacement trees not able to be placed on the development property, as may be determined, into a streambank stabilization effort along the areas of Round Meadow Run near the Little League fields.

13. **Section 300-44 A. (1), Heritage trees** Heritage trees are to be preserved. The development will result in the removal of fourteen (14) Heritage trees. **No objection** based on the following.

- The Arborist report notes sixteen (16) Heritage trees. However, one dead tree has been removed, and one Heritage tree is an invasive species. Of the fourteen remaining trees, six (6) were reported in *Poor* condition, two (2) were reported in *Fair* condition, two (2) were reported in *Fair to Good* condition, and four (4) were reported in *Good* condition.

14. **Section 300-44 A. (2), Woodland preservation** *A minimum of 25% of existing woodland areas are to be preserved on each development.* The Applicant is proposing to remove all woodland of the woodland areas. **We defer to the Township.**

15. **Section 300-45. A.** – relief from the full requirement of replacement trees. **We defer to the Township.**

- The waiver request letter indicates 173 replacement trees are required. Based on the “Replacing Trees Destroyed by Development” chart on Sheet LL-1, we offer the following further breakdown (which we recommend is clearly outlined in the chart):

Required replacement tree calculations:

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
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- 107 trees at 2-1/2" minimum caliper
 - 41 trees at 4" minimum caliper
 - Plus 2 trees at minimum 2-1/2" caliper and 23 trees at minimum 4" caliper based on additional viable trees which are required to be removed to install new parking spaces for the Little League.
Total 173 Required replacement trees
- The calculations for minimum replacement trees consider the declined conditions as reported in the Arborist report, which is acceptable. For instance, trees reported in *Poor* condition were not included in the calculations.
 - The waiver letter indicates that the Applicant is proposing a fee-in-lieu. (Section 300-48.)

We offer the following *technical plan* comments and recommendations:

LANDSCAPE PLAN REQUIREMENTS (Article 5, Section 300-42)

1. The plant schedule is to be expanded to indicate Native species plant material intended to satisfy minimum native species requirements. (Section 300-42 K.) The plant schedule was revised to indicate proposed Native deciduous tree species. However, the requirement is necessary for all plant material. Further revisions are necessary.
2. The quantities of deciduous trees in the Plant schedule should be reviewed and adjusted to match the quantities as proposed in plan view. (Section 300-42 K.)
3. A detailed landscape cost estimate is to be included *with the final landscape plan submission* for determination of the escrow fund. The estimate is to include the guarantee as well as the labor, material, installation and maintenance cost. (Section 300-42 Q.) Estimate is to identify Shade tree caliper size and minimum height for Ornamental trees, Evergreen trees, and shrubs at the time of planting that meet or exceed minimum required sizes. It is to be sent to the Township Engineer with a copy to this office.
4. Location of Tree Protection Fence and a detail for installation are to be indicated on the Landscape Plan. (Section 300-42 R.) In addition, Tree Protection Fence is to be indicated on the Grading Plan and Erosion Control Plan so the appropriate Contractor is aware of the requirements. Protective fence is to be provided for any trees to be retained along the limits of disturbance.
5. The Existing Tree Inventory on the Existing Conditions and Demolition Plan no longer applies and should therefore be eliminated. (General comment)
6. It is recommended that trees are located no closer than 5 feet horizontally from any underground utility. (General comment)

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Mr. Paul Purtell
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PLANTING REQUIREMENTS (Article 5, Section 300-43)

A. Screen Buffer (Section 300-43, C.)

1. As noted in our previous review, once properly applied, it is feasible that additional waivers for relief from the technical requirements associated with perimeter buffers may be necessary.
2. The "Landscape Requirements" chart lists that 193 *shrubs* are proposed to meet minimum Screen buffer requirements, wherein evergreen *trees* are required, and shrubs may be used to supplement the evergreen trees. (Table 1) We offer the following comments and recommendations regarding the proposed screen buffers:

Adjacent to the Little League fields:

As noted above under waiver request comments, the Applicant is proposing to utilize fencing in conjunction with retaining walls toward meeting minimum screen buffer requirements.

We note that the current proposed planting design in this area was revised considerably from the previous design. The reasoning behind the changes is unclear. Furthermore, the current overall screen planting design resulted in an overage of the permitted native screen buffer planting species percentage.

The previous planting design included a mix of evergreen trees in conjunction with evergreen and deciduous hedge shrubs, which seemed appropriate with an appropriate screen fence. The current planting design, for example, now proposes soldier rows of trees along the 127 LF of property south of building 3. Based on the narrow planting space evergreen shrubs as previously proposed may be more appropriate.

219 LF along the York Road side of the development:

The plan does not meet the minimum screen buffer requirements. It appears that, if the proposed deciduous tree row is eliminated, there may be adequate space to provide a double slightly staggered row of evergreen trees.

121 LF along the York Road side of the development:

The plan does not meet the minimum screen buffer requirements. It appears that there may be adequate space to provide double slightly staggered row of evergreen trees.

170 LF along the York Road side of the development:

The plan does not meet the minimum screen buffer requirements. Adequate space is not available between the driveway and the property line to provide the minimum required double staggered row of evergreen trees. While we would have no objection to a waiver for partial relief from the minimum screen buffer requirements, we believe adjustments to the planting design is necessary to closer meet the intent of screen buffer requirements.

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
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B. Steep Slope Landscaping (Section 300-43, H.)

1. Steep slope landscaping is to be provided in all disturbed areas of the site with slopes in excess of 15%. (Section 300-43 H.) The response letter indicates, "Acknowledged" though proposed steep slope landscaping does not appear to be provided in the design. The planting design is to be revised accordingly, or a waiver, with justification, requested.
 - Sodded lawn. Sodded lawn is required on slopes of 6.67:1 (15%) or greater, except where ground cover plantings have been provided. (Section 300-43 H.(1))
 - Ground cover plantings are required on slopes of three to one (33%) or greater. (Section 300-43 H.(2))

RECOMMENDED PLANT LIST (Article 5, Section 300-47)

1. In order to review compliance regarding Table 3 relative to minimum required percentage of native species for various applications, calculations for percentage of proposed native species has been incorporated into the Landscaping Requirements Chart. We offer the following comments:
 - The percentage of native plants should be reviewed and adjusted based on changes to the planting design as a result of response to comments in this review letter.
 - 100% native is indicated for Street trees, whereas it appears that non-native tree species are proposed toward meeting a portion of the minimum street tree requirements. Calculations should be reviewed and adjusted accordingly. (Minimum requirement is 40%.)
 - The chart indicates that 20% of the plantings proposed toward Screen buffers are native, wherein a minimum of 25% is required. The planting design is to be revised accordingly.
 - The chart indicates that 100% of the plantings toward Individual lot landscaping trees are native. However, it appears that some non-native trees are proposed. Calculations should be reviewed and adjusted accordingly. (Minimum requirement is 50%.)
 - The % of proposed Native plants to meet the BMP Planting requirements should be listed.
2. Deciduous shrubs are to be a minimum of 30" in height at installation. (Section 300-47 D.) The plant schedule was revised to indicate a minimum of 30" height for both deciduous and evergreen shrubs, whereas Evergreen shrubs are permitted to be a minimum of 24" height. While this is acceptable, we recommend that the Project Landscape Architect review availability of evergreen shrubs at the minimum height proposed.
3. The plant list was expanded to include the actual intended *spacing* of shrubs. Designed spacing for each shrub species proposed should be reviewed and adjusted further based on the mature size of the species, and intent of the design.

McCloskey & Faber, P.C.

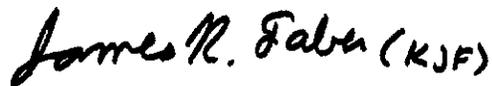
Mr. Paul Purtell
Director, Code Enforcement
Fairhill Commons
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Page 8

The above Landscape Plan review is based on our review of the drawings submitted. It is recommended that the Applicant and their Landscape consultant review and address the recommendations listed in this letter, and, as appropriate, schedule a meeting with us to resolve any miscellaneous issues prior to resubmission to Upper Moreland Township, and resubmit the Landscape Drawings to Upper Moreland Township for further review. Further comments may be forthcoming following our review of the revised drawings addressing the above comments.

In order to help expedite the review process of the resubmission of the plan, we request the Applicant submit a response letter which addresses each of the above comments. Changes that have been made to the plans that are unrelated to the review comments, but impact the landscape, should also be identified in the response letter.

We trust that this landscape plan review letter responds to your request and satisfactorily addresses the landscape ordinance requirements that are apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Very truly yours,



James R. Faber, ASLA
Township Landscape Architect
JRF/ kjf

cc: Matt Candland, Township Manager, Upper Moreland Township (email)
David Elsler – Upper Moreland Township (email)
Jim Hersh, P.E. – Gilmore & Associates (email)
Sean Kilkenny, Esq. and Alex Baumler – Township Solicitor (email)
Michael Yanoff, Esq., Applicant's representative (email)
Chuck Frantz, PE, and Brian Focht, PE C2C Design Group (email)
Dan Bartolo, RLA, C2C Design Group (email)
Matt Genesio, College Town Communities, LLC (email)

EXHIBIT

D



McMAHON ASSOCIATES, INC.
425 Commerce Drive, Suite 200
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p 215-283-9444 | f 215-283-9446

PRINCIPALS

Joseph J. DeSantis, P.E., PTOE
John S. DePalma
Casey A. Moore, P.E.
Gary R. McNaughton, P.E., PTOE
Christopher J. Williams, P.E.

ASSOCIATES

John J. Mitchell, P.E.
R. Trent Ebersole, P.E.
Matthew M. Kozsuch, P.E.
Maureen Chlebek, P.E., PTOE
Dean A. Carr, P.E.
Jason T. Adams, P.E., PTOE
Christopher K. Bauer, P.E., PTOE
Mark A. Roth, P.E.
John R. Wichner, P.E., PTOE

FOUNDER

Joseph W. McMahon, P.E.

July 29, 2020

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review #5**
Fairhill Commons (551 North York Road)
Upper Moreland Township, Montgomery County, PA
McMahon Project No. 819223.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our fifth traffic engineering review of the proposed residential development to be located at 551 North York Road (S.R. 0263) in Upper Moreland Township, Montgomery County, PA. Based on our review of the submitted document, the development will consist of four apartment buildings containing 132 total apartment units. Access to the proposed development will be provided via a full-movement driveway to North York Road (S.R. 0263) and an emergency-only access to Fairhill Street.

The following document was reviewed and/or referenced in preparation of our traffic review:

1. Transportation Impact Study (TIS) Scoping Meeting Application – Fairhill Commons, prepared by Bogia Engineering, Inc.

Based on our review of the document listed above, McMahon offers the following comments for consideration by the Township and action by the applicant. It should be noted that the comments in this letter pertain only to the TIS scoping meeting application and the applicant must still address the comments contained in our July 8, 2020 review letter for the land development plans.

1. Since access to this site is provided via North York Road (S.R. 0263), which is a state road, the scope for the transportation impact assessment (TIA) is recommended to be concurrently reviewed by PennDOT to obtain any further guidance and concurrence on the scope of the study proposed in the TIS scoping meeting application. Any comments from PennDOT should also be

coordinated with our office and the Township, and evaluated and addressed accordingly in the TIA submission.

2. The applicant may be required to modify the lane striping that currently exists along North York Road (S.R. 0263). McMahan will work with the applicant and PennDOT to determine the appropriate limits and configuration of the lane restriping along North York Road (S.R. 0263) after the completion of the site access assessment and during the land development process. Any modifications to the lane striping along North York Road (S.R. 0263) will need to be approved by PennDOT since North York Road (S.R. 0263) is a State road.
3. The applicant has indicated that it will investigate the feasibility of providing shared access with either the adjacent property along North York Road (S.R. 0263) to the north or to the south of the site in order to provide improved access management along this section of North York Road (S.R. 0263). Documentation of any and all conversations between the applicant and the adjacent property owner(s) should be provided in future submissions. It should be noted that the site access assessment will need to account for a shared access with either the adjacent property along North York Road (S.R. 0263) to the north or to the south of the site if a shared access agreement is reached with either of these property owners.
4. The study should use a background growth rate is 0.28 percent per year as contained in PennDOT table entitled, *Growth Factors for August 2019 to July 2020*, for urban non-interstates in Montgomery County.
5. Crash analysis for the most recent five years (i.e. 2014-2018) should be included in the study for all study intersections.
6. The applicant must include the electronic Synchro files with the transportation impact assessment submission.
7. A PennDOT Highway Occupancy Permit (HOP) will be required for this project for any modifications within the legal right-of-way along North York Road (S.R. 0263). The Township and our office must be copied on all submissions, as well as correspondence between the applicant and PennDOT, and invited to any and all meetings among these parties.
8. The proposed development will be subject to the transportation impact fee of \$1,904 per "new" weekday afternoon peak hour trip and the applicant will be required to pay this Transportation Impact Fee in accordance with the Township's *Transportation Impact Fee Ordinance*. Based on Land Use Code 225 (Off-Campus Student Apartment – Over ½ mile from Campus) in the Institute of Transportation Engineers publication, *Trip Generation, Tenth Edition*, the proposed development will generate approximately 80 "new" weekday afternoon peak hour trips. Based on information provided in the TIS scoping meeting application, the existing site generates approximately 48

total "new" trips during the weekday afternoon peak hour. Therefore, providing a credit of 48 "new" trips for the existing use of the site, the number of trips subject to the transportation impact fee is 32, resulting in a transportation impact fee of \$60,928.

9. A response letter must accompany the resubmission of the study and any materials that addresses how each comment has been addressed and satisfied, and where each may be found in the materials being submitted.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed redevelopment apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

BMJ

cc: Matthew Candland, Township Manager
James Hersh, P.E., Township Engineer
Fran Hanney, PennDOT District 6-0
Susan LaPenta, PennDOT District 6-0
Greg Bogia, P.E., Bogia Engineering Inc.



McMAHON ASSOCIATES, INC.
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FOUNDER

Joseph W. McMahon, P.E.

July 8, 2020

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review #4**
Fairhill Commons (551 N. York Road)
Upper Moreland Township, Montgomery County, PA
McMahon Project No. 819223.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our fourth traffic engineering review of the proposed residential development to be located at 551 N. York Road and 230 Fairhill Street in Upper Moreland Township, Montgomery County, PA. Based on our review of the plans submitted, the development will consist of four apartment buildings containing 132 total apartment units. Access to the proposed development will be provided via a full-movement driveway to York Road (S.R. 0263) and an emergency-only access to Fairhill Street.

The following documents were reviewed and/or referenced in preparation of our traffic review:

1. Preliminary Land Development Plans – Fairhill Commons, prepared by C2C Design Group, last revised June 12, 2020.
2. Waiver Request Letter – Fairhill Commons, prepared by C2C Design Group, dated June 11, 2020.
3. Response to Comments Letter – Fairhill Commons, prepared by Bogia Engineering, Inc., dated May 15, 2020.
4. Truck Turning Plan – Fairhill Commons, prepared by C2C Design Group, dated March 26, 2020.
5. Response to Horner and Canter April 20, 2020 Review Letter – Fairhill Commons, prepared by Bogia Engineering, Inc., dated May 15, 2020.

Based on our review of the documents listed above, McMahon offers the following comments for consideration by the Township and action by the applicant. **The comments in this letter only pertain to the land development submission, and the applicant must still address our comments for the Site Access Assessment contained in our December 20, 2019 review letter.**

Waiver Requests

1. The applicant is requesting the following waivers from the Subdivision and Land Development Ordinance:
 - **Section 300-15.B(1)(b)[1] of the Subdivision and Land Development Ordinance**, requiring primary streets to have a minimum right-of-way width of 100 feet and residential streets to have a minimum right-of-way width of 50 feet and a minimum paved width of 30 feet. The plans currently show a 61-foot right-of-way width along the site frontage of York Road (S.R. 0263) and 45-foot right-of-way width and a 28-foot paved width along the site frontage of Fairhill Street. It should be noted that the 61-foot right-of-way width is consistent with the right-of-way width along York Road (S.R. 0263) in the vicinity of the site and the 45-foot right-of-way width and 28-foot paved width is consistent with the right-of-way width and paved width of Fairhill Street in the vicinity of the site.
 - **Section 300-17.D of the Subdivision and Land Development Ordinance**, requiring a minimum of 20 feet of open space between the curblines of any parking area and the outside wall of dwelling units in residential areas. The plans currently show approximately 10 feet of open space between the parking lot and all proposed residential buildings.
 - **Section 300-17.I of the Subdivision and Land Development Ordinance**, requiring a minimum parking aisle width of 25 feet for two-way traffic. The plans currently show 20-foot and 24-foot parking aisle widths.
 - **Section 300-18.E of the Subdivision and Land Development Ordinance**, requiring sidewalks to have a maximum running slope of 5%. The plans currently show a sidewalk running slope of greater than 5% along Fairhill Street.
 - **Section 300-19.A(7) of the Subdivision and Land Development Ordinance**, requiring 8-inch curb reveals. The plans currently show 6-inch curb reveals interior to the site.
 - **Section 300-43.D(2)(c) of the Subdivision and Land Development Ordinance**, requiring a maximum of six parking spaces in a row without a 15-foot wide landscaped island. The plans currently show several parking rows with more than six parking spaces without a landscaped island.

Land Development Plans

2. The applicant may be required to modify the lane striping that currently exists along York Road (S.R. 0263). McMahon will work with the applicant and PennDOT to determine the appropriate limits and configuration of the lane restriping along York Road (S.R. 0263) after the completion

of the site access assessment and during the land development process. Any modifications to the lane striping along York Road (S.R. 0263) will need to be approved by PennDOT since York Road (S.R. 0263) is a State road.

3. The applicant has indicated that it will investigate the feasibility of providing shared access with either the adjacent property along York Road (S.R. 0263) to the north or to the south of the site in order to provide improved access management along this section of York Road (S.R. 0263). Documentation of any and all conversations between the applicant and the adjacent property owner(s) should be provided in future submissions.
4. The stop sign located on the parking lot drive aisle immediately to the north of building 3, at its intersection with the drive aisle immediately to the east of building 3, should be relocated so it is before the crosswalk. A stop bar should also be shown on the plans at this relocated stop sign.
5. ADA ramps should be shown on the plans at the York Road (S.R. 0263) driveway.
6. The "Little League Fields" sign located along York Road (S.R. 0263) at the driveway must be approved by PennDOT with the applicant's HOP application. We may provide additional comments regarding this sign at that time. The applicant should provide additional wayfinding signage internal to the site directing visitors of the little league field to the appropriate parking area(s).
7. Since York Road (S.R. 0263) is part of the State highway system, the applicant will be required to secure a Highway Occupancy Permit (HOP) from PennDOT if any modifications are made to the site frontage within the state right-of-way along York Road (S.R. 0263). The applicant should provide the Township and McMahan with copies of the HOP plans, comments, and response letters between the applicant and PennDOT, and invited to all meetings between the two parties.
8. The proposed development will be subject to the Township's Transportation Impact Fee of \$1,904 per "new" afternoon peak hour trip in accordance with the Township's *Transportation Impact Fee Ordinance*. Based on ITE Land Use Code 225 (Off-Campus Student Apartment – Over ½ mile from Campus) published in *Trip Generation, Tenth Edition*, the proposed development will generate approximately 80 "new" trips during the weekday afternoon peak hour. The project's Site Access Assessment indicates the existing ice rink use generated approximately 48 weekday afternoon peak hour trips. Therefore, the net "new" trips which would be assessed the Township's impact fee is 32 afternoon peak hour trips, resulting in a total Transportation Impact Fee of \$60,928.

Based on a review of the document listed above, the applicant should address the aforementioned comments, and provide revised plans to the Township for further review and approvals. A response letter that addresses our comments should accompany the resubmission.

Mr. Paul Purtell

July 8, 2020

Page 4 of 4

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed redevelopment apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Chad Dixon".

Chad Dixon, AICP, PP
Senior Project Manager

BMJ

cc: Matthew Candland, Township Manager
James Hersh, P.E., Township Engineer

Advisory Planning Agency
August 20, 2020

Minutes

A meeting of the APA was held on August 20, 2020 at 5:00 PM in the UMT Building. Members present included Vice-Chairman Dan Barber, George Hartman, Ray Fox, Arlene Rubin & Dee Barnes. Not present were Gerry Foley, Denis Hurley & Claire Warner.

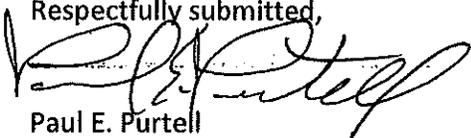
Land Development

2255 Wyandotte Road land development. Rick Stoneback, project engineer and Tom Joyce from the Faulkner organization were present to describe the proposed project. The former multi-use property is being improved for an auto detail and vehicle storage use for the Faulkner organization. Some buildings were removed to allow for the development while one building was saved which will be used for the auto-detailing. Applicants will provide emergency access from Wyandotte Road to the former NMS Labs property on Welsh Road along with a water and sewer easement to allow future development of that property. Rick Stoneback reviewed the proposed stormwater management system. They are limited on infiltration due to the environmental issues below grade. Applicants are providing a landscape buffer along the railroad to minimize the impact to the homes on other side of railroad. Meetings had been held on site with UMT and their landscape architect to discuss proposed buffer. Paul Purtell discussed the MCPC 247 review letter, dated 7/16/20, and there were no substantive comments other than the previously discussed emergency access to Welsh Road property.

Dee Barnes made a motion to recommend approval of the land development application; seconded by Arlene Rubin. All in favor.

No further business. Meeting adjourned at 5:10 PM.

Respectfully submitted,



Paul E. Purtell
Director, Code Enforcement

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION NO. 2020-34

A RESOLUTION GRANTING PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL WITH CONDITIONS TO JJLH-WR, LLC FOR DEMOLITION OF THE MAJORITY OF EXISTING BUILDINGS AND REHABILITATION OF A 5,000 SQUARE FOOT BUILDING FOR VEHICLE STORAGE AND CAR PREPARATION AT THE PROPERTY LOCATED AT 2255 WYANDOTTE ROAD, WILLOW GROVE, UPPER MORELAND TOWNSHIP.

WHEREAS, JJLH-WR, LLC (the “Applicant”) filed an application with Upper Moreland Township requesting approval with certain waivers (the “Land Development Application”) for the demolition of existing buildings and the rehabilitation of a 5,000 square foot building for use as a vehicle storage and car preparation area (the “Project”); and

WHEREAS, the Applicant has submitted the following in support of the Land Development Application: Preliminary/Final Land Development Plans for 2255 Wyandotte Road prepared by Charles E. Shoemaker, Inc. dated July 1, 2020, consisting of Sheets 1 to 14 of 14 (the “Plans”); Post Construction Stormwater Management Narrative & Erosion Control Narrative for 2255 Wyandotte Road, prepared by Charles E. Shoemaker, Inc., dated July 1, 2020; Landscape and Lighting Plans for 2255 Wyandotte Road prepared by InFocus Planning, dated July 1, 2020, consisting of Sheets 1 to 2 of 2, and; Drainage Area Plans for 2255 Wyandotte Road prepared by Charles E. Shoemaker, Inc. dated July 1, 2020, consisting of Sheets 1 to 2 of 2. The Plans are attached hereto as **Exhibit “A”** and incorporated herein by reference; and

WHEREAS, the Plans involve the property owned by the Applicant located at 2255 Wyandotte Road, Willow Grove, PA 19090, Montgomery County, Tax Parcel Number 59-00-19417-00-9 (Block 46B, Unit 15); and

WHEREAS, The 3.7 acre subject property located at 2255 Wyandotte Road is within the Upper Moreland Township’s S –Small Limited Industrial Zoning District and currently contains two existing buildings with surrounding stone parking areas which the Applicant is proposing to remove a majority of the existing buildings and restore a portion of one 5,000 square foot existing buildings for the use as a vehicle storage and car preparation area; and

WHEREAS, the Applicant has proposed associated on-site improvements which include the construction of a paved parking lot and additional paved vehicle storage area with curb fencing, landscape, lighting and other associated improvements. To handle the increase in runoff from the proposed improvements, the Applicant is proposing to install an underground detention basin and associated stormwater structures. The site will be serviced by public water and sewer; and

WHEREAS, the Applicant has requested waivers from requirements set forth in Chapters 287 “Stormwater Management” and 300 “Subdivision and Land Development” of the Upper Moreland Township Code of Ordinances, more fully referenced in Paragraph 11 below; and

WHEREAS, the Township Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions set forth in the review letter dated July 23, 2020, attached hereto as **Exhibit "B"** and incorporated herein by reference; and

WHEREAS, the Township Landscape Architect has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated August 4, 2020 attached hereto as **Exhibit "C"** and incorporated herein by reference; and

WHEREAS, The Township Traffic Engineer has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the conditions and comments set forth in the review letter dated July 29, 2020 attached hereto as **Exhibit "D"** and incorporated herein by reference; and

WHEREAS, The Montgomery County Planning Commission has reviewed Applicant's Preliminary/Final Land Development Plans and has recommended their approval, subject to the comments set forth in the review letter dated July 16, 2020 attached hereto as **Exhibit "E"** and incorporated herein by reference; and

WHEREAS, based on Applicant's presentation of the Project on August 10, 2020 the Upper Moreland Township Community Development Committee has recommended Conditional Preliminary/Final Approval of the Applicant's Preliminary/Final Land Development Plans; and

WHEREAS, the Upper Moreland Township Board of Commissioners has determined that based on the testimony, and reviews of Township Consultants, Applicant has satisfactorily established that Conditional Preliminary/Final Land Development Approval will not be contrary to the public interest.

NOW, THEREFORE, BE IT RESOLVED, by the Upper Moreland Township Board of Commissioners that the Applicant's Preliminary/Final Land Development Plans are hereby granted Conditional Preliminary/Final Land Development Approval, subject to the satisfaction of the following conditions by the Applicant:

1. Except as modified herein, Applicant shall comply with all other applicable Township Ordinances, County, Commonwealth and Federal statutes, rules, and regulations, and obtain all applicable permits and approvals including but not limited to, obtaining the approval of the fire marshal, UMHJSA permit, Aqua of Pennsylvania permit, Montgomery County Conservation District permits, and DEP permits.

2. Applicant shall strictly comply with all applicable Americans With Disabilities Act accessibility standards as promulgated by the Department of Justice and the International Code

Council, ANSI 117.1, for the construction of accessible facilities, including, but not limited, to handicapped parking spaces on the Property.

3. The Applicant shall comply with all conditions and comments set forth in the Township Engineer's review letter attached hereto as **Exhibit "B"**.

4. The approved uses of the Property shall be strictly limited to only those automobile uses granted by previous Township zoning approvals and zoning use permits. Said permitted uses shall be strictly limited to vehicle repair, including body work, detailing and refinishing, storage of vehicle inventory and office use.

5. The Applicant hereby covenants to strictly comply with the current Upper Moreland Township Zoning Ordinance provisions regarding the erection, placement and operation of billboard signage which are in full force and effect upon the expiration of the lease agreement for the current billboard erected on the Property.

6. Applicant shall provide wayfinding amenities to the satisfaction of the Township on Wyandotte Road which inform of emergency access areas and prohibit parking within said areas in compliance with applicable state and Township regulations, subject to PennDOT and Upper Moreland Township approvals.

7. Applicant shall provide a blanket easement for all stormwater management facilities to provide ingress to and egress from a public right-of-way and shall provide utility easements for public sewer and water, domestic and fire, from Wyandotte Road to the property located at 3701 Welsh Road as approved by Upper Moreland Township and the Upper Moreland-Hatboro Joint Sewer Authority.

8. The Applicant shall enter into a Stormwater Management Facilities Agreement with the Township for perpetual ownership and maintenance of proposed stormwater Best Management Practices, to be prepared by the Township Solicitor, and executed prior to the start of construction.

9. Unless waived by the Board of Commissioners, the Applicant shall comply with all conditions and comments set forth in the Township Landscape Architect's review letter attached hereto as **Exhibit "C"**.

10. The applicant shall comply with all conditions and comments set forth in the Township's Traffic Engineer's review letter dated July 29, 2020 and attached hereto as **Exhibit "D"**. This will result in a Traffic Impact Fee requirement of **\$1,904.00**.

11. Further, the Board of Commissioners takes the following action as to the Applicant's request for waivers from the requirements of Chapters 287 "Stormwater Management," and 300 "Subdivision and Land Development" of the Upper Moreland Township Code of Ordinances:

A. §287-18.K: From the requirement that stormwater management storage facilities should completely drain both the volume control and rates control capacities over a period of time not less than 24 and not more than 72 hours from the end of the design storm. Due to infiltration rates and the underground basin design plan, Applicant's Underground Bed is calculated to dewater in 147 hours which is in compliance with Pennsylvania Department of Environmental Protection ("PA DEP") Managed Release Concept ("MRC") standards;

Granted Denied

B. §287-22: From the groundwater recharge requirements as the proposed vehicle detailing facility is considered a potential hotspot in accordance with §287-6.C(2)(a) which prohibits groundwater recharge of the untreated stormwater runoff. In addition, the Stormwater Management report noted that a groundwater investigation revealed the presence of solvent contamination in the far southeastern portion of the site. While the investigation report notes that the contamination likely originates offsite, as a result, it advised against the infiltration of stormwater;

Granted Denied

C. §300-43.D(1)(b): From the requirement that a minimum of 10% of any parking facility over 5,000 square feet in gross area shall be devoted to landscaping to permit Applicant to devote less than 10% of the gross parking lot area to landscaping based on the shape of the Property limiting planting opportunities;

Granted Denied

D. §300-43.D(1)(d): From the requirement that a planting island is to be 15 feet wide and 20 feet long with a minimum of one single tree trunk to be placed in each island as the Plans' parking islands are all adjacent to larger greenspace areas on the Property;

Granted Denied

E. §300-43.D(1)(e): From the requirement that parking islands less than 300 square feet must have permanently installed irrigation to not require permanent irrigation as the proposed parking islands are all adjacent to larger greenspace areas on the Property and the trees proposed to be planted in the parking islands are drought tolerant;

Granted Denied

F. §300-43.D(2)(b): From the requirement of a maximum allowed 12 consecutive parking spaces without a 15-foot wide landscape island. The Applicant proposes one single parking row consisting of 15 consecutive parking spaces and the proposed parking islands are all adjacent to larger greenspace areas on the Property;

Granted Denied

G. §300-52.C(1): From the requirement to show existing features within 400 feet of the site. The Applicant has provided an aerial photograph of the surrounding area showing existing features within 400 feet of the property in lieu thereof;

Granted Denied

H. §300-50.E(3): From the requirement of a preliminary plan submission to permit Applicant's Plan to be classified as Preliminary/Final.

Granted Denied

12. This Resolution will expire in two years from the date of this Resolution, unless extended in writing by the Township.

13. This Conditional Preliminary/Final Land Development Approval does not and shall not authorize the construction of improvements or buildings exceeding those shown on the Plans. Furthermore, this Conditional Preliminary/Final Land Development Approval shall be rescinded automatically upon the Applicant's or the Applicant's agent's failure to accept, in writing, all conditions herein imposed within ten (10) days of receipt of this Resolution, such acceptance to be evidenced by the Applicant's or the Applicant's agent's signature below.

14. By approving this Resolution, the Applicant is signifying acceptance of the conditions contained herein.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, in a public meeting held this 14th day of September, 2020.

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS:**

ATTEST:

Matthew H. Candland, Township Manager

By: _____
Kevin C. Spearing, President

In the event that the executed Resolution is not delivered to the Township within ten (10) days of receipt, it shall be deemed that the Applicant does not accept these conditions, and approvals conditioned upon its acceptance are revoked, and the application is considered denied for the reasons set forth above.

Attest: _____

ACCEPTED BY:

JJLH-WR, LLC

By: _____
Name:
Date:

EXHIBIT

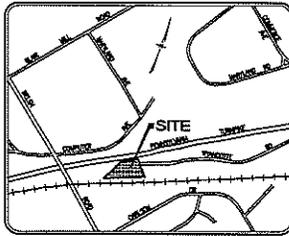
A

VEHICLE STORAGE & CAR PREPARATION BUILDING

LOCATED AT

2255 WYANDOTTE ROAD
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

JULY 1, 2020



LOCATION MAP
SCALE: 1" = 800'

APPLICANT / DEVELOPER

JJLH-WR LLC
4437 STREET ROAD
FEASTERVILLE, PA. 19053

LANDSCAPE / PLANNING

INFOCUS PLANNING
7715 CRITTENDEN STREET # 343
PHILADELPHIA, PA 19118
267 - 336 - 7411

CIVIL ENGINEERS / LAND SURVEYORS

CHARLES E. SHOEMAKER, INC.
1007 EDGE HILL ROAD
ABINGTON, PA. 9001
215 - 887 - 2165

LIST OF DRAWINGS

SHEET No.	CIVIL SITE PLANS
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	LEGAL FACILITY MAP
4	EXISTING FEATURES/DEMOLITION PLAN
5	GRADING & UTILITY PLAN
6	EROSION & SEDIMENT CONTROL PLAN
7	EROSION CONTROL DETAILS
8	EROSION CONTROL DETAILS
9	STORM PROFILES
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS
12	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN **
13	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN **
14	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS **

REFERENCE PLANS

InFocus Planning - Land Planning and Landscape Architecture
Rohrer Valley, PA, ASLA, LEED AP

SHEET No. DESCRIPTION

LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE DETAILS
LP-3	LIGHTING PLAN

** PLAN SHEETS 12, 13 & 14 OF THIS PLAN SET ARE TO BE RECORDED WITH THE INDEPENDENT FOR THE REGISTRATION OF CONVEYANCES AND INSTRUMENTS IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF REVENUE'S REGULATIONS PERTAINING TO CONVEYANCES. THIS PROPERTY IS INCLUDED WITHIN THE MONTGOMERY COUNTY JURISDICTION. THESE PLANS ARE SUBJECT TO THE SUPERVISION OF THE MONTGOMERY COUNTY ENGINEER AND THESE ENGINEERS IDENTIFY CHANGES FROM CONSTRUCTIVE STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES (BMP) THAT ARE LOCATED ON THIS PROPERTY WHICH ARE TO BE MAINTAINED FOR THE LIFE OF THE PROJECT.

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION:



Division of Professional Regulation (DPR) (Date)

PROFESSIONAL ENGINEER'S CERTIFICATION:



Division of Professional Regulation (DPR) (Date)

DATE	BY	REVISION

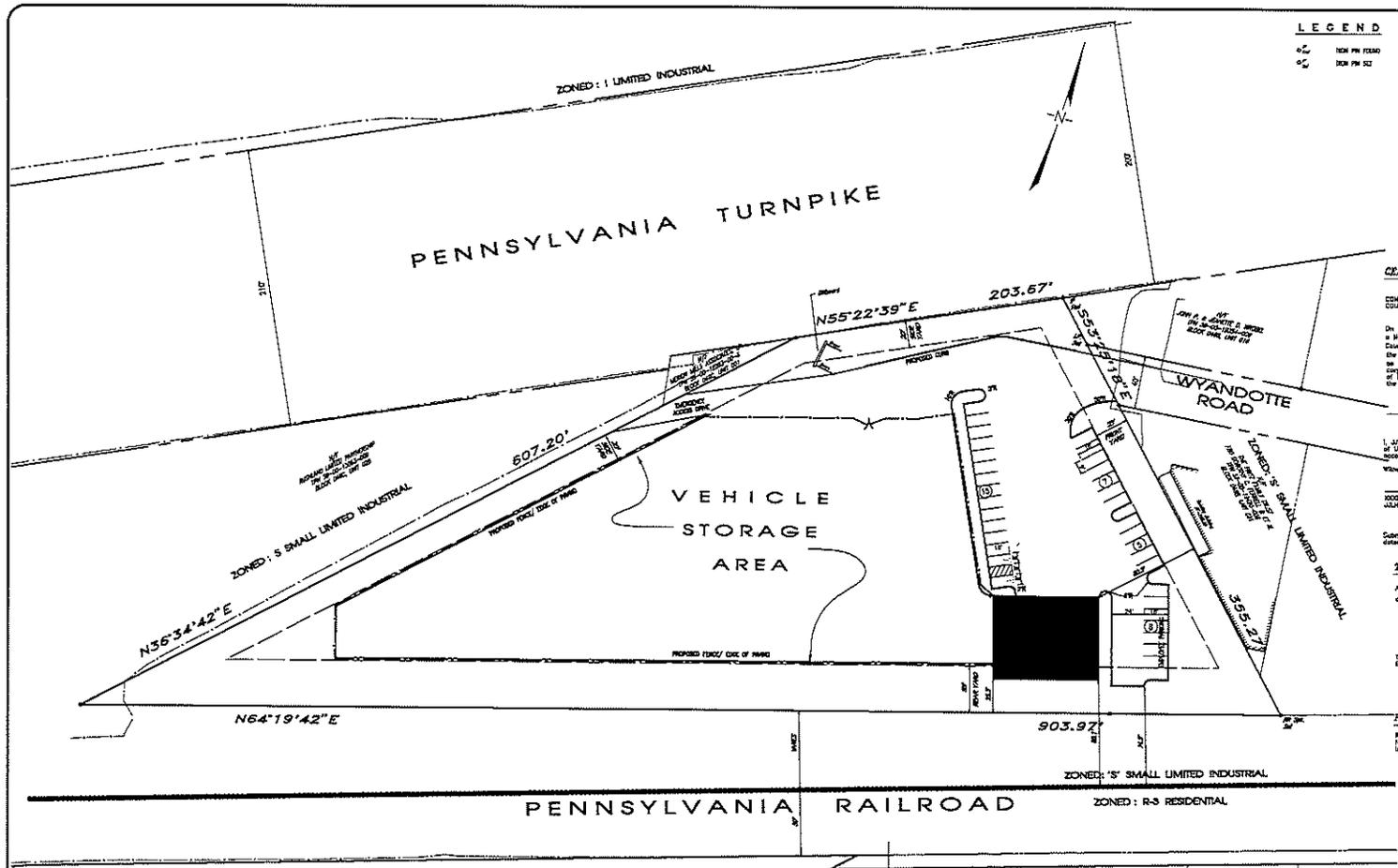
COUNTY INDEX NO.
94-03-19417-202
DATE: 06-23-20
JOB NO.: 2019-07
SITE ADDRESS:
2255 WYANDOTTE ROAD
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA 19053
EXTD. INDEX NO.:
DATE: 06/23/20

RECORD OWNER:
JJLH-WR LLC
4437 STREET ROAD
FEASTERVILLE, PA 19053

CHARLES E. SHOEMAKER, INC.
1007 EDGE HILL ROAD ABINGTON, PA. 18001
PHONE: 215-887-2165 FAX: 215-887-7791
E-MAIL: ceshoemaker@shoemakerinc.com

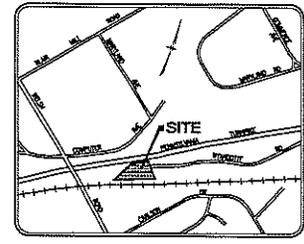
COVER SHEET
2255 WYANDOTTE ROAD
UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PA
Project # for
JJLH - WR LLC

DATE: JULY 1, 2020
DWG. NO.: LP-WR-7-014
JOB NO.: 25856A
SHEET NO.: 1 OF 14



LEGEND

1/2"	100' PER FOOT
3/8"	100' PER FOOT



CERTIFICATIONS
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF MONTGOMERY

On the _____ day of _____, 20____, A.D., before me, the undersigned, a Notary Public in and for the County of Montgomery, Pennsylvania, residing in _____, the undersigned appeared before me _____, the undersigned known to be the President of JULY-WR LLC, a Pennsylvania Limited Liability Company, and that he was fully authorized to do so, he requested the foregoing plan and the plat of the site has been obtained and is attached thereto, and that said corporation desires that the foregoing plan may be duly recorded.

Whereby I, Notary Public, do hereby certify that _____ My Commission Expires _____
 JULY-WR, LLC, here held and upon our land, situated in the Township of Upper Merion, County of Montgomery, Commonwealth of Pennsylvania, certain lots and areas according to the accompanying plan which is intended to be recorded.
 X_____, President
 JULY-WR, LLC

Submitted herewith are a complete set of construction improvement plans marked sheet 1-XX and sheet XX-2078 as attached.

TOWNSHIP SIGNATURES
 Approved by the Board of Commissioners of the Township of Upper Merion this _____ day of _____, 20____.
 _____ President
 _____ Secretary
 This land development plan was reviewed by Citrone & Associates, Inc., the appointed Township Engineer for Upper Merion Township this _____ day of _____, 20____.
 _____ Township Engineer

RECORDER OF DEEDS
 Recorded this _____ day of _____, 20____, in the office for the recording of deeds, in and for the County of Montgomery, of Northtown, Pennsylvania in Plan Book No. _____, Page _____.

DATE	TIME	BY

COUNTY RECORDS
 JULY-WR LLC
 4437 STREET ROAD
 FOSTERTOWN, PA. 17033

CHARLES E. SHOEMAKER, INC.
 ENGINEERS & ARCHITECTS
 18007 EDGE HILL ROAD, ABERGLEN, PA. 18001
 PHONE 484-887-2100 FAX 484-887-7798
 E-MAIL: charles@shoemakerinc.com

SITE DEVELOPMENT PLAN
 2255 WYANDOTTE ROAD
 UPPER MERYON TOWNSHIP
 MONTGOMERY COUNTY, PA.
 JULY - WR LLC

DATE: JULY 1, 2020
 DWG NO.: UP-MER-7-4215
 JOB NO.: 25856A
 SHEET NO.: 2 OF 14

PERMITTED EXISTING AUTOMOTIVE USES
 BY ZONING HEARING BOARD DECISION OF 1/23/73 & 5/1/73
 TO INCLUDE AUTO REPAIR AND MOTOR VEHICLE STORAGE
 SEE ALSO ZONING OPINION LETTER DATED DECEMBER 5, 2010

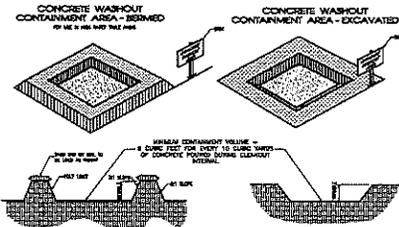
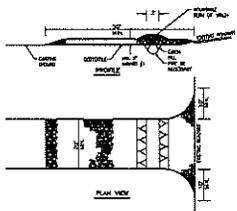
S - SMALL LIMITED INDUSTRIAL DISTRICT

	REQUIREMENT	PROPOSED
MIN. LOT AREA	2 ACRES	162,034 S.F. or 3.7 AC.
FRONT YARD	25 FT	80.5 FT
SIDE YARD	33 FT	215.3 FT
REAR YARD	35 FT	25.3 FT *
MAXIMUM BUILDING AREA	35 %	3.1 % (5,040 SF)
MAXIMUM IMPERVIOUS AREA	70 %	85.9 % (106,501 SF)
MAXIMUM BUILDING HEIGHT	40 FT-2 STORES	22.2 FT (EXISTING)
PARKING REQUIREMENTS:		
5 SPACES/SERVICE STALL	7 STALLS-35 SPACES	34 SPACES
SETBACKS TO RESIDENTIAL DISTRICT:		
BLDG. SETBACK	200 FT.	80.1 FT. *
PARKING SETBACK	100 FT.	74.5 FT. *

* - DENOTES EXISTING NON-COMFORMING CONDITION

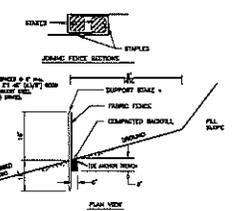
SIPC No. 18-0000-0000
 PREPARED and REVISED Report prepared by Montgomery County Planning Commission in accordance with the Municipalities Planning Code. Contact the site _____ for the Director Montgomery County Planning Commission

SITE AREA
 AREA TO THE TITLE LINE
 162,034 SF or 3.7198 Acres



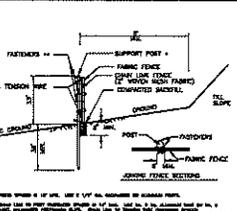
NOTES:
 1. Review layout prior to installation of rock construction system. Ensure rock over full width of structure.
 2. Rock shall be derived from quarry to a suitable uniform, rounded rock prior to entering rock construction system.
 3. Manufacturer shall be installed without additional fabric liner to catch and prevent rock pieces as specified by manufacturer in the construction manual. The rock shall be placed appropriately for size of rock being used.
 4. Manufacturer shall be installed without additional fabric liner to catch and prevent rock pieces as specified by manufacturer in the construction manual. The rock shall be placed appropriately for size of rock being used.

ROCK CONSTRUCTION ENTRANCE
 N/A



NOTES:
 1. Rock shall have the following properties as shown in Table A-1.
 2. Rock shall be free of oil, grease, dirt, and other contaminants.
 3. Rock shall be free of sharp edges and corners.
 4. Rock shall be free of any other material that may be detrimental to the structure.
 5. Rock shall be free of any other material that may be detrimental to the structure.

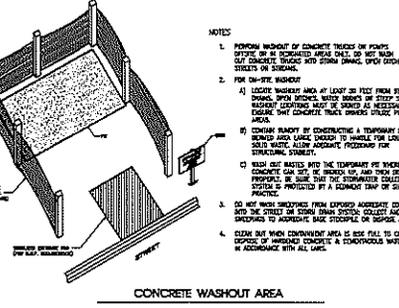
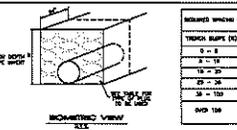
STANDARD FILTER FABRIC FENCE (18")
 N/A



NOTES:
 1. Filter fabric shall have the following properties as shown in Table A-1.
 2. Filter fabric shall be free of oil, grease, dirt, and other contaminants.
 3. Filter fabric shall be free of sharp edges and corners.
 4. Filter fabric shall be free of any other material that may be detrimental to the structure.
 5. Filter fabric shall be free of any other material that may be detrimental to the structure.

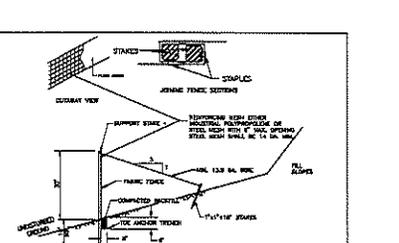
SUPER FILTER FABRIC FENCE (30")
 N/A

ALTHOUGH NO REINFORCES OR SIMPER SILT FENCE IS SHOWN IN PLAN, IF THE CONTRACTOR NEEDS TO PROVIDE ADDITIONAL SILT FENCE TO ADDRESS UNFORESEEN ISSUE, HE SHOULD REFER TO THESE DETAILS



CONCRETE WASHOUT AREA
 N/A

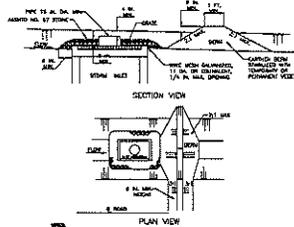
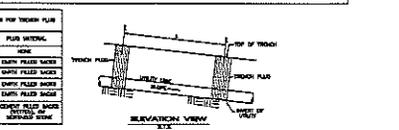
NOTES:
 1. FINISH MINIMUM OF CONCRETE THICKNESS OF 4" MINIMUM, OFFSIDE OF 3" MINIMUM. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISH SURFACE.
 2. FINISH SURFACE SHALL BE SMOOTH AND FREE OF DEFECTS.
 3. CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISH SURFACE.
 4. CONCRETE SHALL BE PLACED AND FINISHED TO THE FINISH SURFACE.



NOTES:
 1. Filter fabric shall have the following properties as shown in Table A-1.
 2. Filter fabric shall be free of oil, grease, dirt, and other contaminants.
 3. Filter fabric shall be free of sharp edges and corners.
 4. Filter fabric shall be free of any other material that may be detrimental to the structure.
 5. Filter fabric shall be free of any other material that may be detrimental to the structure.

REINFORCED FILTER FABRIC FENCE (30")
 N/A

ALTHOUGH NO REINFORCES OR SIMPER SILT FENCE IS SHOWN IN PLAN, IF THE CONTRACTOR NEEDS TO PROVIDE ADDITIONAL SILT FENCE TO ADDRESS UNFORESEEN ISSUE, HE SHOULD REFER TO THESE DETAILS



NOTES:
 1. Stone shall have the following properties as shown in Table A-1.
 2. Stone shall be free of oil, grease, dirt, and other contaminants.
 3. Stone shall be free of sharp edges and corners.
 4. Stone shall be free of any other material that may be detrimental to the structure.
 5. Stone shall be free of any other material that may be detrimental to the structure.

STONE INLET PROTECTION AND BERM - TYPE M INLET
 NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #4-6
 ROCK FILTER OUTLET

NOTES:
 1. Rock shall have the following properties as shown in Table A-1.
 2. Rock shall be free of oil, grease, dirt, and other contaminants.
 3. Rock shall be free of sharp edges and corners.
 4. Rock shall be free of any other material that may be detrimental to the structure.
 5. Rock shall be free of any other material that may be detrimental to the structure.



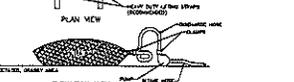
STANDARD CONSTRUCTION DETAIL #4-7
 FILTER BAG INLET PROTECTION - TYPE C INLET

NOTES:
 1. Filter bag shall have the following properties as shown in Table A-1.
 2. Filter bag shall be free of oil, grease, dirt, and other contaminants.
 3. Filter bag shall be free of sharp edges and corners.
 4. Filter bag shall be free of any other material that may be detrimental to the structure.
 5. Filter bag shall be free of any other material that may be detrimental to the structure.



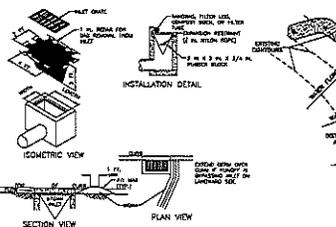
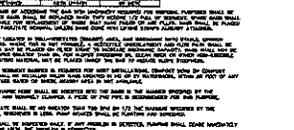
STANDARD CONSTRUCTION DETAIL #4-8
 COMPOST FILTER SOCK DETAIL

NOTES:
 1. Compost filter sock shall have the following properties as shown in Table A-1.
 2. Compost filter sock shall be free of oil, grease, dirt, and other contaminants.
 3. Compost filter sock shall be free of sharp edges and corners.
 4. Compost filter sock shall be free of any other material that may be detrimental to the structure.
 5. Compost filter sock shall be free of any other material that may be detrimental to the structure.



STANDARD CONSTRUCTION DETAIL #4-9
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



NOTES:
 1. Stone shall have the following properties as shown in Table A-1.
 2. Stone shall be free of oil, grease, dirt, and other contaminants.
 3. Stone shall be free of sharp edges and corners.
 4. Stone shall be free of any other material that may be detrimental to the structure.
 5. Stone shall be free of any other material that may be detrimental to the structure.

STANDARD CONSTRUCTION DETAIL #4-10
 FILTER BAG INLET PROTECTION - TYPE C INLET

NOTES:
 1. Filter bag shall have the following properties as shown in Table A-1.
 2. Filter bag shall be free of oil, grease, dirt, and other contaminants.
 3. Filter bag shall be free of sharp edges and corners.
 4. Filter bag shall be free of any other material that may be detrimental to the structure.
 5. Filter bag shall be free of any other material that may be detrimental to the structure.



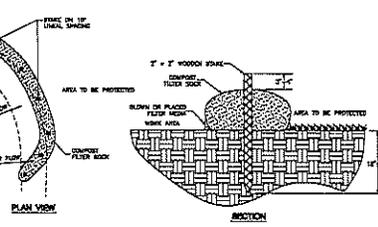
STANDARD CONSTRUCTION DETAIL #4-11
 COMPOST FILTER SOCK DETAIL

NOTES:
 1. Compost filter sock shall have the following properties as shown in Table A-1.
 2. Compost filter sock shall be free of oil, grease, dirt, and other contaminants.
 3. Compost filter sock shall be free of sharp edges and corners.
 4. Compost filter sock shall be free of any other material that may be detrimental to the structure.
 5. Compost filter sock shall be free of any other material that may be detrimental to the structure.



STANDARD CONSTRUCTION DETAIL #4-12
 SLOPE INSTALLATION

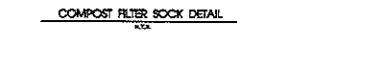
NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



NOTES:
 1. Stone shall have the following properties as shown in Table A-1.
 2. Stone shall be free of oil, grease, dirt, and other contaminants.
 3. Stone shall be free of sharp edges and corners.
 4. Stone shall be free of any other material that may be detrimental to the structure.
 5. Stone shall be free of any other material that may be detrimental to the structure.

STANDARD CONSTRUCTION DETAIL #4-13
 COMPOST FILTER SOCK DETAIL

NOTES:
 1. Compost filter sock shall have the following properties as shown in Table A-1.
 2. Compost filter sock shall be free of oil, grease, dirt, and other contaminants.
 3. Compost filter sock shall be free of sharp edges and corners.
 4. Compost filter sock shall be free of any other material that may be detrimental to the structure.
 5. Compost filter sock shall be free of any other material that may be detrimental to the structure.



STANDARD CONSTRUCTION DETAIL #4-14
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



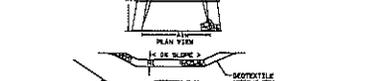
STANDARD CONSTRUCTION DETAIL #4-15
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



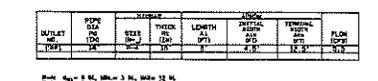
STANDARD CONSTRUCTION DETAIL #4-16
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



STANDARD CONSTRUCTION DETAIL #4-17
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



STANDARD CONSTRUCTION DETAIL #4-18
 SLOPE INSTALLATION

NOTES:
 1. Slope shall have the following properties as shown in Table A-1.
 2. Slope shall be free of oil, grease, dirt, and other contaminants.
 3. Slope shall be free of sharp edges and corners.
 4. Slope shall be free of any other material that may be detrimental to the structure.
 5. Slope shall be free of any other material that may be detrimental to the structure.



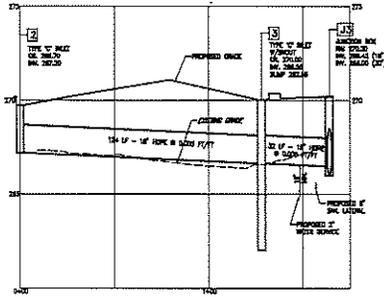
DATE: MAY 1, 2020
 TIME: 10:00 AM
 PROJECT NO.: 25856A
 SHEET NO.: 7 OF 14

RECORDED OWNER:
JULH-WR LLC
 4537 STREET ROAD
 FERRISVILLE, PA 16833

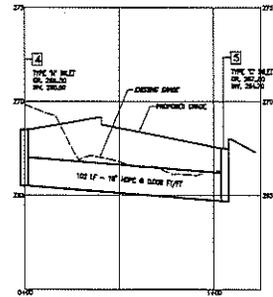
CHARLES E SHOEMAKER, INC.
 1007 ERDE HILL ROAD • AENINGTON, PA 19001
 PHONO 610-668-3168 FAX 610-668-7591
 EMAIL: charles@ceshoemaker.com

EROSION CONTROL DETAILS
 2255 WYANDOTTE ROAD
 UPPER MERIDALE TOWNSHIP
 MONTGOMERY COUNTY, PA
JULH - WR LLC

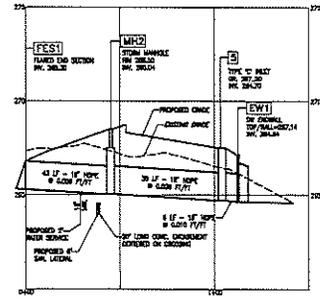
DATE: MAY 1, 2020
 TIME: 10:00 AM
 PROJECT NO.: 25856A
 SHEET NO.: 7 OF 14



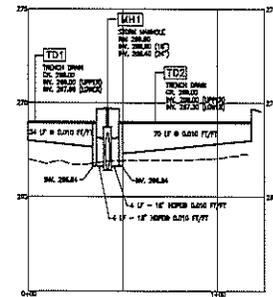
INLET 2 TO JUNCTION BOX 3



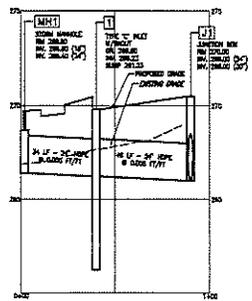
INLET 4 TO INLET 5



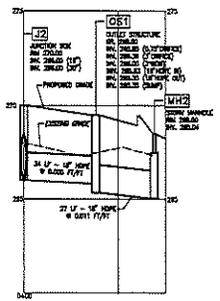
FES 1 TO EW 1



TD 1 TO TD 2



MH 1 TO JUNCTION BOX 1

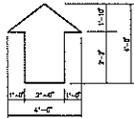


JUNCTION BOX 2 TO MH 2

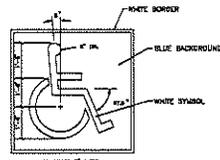
<p>STORM PROFILES 2255 WYANDOTIE ROAD UPPER MERIDALE TOWNSHIP MONTGOMERY COUNTY, PA.</p>	<p>JULH - WR LLC Prepared for</p>
<p>DATE: JULY 1, 2020 Dwg No: 19-000-7-4022 Job No: 25856A SHEET NO: 9 OF 14</p>	<p>COUNTY PROJECT NO: 24-00-1917-009 PROJECT NAME: 4437 STREET ROAD FORTSMITH, PA. 16803</p>
<p>RECORD OWNER: JULH - WR LLC 4437 STREET ROAD FORTSMITH, PA. 16803</p>	<p>CHARLES E. SHOEMAKER, INC. 1007 EDGE HILL ROAD ABRINGTON, PA. 19001 PHONE 215-887-3168 FAX 215-898-7791 E-mail: ces@ces-inc.com 2014 11'1" x 34" 1/2"</p>



STOP SIGN



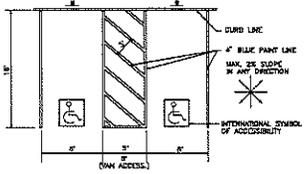
PAINTED TRAFFIC ARROW DETAIL



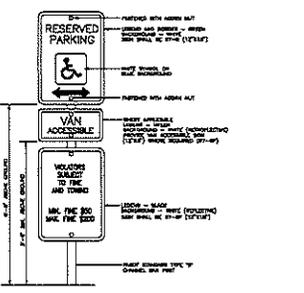
HANDICAP WHEELCHAIR SYMBOL

- 1. PREPARE PAINTED WHEELCHAIR SYMBOL AT EACH RESERVED HANDICAP PARKING SPACE...
2. PLACE WITH THE FRONT BEARING CURB, VISIBLE ON SIDE OF PARKING SPACE...
3. PARKING SPACES RESERVED FOR WHEELCHAIR USE SHALL BE IDENTIFIED BY THIS ACCESSIBLE SIGNAGE...
4. SIGNS TO BE IN ACCORDANCE WITH AMERICAN DISABILITIES ACT.

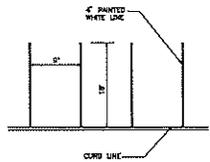
HANDICAP PARKING SPACE MARKINGS



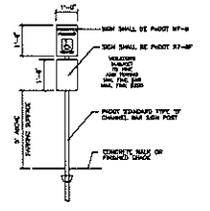
HANDICAP PARKING SPACE MARKINGS



RESERVED PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS

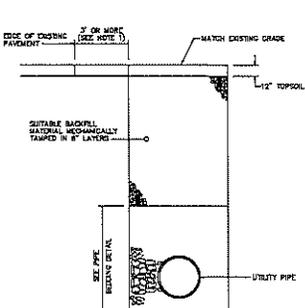


TYPICAL PARKING SPACE MARKINGS



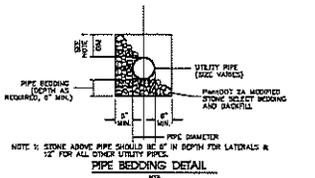
HANDICAP PARKING SIGN DETAIL

HANDICAP PARKING SIGN DETAIL

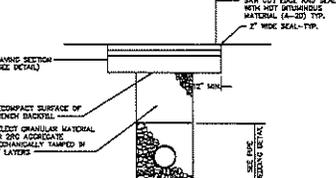


TRENCH RESTORATION IN UNPAVED AREA

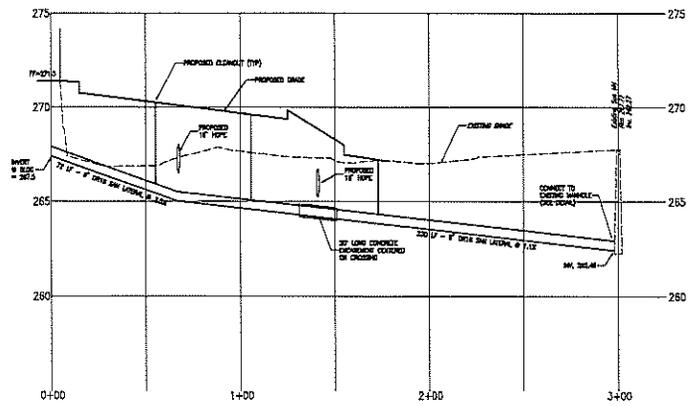
- NOTES:
1. TRENCH DEPTH SHALL BE 2" FROM THE EDGE OF AN EXISTING PAVED SURFACE...
2. TRENCH DEPTH SHALL BE 2" FROM THE EDGE OF AN EXISTING PAVED SURFACE...
3. TRENCH DEPTH SHALL BE 2" FROM THE EDGE OF AN EXISTING PAVED SURFACE...
4. TRENCH DEPTH SHALL BE 2" FROM THE EDGE OF AN EXISTING PAVED SURFACE...
5. TRENCH DEPTH SHALL BE 2" FROM THE EDGE OF AN EXISTING PAVED SURFACE...



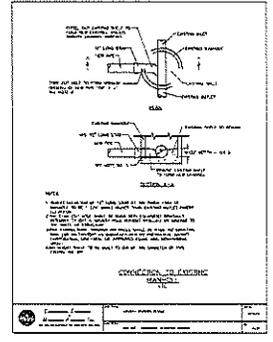
PIPE BEDDING DETAIL



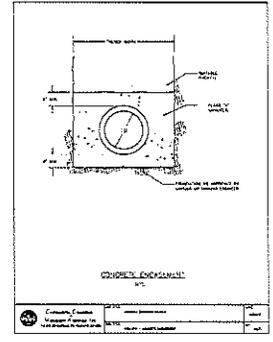
TRENCH RESTORATION IN PAVED AREA



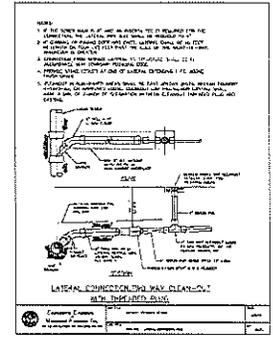
PROFILE - SANITARY LATERAL



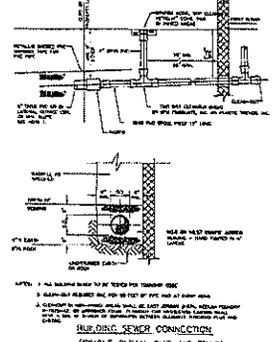
CONCRETE ENCASEMENT



CONCRETE ENCASEMENT



LATERAL CONNECTION CONSTRUCTION



BUILDING SEWER CONNECTION

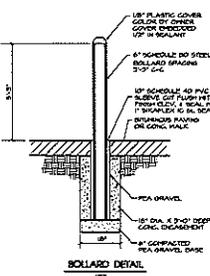
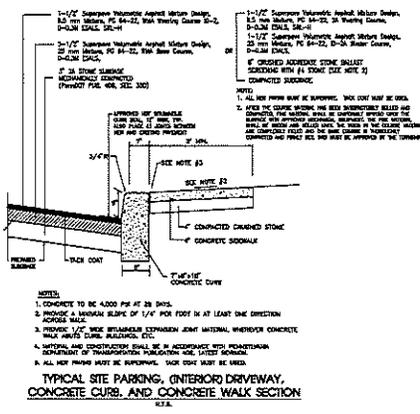
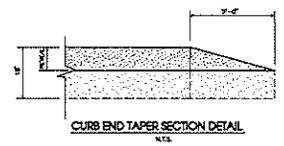
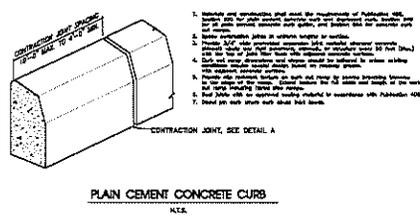
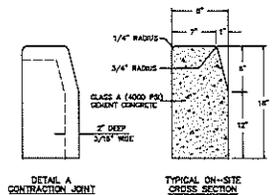
Table with columns: DATE, TIME, REVISION

COUNTY PROJECT NO. DA-00-1847-008...
SITE ADDRESS: 4437 STREET ROAD, FORT MIFKIN, PA 15005

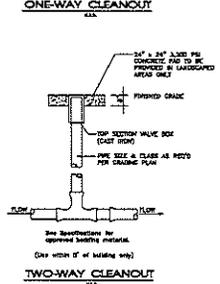
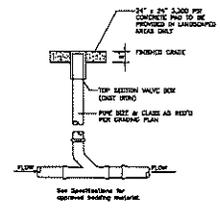
RECORD DRAWN: JULH-WR LLC
4437 STREET ROAD, FORT MIFKIN, PA 15005

CONSTRUCTION DETAILS
2255 WANDOLITE ROAD
JULH-WR LLC

Table with columns: DATE, TIME, REVISION



- SANITARY SEWER CONSTRUCTION NOTES:**
- All utilities (including but not limited to water, gas, electric, phone, etc.) shall have a minimum of 12 inches of vertical clearance and to be at minimum 60 inches from the sanitary lines, or whatever is required by the individual utility, whichever is greater.
 - Sanitary lines shall be located below water lines.
 - All sanitary sewer to be installed per Township Code.
 - Clearance required over per 20 feet of pipe and at every bend.
 - Capacity to be determined per the 15th Edition (1975) Manual, Chapter 10-112-12, or approved street drainage cap products carrying not less than a minimum of 2-inch of overpass before channel flowover and curbing.



- ADA ACCESSIBILITY NOTES:**
- All handicapped parking spaces and access aisle to the handicapped parking spaces shall have a maximum of 2% slope in all directions (this includes running slope and cross slope).
 - An accessible route from the public street or sidewalk to a building entrance must be provided. This accessible route shall be a minimum of 42" wide. The running slope of an accessible route shall not exceed 1:48 and the cross slope shall not exceed 2%. Slope exceeding 2% but less than 3% will require a ramp and must conform to the requirements for ramp design (handrails, curbs, landings). No ramps shall exceed 6% running slope or 2% cross slope.
 - In the case that a new sidewalk will be constructed in the R-0-0 of a site, the running slope of the sidewalk shall not exceed 2% and the cross slope shall not exceed 2%. This standard applies to cross walks in the driveway as well and will require special attention during staking to make sure the 2% cross slope is met in the cover work.
 - It will be the responsibility of the General Contractor to ensure that the handicapped parking spaces, accessible routes, and sidewalks/crosswalks are constructed to meet ADA requirements.
 - Any requirements listed above that can not be met shall be brought to the Engineer's attention immediately. Anything not built to the above standards will require removal and replacement at the non-compliant area at the General Contractor's cost.

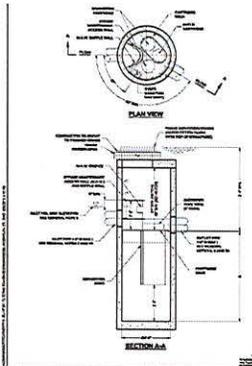
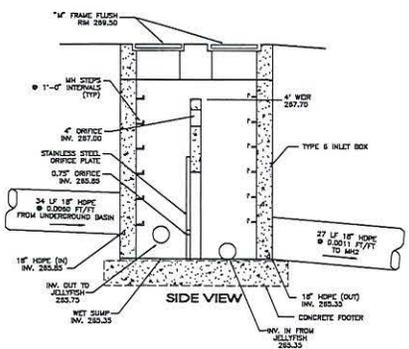
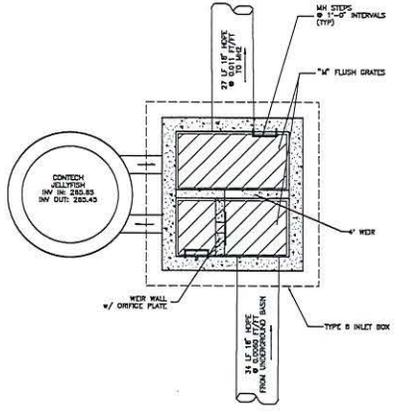
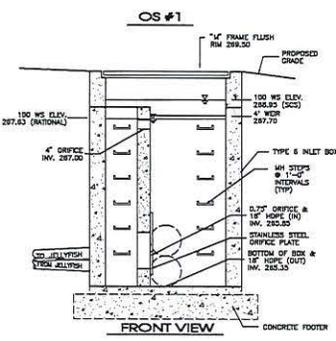
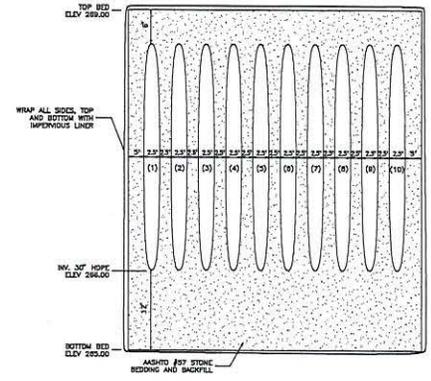
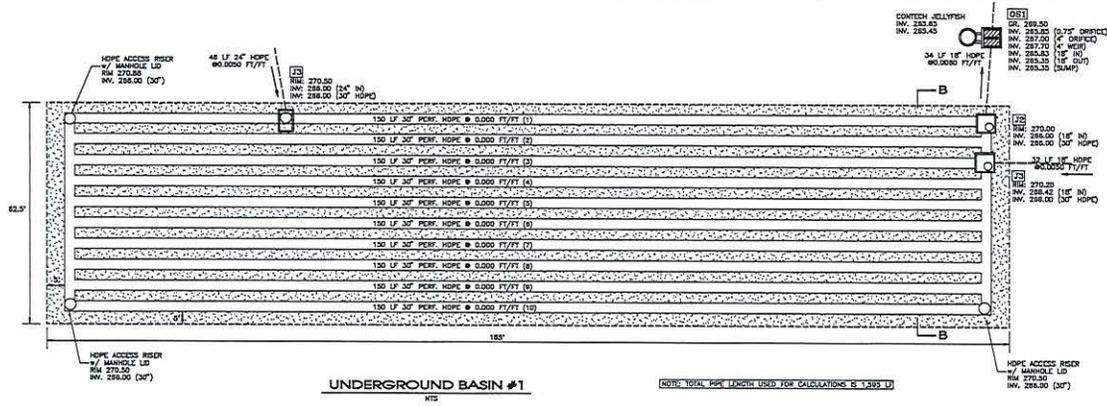
- CONSTRUCTION NOTES:**
- All Excavation are based upon North American Vertical Datum (NAVD) of 1988.
 - All concrete utilized in the construction of approved structures/facilities shall, or a minimum be PennDOT Class "A" (4,000 p.s.i. - 28 day compressive strength) unless more stringent standards are specified elsewhere on the construction details or in PennDOT Publications 408 and/or 72.
 - All construction shall be in accordance with "Upper Merion Standard Specifications", Upper Merion Township, unless otherwise specified. Standard Specifications for Developers and/or PennDOT Specification 408 where applicable.
 - Existing underground utilities were identified from utility company plans supplied to us in accordance with PA ONE CALL and are approximate only. Contractors are required by PA ONE CALL to determine the exact location of all underground utilities prior to commencing construction.
 - All water lines shall meet Mount Penn Properties, Inc. requirements.
 - All storm sewer inlets shall be standard PennDOT grates: Type "C", Type "M" or with standard inlet boxes unless otherwise noted as modified for larger pipe.
 - All storm sewer pipes shall be HIGH DENSITY POLYETHYLENE PIPE (HDPE) except as noted.
 - Lowest elevations of building structures and pipes in the vicinity of proposed improvements and utility crossings are to be field verified by the site contractor prior to installation of new facilities in order to avoid conflicts.
 - Roof drains to be connected to storm sewer system with SCK 40 PVC or HDPE pipe set at a minimum slope of 1%.
 - All sanitary sewer to be 300-33 PVC per the Upper Merion-Hatboro Sewer Authority "Standards, Details & Specifications".
 - All utilities (including but not limited to gas, water, electric, sanitary and storm sewer, telephone, cable, fiber optic cable, etc.) within the limits of disturbance, shall be vertically and horizontally located. The Contractor shall use and comply with the PA ONE CALL system and execute investigations to locate all underground utilities prior to earth disturbance.
 - The Contractor is responsible for coordination of the site plan documents and architectural design for exact building utility connection locations, door access, and exterior grading.
 - All new utility services shall be installed underground in accordance with the utility/service provider installation specifications and standards.
 - Site grading shall be performed in accordance with these plans and specifications, and the recommendations set forth in the soils report prepared by the Geotechnical Engineer.
 - All excavated or fill areas shall be compacted to 95% of modified proctor maximum density per ASTM Test D-1557. Should subsoils be observed immediately by the Owner or Owner's representative, subsoils to be removed and filled with approved fill material compacted to 95% optimum density.
 - The Contractor shall be required to secure all necessary permits (including Conservation District and D.E.P., etc.) for all off-site haul end/or borrow sites.
 - All applicable proposed structures and facilities shall comply with the Americans with Disabilities Act Accessibility Guidelines for Buildings and Facilities. The Contractor shall ensure the maximum 2.0% slope across A.S.A. parking space areas and access aisles in any direction.
 - Curb on-site shall be concrete with six (6) inch reveal.
 - All utilities (including but not limited to water, gas, electric, phone, etc.) shall have a minimum of 18 inches of vertical clearance and 10 feet of horizontal clearance with the sanitary lines, or whatever is required by the individual utility, whichever is greater. Sanitary lines shall be located below sewer lines.
 - Contractor shall notify Township and Township Engineer 48 hours prior to start of construction.
 - All site layout to be reworked in disturbed lawn and landscaped areas to a minimum depth of 6".
 - Areas proposed for infiltration should be protected from sedimentation and clogging during construction. The infiltration facilities shall not be constructed nor receive runoff until the contributing area is stabilized.

DATE	JULY 1, 2020
DWG NO.	18-MOR-17-027
SHEET NO.	25856A
SHEET NO.	11 OF 14

CONSTRUCTION DETAILS
2255 WYANDOTTE ROAD
UPPER MERICAN TOWNSHIP
MONTGOMERY COUNTY, PA
Prepared by
JULH - WR LLC

RECORDED CORNER
JULH - WR LLC
457 STREET ROAD
FESTINELLE, PA 19043

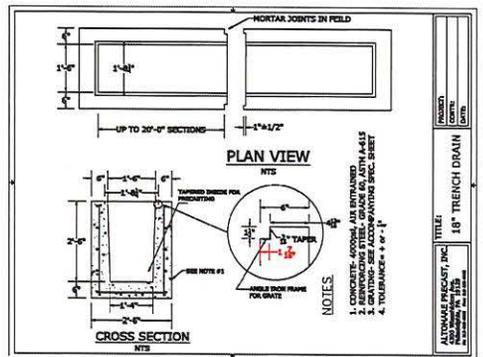
CHARLES E. SHOEMAKER, INC.
1007 EDGE HILL ROAD ABERGONN, PA 19001
PHONE 215-487-9100 FAX 215-487-9941
E-MAIL: charles@shoemakerinc.com
SALES AS NOTED



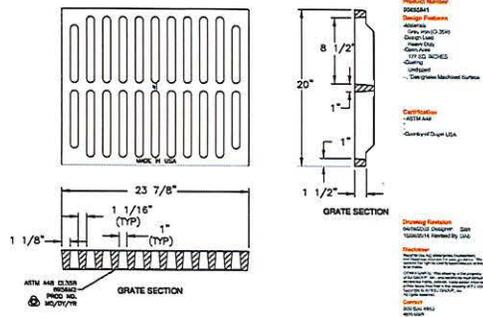
CONTECH
STANDARD DETAIL
ONLINE CONFIGURATION

18" TRENCH DRAIN

NOTES:
1. CONCRETE-ACCORDING AAS BUILT-UP
2. REINFORCING STEEL-GRATE AS ASTM A-615
3. TOLERANCES-AS SHOWN
4. TOLERANCES-AS SHOWN



6956M2 Trench Grate



COUNTY PANEL NO. 04-00-1847-009
DATE 04-08-2018
JOB NO. 25856A
SHEET NO. 13 OF 14

RECORD OWNER:
JULH - WR LLC
4437 STREET ROAD
FOUNTAINVILLE, PA, 17003

CHARLES SHUMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD, ABERGLEN, PA, 19001
PHONE 318-887-2185 FAX 318-887-7791
E-MAIL charles@shumakerinc.com

POST CONSTRUCTION
STORMWATER MANAGEMENT PLAN
2255 WYANDOTTE ROAD
UPPER MEREDON TOWNSHIP
MONTGOMERY COUNTY, PA

JULH - WR LLC

DATE: JULY 1, 2020
DWG NO.: UP-MORL-7-4024
JOB NO.: 25856A
SHEET NO.: 13 OF 14

EXHIBIT

B



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

July 23, 2020

File No. 20-07018

Paul Purtell, Code Enforcement Director
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Reference: 2255 Wyandotte Road
Land Development
TMP No. 59-00-19417-00-9 (Block 46B, Unit 15)

Dear Paul:

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the submitted land development plans for the above-referenced project. Upon review, we offer the following comments for consideration by Upper Moreland Township.

I. Submission

- A. Preliminary/Final Land Development Plans for 2255 Wyandotte Road prepared by Charles E. Shoemaker, Inc. dated July 1, 2020, consisting of Sheets 1 to 14 of 14.
- B. Post Construction Stormwater Management Narrative & Erosion Control Narrative for 2255 Wyandotte Road, prepared by Charles E. Shoemaker, Inc., dated July 1, 2020.
- C. Landscape and Lighting Plans for 2255 Wyandotte Road prepared by InFocus Planning, dated July 1, 2020, consisting of Sheets 1 to 2 of 2.
- D. Drainage Area Plans for 2255 Wyandotte Road prepared by Charles E. Shoemaker, Inc. dated July 1, 2020, consisting of Sheets 1 to 2 of 2.

II. General Information

The 3.7 acre subject property is located at 2255 Wyandotte Road within the Township's S – Small Limited Industrial Zoning District. The parcel currently contains two existing buildings with surrounding stone parking areas. The Applicant is proposing to remove a majority of the existing buildings and restore a portion of one of the existing buildings to remain. Additional improvements include the construction of a paved parking lot and additional paved vehicle storage area with curb fencing, landscape, lighting and other associated improvements. To handle the increase in runoff from the proposed improvements, the Applicant is proposing to install an underground detention basin and associated stormwater structures. The site will be serviced by public water and sewer.

65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

III. Review Comments

A. Zoning Ordinance

1. §350-112.B – The portion of the property which abuts the Pennsylvania Turnpike shall be considered a front yard. The plan must be revised to show a 25-foot front yard setback along this property line.
2. §350-112.D – We note the existing building to remain is located 25.3 feet from the rear property line and is an existing non-conformity which is not increased by this proposal.
3. §350-112.F – We note the existing building to remain is within 200 feet of the R-3 Residential Zoning district. The building is an existing non-conformity which is not increased by this proposal and is noted in the zoning table.

The plan also notes that the proposed parking lot is within 100 feet of the Residential District and is an existing non-conformity. The ordinance specifies that no parking area may be closer than 100 feet to any residential tract. The nearest residential tract appears to be approximately 135 feet south of the parking lot and is not a violation of this requirement. The note regarding this existing non-conformity should be removed from the plan.

4. §350-178.A.(1) – The proposed parking spaces along the west side of the car detailing parking lot appear to only be 17 feet in length and must be revised to provide the required 18 foot length.
5. §350-178.C – The plan must specify the location of the waste disposal dumpsters for the proposed use. Vehicle circulation plans must be provided as necessary to demonstrate adequate access throughout the parking lot.

B. Subdivision and Land Development Ordinance (SALDO)

We have identified the following issues with respect to the requirements and provisions of the current Upper Moreland Township Subdivision & Land Development Ordinance (Chapter 300):

1. §300-14.G - The Board of Commissioners (Board) may grant modification to the requirements of this ordinance provided the Applicant proves undue hardship. Any waivers should be formally requested from the Township unless the plans are revised to address all comments of this letter relative to the SALDO and Stormwater Ordinances. The Record Plan should list the waivers, applicable section numbers, and the date granted as applicable, including any conditions.
2. §300.17.I – The Employee Parking area and the access drive to the Vehicle Storage Area only provides a 24 foot wide aisle and must be revised to provide a 25 foot wide aisle or a waiver requested.
3. §300-25 – The Applicant will be required to secure the necessary Erosion and Sediment Control and NPDES permits from the Montgomery County Conservation District for the proposed earth disturbance on site. The Township should be copied on all correspondence with MCCD. We offer the following comments with respect to the Erosion & Sediment Control Plan:

- a. The Limits of Disturbance must be extended along Wyandotte Road to include the full extent of the sanitary lateral installation.
 - b. The Compost Filter Sock or some other form of sediment runoff protection should be provided in front of flared end section FES1 to prevent sediment runoff from this location.
 - c. The 24" Compost Filter Sock along the northern property line curves up the proposed slope and will interfere with the proposed grading. The Compost Filter Sock should be relocated to run along the northern property line to the corner to avoid any conflicts with the proposed grading.
 - d. The Compost Filter Sock should be extended along the southern property line to prevent sediment runoff onto the Pennsylvania Railroad property and to avoid conflicts with the proposed grading.
 - e. Erosion control matting should be provided for the 3:1 slopes adjacent to the eastern side of the parking area.
 - f. The legend includes a line type for silt fence and the plan provides notes for silt fence rock filters; however, no silt fence is proposed on the plan. The plan should be revised to specify maintenance procedures for the 24" silt sock and legend revised appropriately.
 - g. The Sequence of Construction makes mention of retaining walls, wetland enhancement areas and the construction of building pads which do not appear to apply to this project. The Sequence of Construction should be reviewed and revised as necessary.
 - h. The Additional Erosion and Sediment Control Plan Notes include notes regarding sediment traps and stream crossings which do not appear to apply to this project. These notes should be reviewed and revised as necessary.
4. §300-26 – The plans shall be submitted to the Upper Moreland – Hatboro Joint Sewer Authority for review. Also, the required PA DEP Planning Module Application must be submitted to the Authority for review and signature.
 5. §300-27 – The plans should be submitted to Aqua PA for review and a copy of the agreement with Aqua PA provided upon receipt.
 6. §300-32 - We defer to the Township's Fire Marshal for review and approval of the plans. Approval from the Fire Marshal is required prior to recording of the plan. A truck circulation plan should also be added to the plans to ensure emergency vehicles can safely navigate the site.
 7. §300-34.D.(2) – The plan must identify any floodplain area within the site. If no floodplain area exists, a note must be added stating that the site is located within Zone X, outside of the 0.2% annual chance flood hazard areas.
 8. §300-36 – The plan should be revised to note if there are any wetlands present onsite.
 9. §300-39 – We defer review of the plans with respect to the landscaping requirements of the Ordinance to McCloskey & Faber.

10. §300-52.C.(1) – A plan showing existing features and surrounding information within 400 feet of the site must be provided, or a waiver requested. It is noted that an aerial map of the surrounding area has been provided on Sheet 3.
11. §300-52.C.(2) – The location of the existing sanitary sewer laterals, water services and any other underground utility for the existing buildings must be provided on the plan. The soil boundary line and soil types must also be provided on the plan.
12. §300-52.E.(3) – If it is the Applicants intent for this to be a preliminary/final submission, a waiver must be requested from the preliminary plan submission requirement.
13. The proposed pavement for the access drive and trench restoration shall be constructed in accordance with Township Specification provided in §295-18 through §295-22. Details for paving within the Township right-of-way shall be provided on the plan.

C. Stormwater Management Ordinance

We have identified the following issues with the proposed plan with respect to the requirements and provisions of the current Upper Moreland Township Stormwater Management Ordinance (Chapter 287):

1. §287-13.B(2) – The following items must be provided on the plans:
 - a. A blanket easement for all stormwater management facilities to provide ingress to and egress from a public right-of-way.
 - b. A statement, signed by the applicant, acknowledging that any revision to the approved drainage plan must be approved by the Township, and that a revised erosion and sediment control plan must be submitted to the Township or Conservation District for approval.
 - c. A Stormwater Certification signature block should be added to the cover sheet.
2. §287-18.G – The grading adjacent to Inlet 5 should be revised as it appears a portion of the area within the drainage boundary will not flow to the inlet based on the current grading configuration.
3. §287-18.K – Storage facilities should drain the volume control and rate control capacities over a period not less than 24 hours and not more than 72 hours. The dewatering time of the underground basin is calculated to be 147 hours. We note the design is intended to be in compliance with PADEP Managed Release Concept (MRC). It is recommended that the applicant request a waiver from this requirement.
4. §287-18.Y(6)(l) – Inlet 3 is a sumped inlet and appears to be a standard inlet box. This inlet box should be enlarged to accommodate the proposed snout. The type and size of Inlet 1 must be noted on the plan as well.
5. §287-22 – The proposed vehicle cleaning facility is considered a potential hotspot in accordance with §287-6.C(2)(a) which prohibits groundwater recharge of the untreated stormwater runoff. In addition, the Stormwater Management report noted that a groundwater investigation revealed the presence of solvent contamination in the far southeastern portion of the site. While the investigation report notes that the contamination likely originates offsite, it advised against the infiltration of stormwater. It is recommended that a waiver from the groundwater recharge requirement be requested.

6. §287-23.A.(2)(b) – When calculating the volume control requirement associated with the proposed site improvements, 100% of existing impervious area shall be considered meadow in good condition. The worksheet on page A-67 includes the gravel area in calculating the volume control requirement. The gravel onsite has been compacted from years of vehicle traffic and storage and is considered an impervious surface. The volume calculations must be revised to consider the gravel area as meadow.
7. §287-31.C.(2) – The Post Construction Stormwater Management Plan must indicate the maintenance and ownership of the stormwater facilities will be the responsibility of the property owner.
8. §287-31.C.(4) – A statement, signed by the landowner, acknowledging that the stormwater facilities and BMPs are fixtures that cannot be altered or removed without prior approval by the Township must be provided on the Post Construction Stormwater Management Plan.
9. The Pond Report for the 30-inch Pipe System must be provided in the Post Construction Stormwater Management Report to verify how the outlet structure was modeled.
10. Due to the impervious liner surrounding the underground basin, the 12" deep area of stone beneath the pipe system will not infiltrate into the subsoils and will ultimately reduce the capacity of the basin. It is recommended that a small diameter underdrain be provided at the bottom of the system to slowly drain this captured stormwater. Alternatively, the 12" area could be removed from the routings.
11. The Post Construction Stormwater Management Report notes that Liberty Environmental, Inc. completed a groundwater investigation of the site. A copy of the report must be submitted for review to verify the extent of contamination.
12. The Soils List on the plan and in the report do not list the depths to limiting factors such as bedrock or seasonal high-water table. These depths must be provided on the Soils List to determine if they could impact the underground detention basin.
13. The plan must address if vehicles will be washed at this location and how any runoff from the washing operations will be handled. PA DEP recommends that runoff from the cleaning of vehicles be directed to a well vegetated area.
14. The Underground Basin #1 Section 'B-B' Detail notes that the basin be lined with an impervious liner. A note must be added to the plan requiring the submission of shop drawings for the impervious liner for review by the Township Engineer. It is recommended that minimum specifications for the impervious liner be provided on the detail.
15. The front, side and plan views of Outlet Structure OS#1 shown in the detail on Sheet 13 do not appear to be consistent in identifying the location of the orifice and weir openings in relation to the jellyfish filter and the outlet pipe. The detail must be revised to clearly show if both orifices and weir openings drain through the jellyfish filter or if orifice/weir bypasses the filter at the higher elevations.
16. The detail for the Jellyfish JF4 specifies a minimum angle of 62° between flow in and flow out. The proposed layout shown on the plan does not appear to provide the minimum required angle. The design engineer must review the layout of the Jellyfish filter in relation to the outlet structure to ensure it will function in accordance with the manufacturer's specifications.

17. Junction Box J3 is proposed to receive a 24" HDPE pipe on the shorter end of the structure. Due to the thickness of the 24" HDPE pipe, it is too large to connect to the box on this side. It is recommended that a large inlet box be specified at this location.

D. General Comments

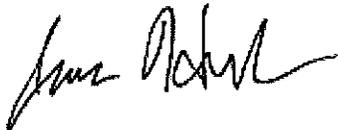
1. The edge of pavement along the northern area of the site is directly adjacent to the existing billboard. It is recommended that some type of protective barrier be provided to prevent any damage to the support structure of the billboard.
2. A detail is provided for the signage at the accessible parking spaces. The location of the signage must be shown on the Site Development Plan.
3. The Existing Features/Demolition Plan shows the location of several monitoring wells. The plan must address if these wells are still active for testing or if they have been sealed. If they are still active, they must be shown on the Grading & Utility Plan and the grading must be revised as necessary to provide access to these wells.
4. Spot elevations must be provided at the corners of the ADA parking spaces to demonstrate compliance with ADA regulations.
5. There is an existing 8" CMP along the eastern property line which may be impacted by the proposed grading. The purpose of this pipe must be clarified and grading around the invert of the pipe must be provided as necessary.
6. There appears to be a detention area along the eastern property line at FES 1. The Landscape Plan and Details (LP-1) notes seeding in this area as a BMP Floor Mix. Spot elevations and notations must be provided as necessary in this area to clarify the grading towards FES-1.
7. The plan shows a proposed 267 contour extending from the site onto Wyandotte Road, adjacent to an existing 267 contour on the road. Based on the Existing Features/ Demolition Plan, there appears to be a discrepancy between two existing 267 contours. The existing roadway elevations in this area must be clarified to ensure the proposed improvements do not create any low spots on or along the roadway.
8. The plan proposes to fill approximately 1 foot around the base of the billboard. The design engineer should review the billboard support structure to ensure this additional fill does not impact the integrity of the structure.
9. The proposed fence is shown to be installed over the underground detention basin. There is only approximately 2 feet of cover over the basin at this location and the fence posts may extend through the impervious cover and into the stone envelope. The embedment depth for the fence posts must be clarified to ensure they do not conflict with the basin.
10. Note 9 of the Construction Details (Sheet 11) specifies that roof drains shall be connected to the storm sewer system. Any roof drain connections must be shown on the plans.
11. The following details must be provided on the plans:
 - a. A detail for the fence surrounding the Vehicle Storage Area.
 - b. Snout installation detail.

- c. A detail for the HDPE access riser with manhole lid.
 - d. Light pole base detail.
12. The Typical Site Parking, Driveway, Concrete Curb and Concrete Walking Section includes an alternate paving specification of 1-1/2" wearing course over 1-1/2" binder course. This alternative pavement specification may not be sufficient to support garbage trucks and emergency vehicles. It is recommended that this alternate paving specification be removed or revised.
 13. It does not appear that the grates for the trench drain are bicycle safe grates. It is recommended that a bicycle safe grate be specified for the trench drain.
 14. A detail for Soil Amendment & Restoration is provided on Sheet 14. It is noted that the Critical Stages of Construction note on Sheet 12 indicates that soil amendment shall be provided for all vegetated areas onsite; however, the areas of soil amendment should be clearly identified on the plans.
 15. The foot-candle footprint for the light along the western property line extends onto the adjacent property (N/F Rushland Limited Partnership). This light must be relocated or shielded to prevent light spillover onto the adjacent property.
 16. The Applicant is responsible for all other required approvals, permits, etc. (i.e. MCPC, MCCD, PADEP, PennDOT, Municipal Authority, Fire Marshal, etc.) Copies of these permits or approvals shall be forwarded to the Township.

In order to expedite the review process of the resubmission of the plan, the Applicant should submit a response letter which addresses each of the above comments. Changes that have been made to the application that are unrelated to the review comments should also be identified in the response letter. Additional review comments not referenced in this letter may be made upon review of the revised plan submission.

If you have any questions regarding the above, please contact this office.

Sincerely,



James J. Hersh, P.E.
Senior Project Manager
Gilmore & Associates, Inc.

JJH/tmw/sl

cc: Matthew Candland, Township Manager
Sean Kilkenny, Esq., Township Solicitor
Kim Flanders, RLA, McCloskey & Faber, PC
Chad Dixon, P.E., McMahon & Associates
Richard Stoneback, Charles E. Shoemaker, Inc.
JLH_WR LLC, Robert Lewis, Applicant
Erik Garton, P.E., Vice President, Gilmore & Associates, Inc.

EXHIBIT

C



McCloskey & Faber, P.C.

Landscape Architecture • Land Planning • Graphic Design

August 4, 2020

Mr. Paul E. Purtell
Director, Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

Reference: First Landscape Plan Review for **2255 Wyandotte Road**, Upper Moreland Township, Montgomery County, PA, M&F No. 215

Dear Mr. Purtell:

We are in receipt of a Landscape Plan and Landscape Details as part of a sixteen-page land development submission. The landscape design was prepared by Rachel Sclan Vahey, RLA of InFocus Planning in conjunction with Charles E. Shoemaker, Inc., Project Civil Engineer. The submission was received by our office on July 7, 2020. Existing site conditions were observed on January 30, 2020. This is the first landscape plan review.

The applicant proposes to install a paved vehicle storage area and to renovate a portion of an existing building (all other existing structures to be removed or were previously removed) to be used for car preparation and detailing. A parking lot is proposed in association with the building. The 3.7 acre site is located in the Small Limited Industrial District.

We offer the following comments and recommendations:

GENERAL REQUIREMENTS (Article 5, Section 300-40)

1. All required plant material shall be planted prior to the issuance of a use and occupancy permit. (Section 300-40 D.) A note stating this is to be added to the plan.
2. For clarification, General Landscape Note 5 should be adjusted to reference the correct plan sheet.

LANDSCAPE PLAN REQUIREMENTS (Article 5, Section 300-42)

1. The location map is to be revised to show zoning district designations for the site and adjacent properties. (Section 300-42 A.)

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
2255 Wyandotte Road
August 4, 2020
Page 2

2. The building should be labeled on the Landscape Plan. (Section 300-42 C.)
3. Location of trash receptacles are to be shown and/or labeled on the Landscape Plan. (Section 300-42 E.)
4. The proposed fence should be labeled on the Landscape Plan. (Section 300-42 F.) We recommend for clarity that existing and proposed fence lines are depicted with an appropriate fence linetype for improved readability.
5. Location of **all** above and underground utilities are to be clearly indicated and labeled on the Landscape Plans to demonstrate that landscaping and utilities will not be in conflict with one another. (Section 300-42. G.) It appears that an adjustment to the location of some of the proposed trees may be necessary.
6. Location, common name, and caliper of all trees twenty-four (24) inches in caliper or greater measured twelve inches above the ground are to be shown on the plan. (Section 300-42 I.)
7. A detailed landscape cost estimate is to be included with the final landscape plan submission for determination of the escrow fund. The estimate is to include the guarantee as well as the labor, material, installation and maintenance cost. (Section 300-42 Q.) Estimate is to identify Shade tree caliper size and minimum height for Ornamental trees, Evergreen trees, and shrubs at the time of planting that meet or exceed minimum required sizes. It is to be sent to the Township Engineer with a copy to this office.
8. Location of Tree Protection Fence and a detail for installation are to be indicated on the Landscape Plan. (Section 300-42 R.) In addition, Tree Protection Fence is to be indicated on the Grading Plan and Erosion Control Plan so the appropriate Contractor is aware of the requirements.
9. Trees should be located no closer than 5 feet horizontally from any underground utility. (General comment) The plan should be revised accordingly.
10. The permanent seeding specifications should match between the Erosion Control Plan and the Landscape Plan. (General comment)
11. For clarity, we recommend that the development property lines are a bolder line weight. (General comment)

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
2255 Wyandotte Road
August 4, 2020
Page 3

PLANTING REQUIREMENTS (Article 5, Section 300-43)

A. Screen Buffer (Section 300-43, C.)

1. Screen buffers are required to screen all truck loading, outside storage areas, mechanical equipment and trash receptacles from view from streets and all abutting land uses. (Section 300-43 C. (2) (b)) Additional screening may be necessary once, in particular, trash receptacle location has been provided.
2. *"Walls, fences and/or earth berms may be used in combination with evergreen plant material, subject to the approval of the Upper Moreland Township Board of Commissioners. Details and elevations of fences and walls are to be provided to the Township Engineer and Township Landscape Architect for review."* (Section 300-43 C (4) (b)) More detailed information regarding the proposed screen fence type surrounding the proposed vehicle storage is to be provided.
3. Proposed landscape screen buffer is to be extended to provide coverage east of the building.
4. Due to the existing overhead utility wires, we recommend use of Norway Spruce trees only where adequate space is available to permit future growth of trees without conflict with the overhead wires.

B. Parking Area Landscaping (Section 300-43, D.)

1. *"When parking areas are located within 150 feet from ... any residential district, the perimeter of the parking area that is adjacent to ... residentially zoned property shall be softened by a continuous low hedge composed of evergreen shrubs (24 inches minimum height at installation) around the outside perimeter facing the ... residential property."* (Section 300-43, D. (1) (f)) The landscape design is to be revised accordingly for the parking area east of the building.
2. For the purposes of this review, we are viewing the proposed paved parking vehicle storage area as outside storage which would not fall under the Parking Area Landscaping requirements. Comments relative to the required Perimeter buffers as required for storage are included above.
3. A parking area is proposed east of the building. It appears that the following ***waivers*** may be necessary for relief from Parking Area Landscaping requirements as noted below.
 - **Section 300-43 D. (1) (b):** A minimum of 10% of any parking facility over 5,000 square feet in gross area, outside curb to outside curb, shall be devoted

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
2255 Wyandotte Road
August 4, 2020
Page 4

to landscaping.

- The calculations indicate that the minimum 10% greenspace has been provided. However, greenspace areas included in the calculation include areas outside “curb to curb” and therefore the calculations are to be revised. We reached out to the Project Landscape Architect to discuss this more specifically.
- **Section 300-43 D. (1) (d):** Planting islands are to be a minimum of 15 feet wide and 20 feet long. A minimum of one single trunked shade tree is to be placed in each island. *No objection.*
 - Proposed parking lot islands are less than 15 feet wide and a tree is not provided in one of the proposed islands. Parking islands are all adjacent to larger greenspace areas, and a tree is proposed near the “empty” island.
- **Section 300-43 D. (1) (e):** Shade trees located within any parking island which is less than 300 square feet measured from outside curb to outside curb will require permanently installed irrigation. *No objection.*
 - Proposed parking lot islands are adjacent to larger greenspace. And the trees proposed in the islands are reported to be drought tolerant.
- **Section 300-43 D. (2) (b):** A maximum of twelve (12) parking spaces in a row is permitted without a fifteen-foot-wide landscape island for the proposed use. *No objection.*
 - The proposed parking lot is not a “sea” of parking and parking islands are adjacent to larger green areas.

PRESERVATION AND PROTECTION OF EXISTING TREES (Article 5, Section 300-44)

1. Existing trees whose root area (dripline) has been encroached by more than 1/4 of the total area will not be considered to be preserved and must be replaced. (Section 300-44. B. (2)) Proposed disturbance within the dripline of trees near the common property line adjacent to lands of N/F Rushland Limited Partnership should be reduced. As currently graded, the trees would not count as preserved.

REPLACING TREES DESTROYED BY DEVELOPMENT (Article 5, Section 300-45)

1. Every tree that is alive and reasonably healthy with a trunk diameter of 8 inches up to 24 inches that is removed is to be replaced with one or more new shade trees of not less than 2 ½ inches in caliper. Every tree with a trunk diameter of 24 inches or greater that is

McCloskey & Faber, P.C.

Mr. Paul Purtell
Director, Code Enforcement
2255 Wyandotte Road
August 4, 2020
Page 5

removed is to be replaced by two new Shade trees of not less than 2 ½ inches in caliper. (Section 300-45 A.) The plan is to be revised accordingly.

RECOMMENDED PLANT LIST (Article 5, Section 300-47)

1. The Applicant should refer to Table 3 for minimum required percentage of native species for various applications. In order to review compliance, calculations are to be incorporated into a Landscape Compliance Chart.

The above Landscape Plan review is based on our review of the drawings submitted. It is recommended that the Applicant and their Landscape consultant review and address the recommendations listed in this letter, and, as appropriate, schedule a meeting with us to resolve any miscellaneous issues prior to resubmission to Upper Moreland Township, and resubmit the Landscape Drawings to Upper Moreland Township for further review or request and obtain waivers as appropriate. Further comments may be forthcoming following our review of the revised drawings addressing the above comments.

In order to help expedite the review process of the resubmission of the plan, we request the Applicant submit a response letter which addresses each of the above comments. Changes that have been made to the plans that are unrelated to the review comments, but impact the landscape, should also be identified in the response letter.

We trust that this landscape plan review letter responds to your request and satisfactorily addresses the landscape ordinance requirements that are apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Very truly yours,



James R. Faber, ASLA
Township Landscape Architect
JRF/ kjf

cc: Matt Candland, Township Manager, Upper Moreland Township (email)
David Elsier – Upper Moreland Township (email)
Jim Hersh, P.E. – Township Engineer (email)
Sean Kilkenny, Esq. and Alex Baumler – Township Solicitor (email)
Rick Stoneback, Project Engineer (email)
Rachel Vahey, Project Landscape Architect (email)
JLH_WR LLC, Applicant (email via CES)

EXHIBIT

D



McMAHON ASSOCIATES, INC.
425 Commerce Drive, Suite 200
Fort Washington, PA 19034
p 215-283-9444 | f 215-283-9446

PRINCIPALS

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Christopher J. Williams, P.E.

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Jason T. Adams, P.E., PTOE
Christopher K. Bauer, P.E., PTOE
Mark A. Roth, P.E.
John R. Wichner, P.E., PTOE

FOUNDER

Joseph W. McMahon, P.E.

July 29, 2020

Mr. Paul Purtell
Director of Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, PA 19090

RE: **Traffic Review #1**
2255 Wyandotte Road
Upper Moreland Township, Montgomery County, PA
McMahon Project No. 820568.11

Dear Paul:

Per the request of the Township, McMahon Associates, Inc. (McMahon) has prepared this letter that summarizes our initial traffic engineering review of the proposed site modifications located at 2255 Wyandotte Road in Upper Moreland Township, Montgomery County, PA. Based on our review of the submitted plans, the site modifications will consist of paving a portion of the existing site to be used for vehicle storage, installing fencing around the new paved area, and modifications to the existing building to provide space for vehicle preparation and detailing. Access to the site will continue to be provided via a full-movement driveway to Wyandotte Road.

The following document was reviewed and/or referenced in preparation of our traffic review:

1. Minor Land Development Plans – 2255 Wyandotte Road, prepared by Charles E. Shoemaker, Inc., dated July 1, 2020.

Based on our review of the document listed above, McMahon offers the following comments for consideration by the Township and action by the applicant.

1. According to **Section 300-17.I** of the **Subdivision and Land Development Ordinance**, a minimum parking aisle width of 25 feet is required for two-way traffic. The plans currently show a 24-foot wide parking aisle to the east of the vehicle preparation building, thereby not satisfying the ordinance requirement. The plans should be revised to show a minimum 25-foot wide parking aisle in this area, or a waiver must be requested from this ordinance requirement.
2. According to **Section 300-43.D(2)(b)** of the **Subdivision and Land Development Ordinance**, no more than 12 parking spaces may be provided in a row without provision of a 15-foot wide landscaped

island. The plans currently show 15 parking spaces in a row without a landscaped island on the northern side of the vehicle preparation building, thereby not satisfying the ordinance requirement. The plans should be revised to show no more than 12 parking spaces in this row, or a waiver must be requested from this ordinance requirement.

3. The applicant should provide turning templates demonstrating the ability of trash trucks, emergency vehicles, and the largest expected delivery truck to maneuver through the entire site.
4. The proposed curb on the northern side of the driveway leading to Wyandotte Road should be extended to the eastern property line.
5. A stop sign and stop bar should be shown on the plans on the driveway approach to Wyandotte Road.
6. ADA ramps should be shown on the plans in the immediate vicinity of the proposed ADA parking spaces.
7. The proposed development will be subject to the Township's Transportation Impact Fee of \$1,904 per "new" afternoon peak hour trip in accordance with the Township's *Transportation Impact Fee Ordinance*. The applicant should provide additional details on the expected use(s) of the site, as well as on the existing use(s) of the site in order to determine if the proposed site modifications will be subject to the transportation impact fee.

Based on a review of the document listed above, the applicant should address the aforementioned comments, and provide revised plans to the Township for further review and approvals. A response letter that addresses our comments should accompany the resubmission.

We trust that this review letter responds to your request and satisfactorily addresses the traffic issues that are related to the proposed redevelopment apparent to us at this time. If you or the Township have any questions, or require clarification, please contact me.

Sincerely,



Chad Dixon, AICP, PP
Senior Project Manager

BMJ

cc: Matthew Candland, Township Manager
James Hersh, P.E., Township Engineer

EXHIBIT

E

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

JOHN S. COVER, AICP
INTERIM EXECUTIVE DIRECTOR

July 16, 2020

Mr. Paul Purtell, Director, Code Enforcement
Upper Moreland Township
117 Park Avenue
Willow Grove, Pennsylvania 19090-3215

Re: MCPC #20-0126-001
Plan Name: Vehicle Storage & Car Prep
(1 lot consisting of approximately 3.71 acres)
Situate: 2255 Wyandotte Road (Cross Street: Easton Road)
Upper Moreland Township

Dear Mr. Purtell:

We have reviewed the above-referenced land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on July 7, 2020. We forward this letter as a report of our review.

BACKGROUND

The applicant, JIL-WR-LLC, is proposing improvements to the site with the intent to use the property for a new car prep and detailing facility. The proposal includes the demolition of existing buildings and the rehabilitation of one approximately 5,000 square foot existing industrial building. Other site improvements include the removal of existing pavement and concrete, new pavement for automobile storage and a 35-space parking lot, new fencing, landscaping, and new stormwater management system.

The site is located between the Pennsylvania Turnpike and the Pennsylvania Railroad in the S-Small Limited Industrial Zoning District.

COMPREHENSIVE PLAN COMPLIANCE

The proposal is generally consistent with *MONTCO 2040: A Shared Vision*, which designates the area as "Business Area" future land use category. Business Areas are concentrations of employment-oriented land use, often located near highway interchanges. *Upper Moreland 2040*, the township's comprehensive plan, categorizes the area as an Employment Center, within which industrial uses are recommended.



RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal; however, in the course of our review we have identified the following issues that the applicant and Township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

EMERGENCY ACCESS

Located at the end of Wyandotte Road, the site currently has one access point from Easton Road. The adjacent property, west of the proposed land development site, is accessed from Welsh Road. There is an existing fence which the applicant proposes to replace.

There does not appear to be a vehicular access between the two properties, which could pose a challenge for emergency vehicles accessing the site in the case of an emergency. We recommend providing access through the adjacent property for emergency vehicles to enter from Welsh Road. In order to provide access without radically changing the roadway design, we suggest that the applicant consider providing a gate in the proposed new fence, which could be opened by emergency responders. If a gate is provided, the key could be secured in a lockbox to be accessed by emergency responders.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal, but we believe that our suggested revisions will better achieve Upper Moreland's planning objectives for development within the industrial districts.

Please note that the review comments and recommendations contained in this report are advisory to the township and final disposition for the approval of any proposal will be made by the township.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (20-0126-001) on any plans submitted for final recording.

Sincerely,

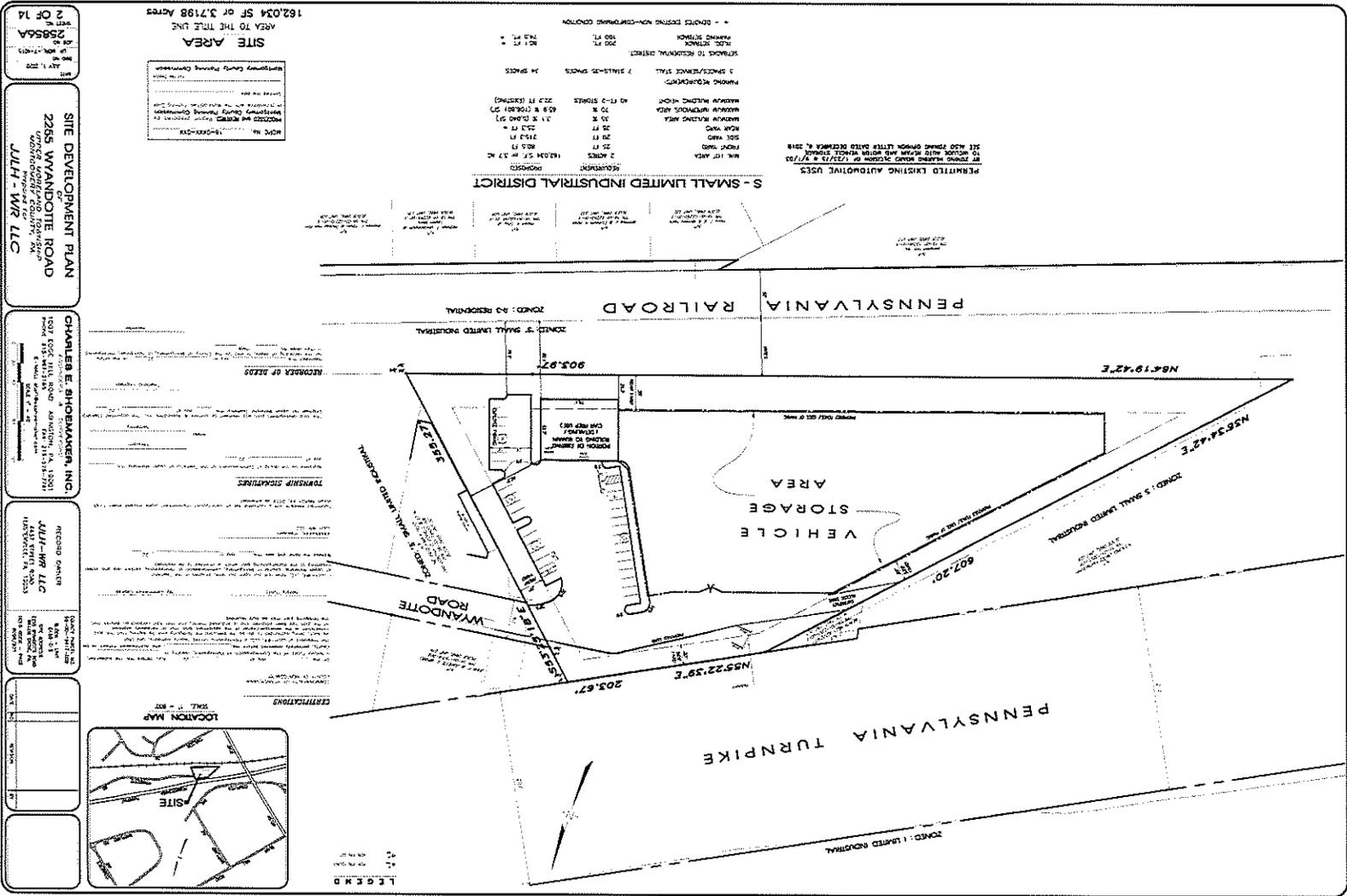


Claire Warner, Community Planner
cwarner@montcopa.org, 610-278-3755

c: J LH-WR-LLC, Applicant
Charles E. Shoemaker, Applicant's Engineer

Gerald Foley, Chair, Township Advisory Planning Agency
Matt Candland, Manager, Upper Moreland Township

Attachments: Reduced Copy of Applicant's Proposed Site Plan
Aerial Image of Site





Vehicle Storage & Car Prep
MCPC #200126001

Montgomery
County
Planning
Commission

Montgomery County Courthouse - Planning Commission
100 East 31st • Harrisburg PA 17104-4211
p) 717.278.3722 • f) 717.278.3341
www.montcopa.org/planning

Aerial photography provided by NearMap.



**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION R-2020-35

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF UPPER MORLAND TOWNSHIP EXTEDNING THE GUIDELINES AND POLICY FOR OUTDOOR SALES OF FOOD AND MERCHANDISE OF EXISITNG BUISINESS IN THE TOWNSHIP DURING THE COVID-19 PANDEMIC.

WHEREAS, on March 6, 2020, Governor Tom Wolf issued a Proclamation of Disaster Emergency in the Commonwealth of Pennsylvania as a result of a novel coronavirus (“COVID-19”); and

WHEREAS, on March 17, 2020, the President of the Upper Moreland Township Board of Commissioners issued a Proclamation of Disaster Emergency pursuant to the provisions of Section 7501(b) of the Pennsylvania Emergency Management Services Code, 35 Pa. C.S. 7101 et seq.; and

WHEREAS, on June 8, 2020, the Board of Commissioners passed Upper Moreland Township Resolution R-2020-25 pursuant to its emergency powers provided in Section 7501(b) of the Pennsylvania Emergency Management Services Code thereby establishing guidelines and a policy for outdoor sale of merchandise and outdoor dining for existing business in the Township for a period of time not to exceed ninety (90) days in areas on properties where it might otherwise be prohibited; and

WHEREAS, on August 10, 2020, the President of the Board of Commissioners, on behalf of the Board, extended the March 7, 2020 Declaration of the existence of a public health local disaster emergency in Upper Moreland Township, Montgomery County, Pennsylvania for a period of ninety (90) days; and

WHEREAS, despite sustained efforts COVID-19 remains an imminent threat and as result the Board of Commissioners recognizes that unprecedented financial hardships and severe strain on the resources of Township’s businesses will result if the permissions granted to businesses by Resolution R-2020-25 were allowed to expire on September 6, 2020;

NOW THEREFORE, BE IT RESOLVED, that the Board of Commissioners of Upper Moreland Township, hereby grants an extension of Upper Moreland Township Resolution R-2020-25 for a period of time not to exceed **SIXTY (60) DAYS**. All terms and conditions of the guidelines and policy for outdoor sale of merchandise and outdoor dining for existing business in the Township established in Resolution R-2020-25 shall continue in full force and effect and are not waived or modified in any form or manner.

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 14th day of September, 2020.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Matthew H. Candland, Secretary

Kevin C. Spearing, President

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA
RESOLUTION R-2020-36**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF UPPER
MORELAND TOWNSHIP AUTHORIZING THE EXTENSION OF
THE AGREEMENT FOR RECYCLING SERVICES WITH J.P.
MASCARO & SONS, DATED OCTOBER 22, 2015, FOR AN
ADDITIONAL PERIOD OF SIX MONTHS, WITH CERTAIN PRICE
CHANGES FOR CERTAIN SERVICES**

WHEREAS, the Township of Upper Moreland, Montgomery County, Pennsylvania (the "Township") executed an Agreement for Recycling Services (the "Agreement") with J.P. Mascaro & Sons, dated October 22, 2015, for a term of three (3) years, with Township options to renew for up to an additional two (2) years; and

WHEREAS, the Township has exercised both renewal options to extend and renew the Agreement, which renewal term is set to expire on or about November 20, 2020; and

WHEREAS, in response to the outbreak of the COVID-19 virus, on March 6, 2020, the Governor's Office of the Commonwealth of Pennsylvania Office issued a Proclamation of Disaster Emergency which authorized "the governing bodies and executive officers of all political subdivisions affected by this emergency to act as necessary to meet the current exigencies as legally authorized under this Proclamation, namely, by the employment of temporary workers, by the rental of equipment, and by entering into such contracts and agreements as may be required to meet the emergency, all without regard to those time consuming procedures and formalities normally prescribed by law, mandatory constitutional requirements excepted"; and

WHEREAS, On June 3, 2020, the Governor issued an Amendment to Proclamation of Disaster Emergency which renewed the March 6, 2020 Proclamation of Disaster Emergency for a period of 90 days; and

WHEREAS, Section 7501 of the Emergency Management Services Code (35 PA C.S., Section 7501, as amended) (the "Code") also authorizes local governing bodies to declare a disaster emergency and authorizes political subdivisions to "enter into contracts and incur obligations necessary to disaster emergency management, response and recovery"; and

WHEREAS, on March 17, 2020, the Township of Upper Moreland adopted a Declaration of Disaster Emergency pursuant to the Code; and

WHEREAS, in order to meet and respond to the ongoing public health emergency caused by the COVID-19 pandemic and avoid an interruption in service, the Township must extend the current contract for recycling services beyond its current expiration; and

NOW, THEREFORE, BE IT RESOLVED, by the Board of Commissioners of Upper Moreland Township that the Township of Upper Moreland is hereby authorized to enter into an Amendment to the Agreement for Recycling Services with J.P. Mascaro & Sons, dated October 22, 2015, in order to extend the term of that Agreement for an additional six (6) month period, subject to certain changes in terms regarding index price rates, as shown on attached Exhibit "A".

DULY PRESENTED AND ADOPTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this 14th day of September, 2020.

Attest:

UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS

Matthew H. Candland, Secretary

Kevin C. Spearing, President

EXHIBIT

A

Upper Dublin Township on behalf of the
 Montgomery County Consortium of Recycling Communities
 Monthly Invoice Calculation
 For the Month of **May** 2020

				Month	Tons Processed
<u>Commingle Materials</u>				May	270.46
Material	Index Price	% Alloc.	Composition Net Price		
PET	\$ 184.29	9.36%	\$ 17.25		
HD-NAT	\$ 800.00	2.30%	\$ 18.40		
HD-PIG	\$ 80.00	4.78%	\$ 3.82		
MIX PLASTICS	\$ -	1.34%	\$ -		
TIN	\$ 15.00	3.56%	\$ 0.53		
ALUM	\$ 800.00	1.74%	\$ 13.92		
ASEPTIC	\$ 22.50	0.25%	\$ 0.06		
RIGID	\$ 60.00	1.94%	\$ 1.16		
RESIDUE	\$ (80.00)	17.61%	\$ (14.09)		
GLASS	\$ (27.50)	57.12%	\$ (15.71)		
TOTAL		100.00%	\$ 25.34		

				Month	Tons Processed
<u>Single Stream Materials</u>				May	1,204.99
Material	Index Price	% Alloc.	Composition Net Price		
ONP	\$ 15.00	33.15%	\$ 4.97		
OCC	\$ 120.00	13.33%	\$ 16.00		
PET	\$ 184.29	5.39%	\$ 9.93		
HD-NAT	\$ 800.00	1.50%	\$ 12.00		
HD-PIG	\$ 80.00	1.53%	\$ 1.22		
MIX PLASTICS	\$ -	0.17%	\$ -		
TIN	\$ 15.00	2.53%	\$ 0.38		
ALUM	\$ 800.00	1.65%	\$ 13.20		
ASEPTIC	\$ 22.50	0.09%	\$ 0.02		
RIGID	\$ 60.00	0.98%	\$ 0.59		
RESIDUE	\$ (80.00)	17.57%	\$ (14.06)		
GLASS	\$ (27.50)	22.11%	\$ (6.08)		
TOTAL		100.00%	\$ 38.17		

\$ 80 → \$ 84/ton

INVOICE CALCULATION:

Commodity Value	Commingle	\$ (25.34)
Fixed Processing Cost		\$ 98.78
Total Per Ton		\$ 73.44
Tons Processed		270.46
Invoice Amount	May	\$ 19,862.58
Commodity Value	Single Stream	\$ (38.17)
Fixed Processing Cost		\$ 98.78
Total Per Ton		\$ 60.61
Tons Processed		1,204.99
Invoice Amount	May	\$ 73,034.46
Grand Total Invoice Amount		\$ 92,897.04

\$ 98.78 → \$ 135/ton

Note: Positive amount indicates amount due from MCCRC to J.P. Mascaro & Sons
 Negative amount indicates amount due from J.P. Mascaro & Sons to MCCRC

Remit To: J.P. Mascaro & Sons
 PO Box 7250
 Audubon, PA 19407-7250
 Attention: Accts Receivable

PENNSYLVANIA RECYCLING TECHNICAL ASSISTANCE APPLICATION

The Pennsylvania Department of Environmental Protection (DEP), the Governor’s Center for Local Government Services, and SCS Engineers (SCS) have formed a partnership to provide technical assistance to Pennsylvania governments interested in achieving higher recycling rates. Technical assistance, up to a value of **\$7,500**, is available at no charge to local governments selected to participate in the program.

Please complete the application below and submit to: Brent Dieleman, Program Coordinator, by e-mail at bdieleman@scsengineers.com or by fax at (703) 471-6676. Questions about the program may be directed to Todd Pejack, PA DEP Waste Minimization and Planning, (717) 787-7382 or tpejack@pa.gov, or your DEP Regional Planning and Recycling Coordinator.

APPLICATION INFORMATION:

Municipality: UPPER MORELAND TOWNSHIP ON BEHALF OF THE MONTGOMERY COUNTY RECYCLING COMMUNITIES (ABINGTON,CHELTENHAM, HATBORO,PLYMOUTH,SPRINGFIELD,UPPER DUBLIN,& UPPER MORELAND)

County: MONTGOMERY

Name: DAVID ELSIER

Title: DIRECTOR OF PUBLIC WORKS

Address: 117 PARK AVENUE WILLOW GROVE PA 19090

Phone Number: 215-659-4070

Fax Number: 215-659-2430

E-Mail Address: delsier@uppermoreland.org

PROJECT DESCRIPTION:

Type of Program (circle as appropriate):

Curbside Recycling Drop-Off Recycling Material Recovery Facility Composting Pay As You Throw (PAYT) Collection Commercial Recycling

Number of households currently being served by your program: 57,367 FOR THE RECYCLING COMMUNITIES

Details of Existing Program (i.e., type of materials recycled; number of collections per month; public, private or subscription collection, etc.): _____

ALL RECYCLING MATERIALS 1-7 PICKED UP DAILY. ALL PICKED UP IN-HOUSE BY THE RECYCLING COMMUNITIES. APPROXIMATELY 1,210 TONS OF SINGLE STREAM AND 267 TONS COMMINGLE MONTHLY. ALSO, WEEKLY CURB SIDE YARD WASTE COLLECTIONS AND SEASONAL CURB SIDE LEAF COLLECTION

Reasons for requesting Technical Assistance (please be specific): ON BEHALF OF THE MONTGOMERY COUNTY CONSORTIUM OF RECYCLING COMMUNITIES, UPPER MORELAND TOWNSHIP IS REQUESTING TECHNICAL ASSISATANCE WITH THE REVIEW OF THE RFP THAT WILL BE GOING OUT IN EARLY 2021. CURRENTLY, THE CONSORTIUM OWNS A TRANSFER FACILITY THAT IS OPERATED AND MANAGED BY A PRIVATE SOLID WASTE SERVICES COMPANY. THE CONTRACT EXPIRES ON OCTOBER 15, 2020. THE CONSORTIUM WAS GIVEN A 6 MONTH EXTENSION. ALL ASPECTS OF THE RFP WILL BE REVIEWED BY THE CONSULTANT.

The date a final project report is desired: November 16, 2020

For Internal Use Only:	
Approved By: _____	Date: ____/____/____
Routed To: _____	Date: ____/____/____

**UPPER MORELAND TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 1711

AN ORDINANCE OF UPPER MORELAND TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, AMENDING PART II: GENERAL LEGISLATION, TO ADD A NEW CHAPTER 149 “FIREWORKS” TO THE UPPER MORELAND TOWNSHIP CODE OF ORDINANCES REGULATING FIREWORKS USE WITHIN THE TOWNSHIP TO PROTECT PERSONS AND PROPERTY; REPEALING ALL INCONSISTENT ORDINANCES, OR PARTS THEREOF IN CONFLICT THEREWITH; AND PROVIDING FOR A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

WHEREAS, Upper Moreland Township, Montgomery County, Pennsylvania (hereinafter “the Township”) is a Township of the First Class, organized and existing under the laws of the Commonwealth of Pennsylvania; and

WHEREAS, the Pennsylvania Fireworks Law, Act 43 of 2017, took effect on October 30, 2017 (the “Fireworks Law”); and

WHEREAS, the Board of Commissioners of Upper Moreland Township has determined that the use of consumer fireworks in an urban setting provides safety and health hazards if the terms of the Pennsylvania Fireworks Law are not specifically complied with.

NOW, THEREFORE, be it, and it is hereby **ORDAINED** by the Upper Moreland Township Board of Commissioners, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

SECTION 1: A new Chapter is hereby added to the Upper Moreland Township Code of Ordinances and shall be entitled, numbered and read as follows:

CHAPTER 149 – FIREWORKS

§ 149-1. AUTHORITY AND INTENT

This Chapter is adopted pursuant to the authority granted under Pennsylvania’s fireworks regulations and laws as adopted and codified by the Pennsylvania legislature at 72 P.S. § 9401-9416, and pursuant to the authority to regulate fireworks as set forth in the First Class Township Code at 53 P.S. § 56528. This Chapter is adopted with the intent to comply with such state fireworks laws, properly regulate fireworks use within the Township, and to protect the health, safety and welfare of Township citizens.

§ 149-2. DEFINITIONS

The following words and phrases when used in this Chapter shall have the meanings given to them in this section unless the context clearly indicates otherwise:

APA 87-1 – The American Pyrotechnics Association Standard 87-1: Standard for Construction and Approval for Transportation of Fireworks, Novelties, and Theatrical Pyrotechnics, 2001 edition, or any subsequent edition.

Consumer Fireworks: Any combustible or explosive composition or any substance or combination of substances intended to produce visible and/or audible effects by combustion and which is suitable for use by the public that complies with the construction, performance, composition and labeling requirements promulgated by the Consumer Products Safety Commission in 16 CFR (relating to consumer practices) or any successor regulation and which complies with the provisions for “Consumer Fireworks” as defined in the American Pyrotechnics Association (APA) Standard 87-1, including but not limited to Sections *3.1 and *3.5, or any successor standard. The term does not include devices such as “ground and handheld sparkling devices” as defined in APA Standard 87-1, Section *3.1.1, “novelties” as defined in APA Standard 87-1, Section *3.2, or “toy caps” as defined in APA Standard 87-1, Section *3.3.

Display Fireworks: Defined as more fully set forth in 27 CFR 555.11 (Meaning of terms), which is incorporated herein by reference which meet the types of display fireworks devices set forth in the APA Standard 87-1, Section *4.1 which comply with requirements for display fireworks set forth in APA Standard 87-1.

Fireworks: Any composition or device for the purpose of producing a visible or an audible effect for entertainment purposes by combustion, deflagration or detonation that meets the definition of 1.4 G fireworks or 1.3 G fireworks as set forth in the 2003 International Fire Code including, but not limited to, those compositions or devices as defined in APA Standard 87-1.

NFPA 1124: The National Fire Protection Association Standard 1124, *Code for the Manufacture, Transportation and storage of Fireworks and Pyrotechnic Articles*, 2006 edition, or any subsequent edition.

Novelties: Articles of trade having amusement value and whose appeal is often transitory, and which is limited to those items for sale described in American Pyrotechnics Association (APA) Standard 87-1, Section *3.2.

Occupied Structure: A structure, vehicle or place adapted for overnight accommodation of persons or for conducting business whether or not a person is actually present.

Temporary Structure: A structure, other than a permanent facility with fixed utility connections, which is in use or in place for a period of 20 consecutive calendar days or less and is dedicated to the storage and sale of Consumer Fireworks and related items. The term includes temporary retail sales stands, tents, canopies and membrane structures

meeting the specifications of NFPA 1124. The term shall not include a facility that is not licensed to sell Consumer Fireworks under this Chapter.

§ 149-3. USE SALE AND STORAGE OF CONSUMER FIREWORKS

- A. Conditions. A person who is at least 18 years of age and meets the requirements of this Chapter may purchase, possess and use Consumer Fireworks.

- B. Prohibitions. A person may not intentionally ignite or discharge:
 - 1. Consumer Fireworks on public or private property without the express permission of the owner.
 - 2. Consumer Fireworks or sparkling devices within, or throw Consumer Fireworks or sparkling devices from, a motor vehicle or building.
 - 3. Consumer Fireworks or sparkling devices into or at a motor vehicle or building or at another person.
 - 4. Consumer Fireworks or sparkling devices while the person is under the influence of alcohol, a controlled substance or another drug.
 - 5. Consumer Fireworks within 150 feet of any Occupied Structure.
 - 6. Consumer Fireworks within 100 feet of any combustible material.
 - 7. Consumer Fireworks such that the sparks or any portion of the fireworks will land upon the property of another without the owner's express permission.
 - 8. Consumer Fireworks two hours after dusk on the date the person intends to ignite the Consumer Fireworks, dusk being defined as the time as reported for Upper Moreland Township by the National Weather Service.

- C. It is hereby ordained and enacted that no permission is granted by the Township to any person to ignite or discharge consumer fireworks on the streets of the Township of Upper Moreland, the sidewalks of the Township of Upper Moreland or any property owned by the Township of Upper Moreland, including, without limitation, all of the Township's parks and public buildings unless otherwise authorized by a public vote of the Board of Commissioners.

- D. Sale and Storage of Consumer Fireworks: The sale and storage of Consumer Fireworks is licensed and regulated by the Pennsylvania Department of Agriculture. Any persons who intends to sell or store Consumer Fireworks within the Township shall provide proof of such licensure prior to such use being conducted within the Township, in addition to compliance with all other applicable Township ordinances, regulations or codes.

§ 149-4. CONSUMER FIREWORKS – TEMPORARY STRUCTURES

- A. Conditions. If a person is licensed by the Pennsylvania Department of Agriculture to store and sell Consumer Fireworks within a Temporary Structure as defined herein, such use shall be permitted within the Township provided all other applicable Township ordinances and regulations are met.
- B. The person authorized to store and sell Consumer Fireworks within such Temporary Structure shall comply with the regulations of the Pennsylvania Department of Agriculture and shall provide verification of such compliance prior to be permitted to conduct such use within the Township.

§ 149-5. DISPLAY FIREWORKS – PERMITS AND USE PROVISIONS

- A. No Display Fireworks shall be ignited within 300 feet of a facility selling or dispensing gasoline, propane, or other flammable products.
- B. Permits are required to be issued by the Township prior to the use of Display Fireworks. Application for permits shall be made in writing at least 30 days in advance of the planned date of the use of Display Fireworks together with the permit fee. Permit fees shall be as established by resolution of the Board of Commissioners.
- C. Permits for Display Fireworks may only be issued to persons age 21 or older.
- D. Each Display Firework shall be:
 - 1. Handled by a competent operator with the proper authorization to handle, operate or store Display Fireworks;
 - 2. Inspected by the Police Chief, Fire Chief, Fire Marshal or other appropriate officer, and after proper inspection, deemed to not be hazardous to property or endanger any person prior to the display occurring; and
 - 3. After permission is granted under this section, possession and use of Display Fireworks shall be lawful for that purpose only.
- E. License Requirements. Any business entity which performs, provides or supervises Display Fireworks for profit shall provide to the Township proof of registration with the Pennsylvania Attorney General as part of the permitting process.
- F. Display Fireworks may be possessed and used by a person (aged 21 or older) holding a permit from the Township at the display covered by the permit, or when used as authorized by a permit for any of the following additional activities:
 - 1. For agricultural purposes in connection with the raising of crops and the protection of crops from bird and animal damage.
 - 2. By railroads or other transportation agencies for signal purposes or illumination.

3. In quarrying or for blasting or other industrial use.
4. In the sale or use of blank cartridges for a public show or theater.
5. For signal or ceremonial purposes in athletics or sports.
6. By military organizations or organizations composed of veterans of the armed forces of the United States.

§ 149-6. DISPLAY FIREWORKS – BONDING AND EXTENTION REQUESTS

- A. Bond. The Township shall require a bond deemed adequate by the Board from the permittee in a sum not less than \$50,000 conditioned on the payment of all damages which may be caused to a person or property by reason of the Display Fireworks and arising from an act of the permittee or an agent, employee or subcontractor of the permittee. The bonding requirement may be deemed unnecessary or reduced by the Board of Commissioners for the additional activities listed under §10-804(6) above.
- B. Extension of Permit.
 1. Authorization. If, because of unfavorable weather, the Display Fireworks for which a permit has been granted does not occur at the time authorized by the permit, the person to whom the permit was issued may within 24 hours apply, in writing, for a request for extension to the Township. The requested continuance of the permit shall not be later than one week after the date originally designated in the permit.
 2. Conditions. The extension of time shall be granted without the payment of an additional fee and without requiring a bond other than the bond given for the original permit, the provisions of which shall extend to and cover all damages which may be caused by reason of the display occurring at the extended date and in the same manner and to the same extent as if the display had occurred at the date originally designated in the permit.

§ 149-7. PERMITS GRANTED FOR AGRICULTURAL PURPOSES

- A. Authorization. The Township may grant permits for the use of suitable fireworks for agricultural purposes in connection with the raising of crops and the protection of crops from bird and animal damage.
- B. Duration of permit. A permit under this section shall remain in effect for the calendar year in which it was issued.
- C. Conditions. After a permit under this section has been granted, sales, possession and use of fireworks of the type and for the purpose mentioned in the permit shall be lawful for that purpose only.

§ 149-8. AUTHORITY AND CONFISCATION OF MATERIALS

- A. Any Pennsylvania State Police officer or Township police officer shall take, remove or cause to be removed, at the expense of the owner, all stocks of Consumer Fireworks, Display Fireworks or combustibles offered or exposed for sale, stored or held in violation of this Chapter. The owner shall also be responsible for the storage and, if deemed necessary, the destruction of these fireworks.
- B. Any Pennsylvania State Police officer, Township police officer or Township Fire Chief is authorized to cease all fireworks activity when there is a determination that there is imminent or immediate danger to any person(s), property, buildings, structures or premises; and said police officer or Fire Chief may take any steps necessary, within the reasonable performance of their duties, to extinguish, mitigate and/or control any fireworks in order to preserve and protect the life, health, welfare or safety of any person(s) and to preserve and protect property, building structures or premises.

§ 149-9. PENALITIES

- 1. A person using Consumer Fireworks in violation of the provisions of this Chapter commits a summary offense and, upon conviction, shall be punished by a fine. Each section or provision of this Part that is violated shall constitute a separate offense, each of which shall be punishable by a separate fine imposed by the District Justice of not less than \$100 and not more than \$1,000.
- 2. A person selling Consumer Fireworks in violation of the provisions of this Chapter commits a misdemeanor of the second degree.
- 3. A person selling Display Fireworks in violation of the provisions of this act commits a felony of the third degree.
- 4. A person selling federally illegal explosives such as devices as described in 49 CFR 173.54 (relating to forbidden explosives) or those devices that have not been tested, approved and labeled by the United States Department of Transportation, including, but not limited to, those devices commonly referred to as "M-80," "M-100," "blockbuster," "cherry bomb" or "quarter or half stick" explosive devices, in violation of the provisions of this Chapter commits a felony of the third degree.
- 5. All prosecutions related to this Part shall be the responsibility of the Township Police or, if warranted, the Pennsylvania State Police.

SECTION 2: SEVERABILITY.

The terms, conditions and provisions of this Ordinance are hereby declared to be severable, and, should any portion, part or provision of this Ordinance be found by a court of competent jurisdiction to be invalid, unenforceable or unconstitutional, the Upper Moreland Township Board of Commissioners hereby declares its intent that the Ordinance shall have been enacted without regard to the invalid, unenforceable, or unconstitutional portion, part or provision of this Ordinance.

SECTION 3: REPEALER.

Any and all other Ordinances or parts of Ordinances in conflict with the terms, conditions and provisions of this Ordinance are hereby repealed to the extent of such irreconcilable conflict.

SECTION 4: EFFECTIVE DATE.

This Ordinance shall be effective five (5) days after enactment.

ORDAINED AND ENACTED by the Board of Commissioners of Upper Moreland Township, Montgomery County, Pennsylvania, this _____ day of _____, 2020.

Attest:

**UPPER MORELAND TOWNSHIP
BOARD OF COMMISSIONERS**

Matthew H. Candland, Secretary

Kevin Spearing, President